
2022/0280

Mr and Mrs Blackburn

Erection of first floor side extension, two storey and single storey front extensions, and changes to the external facing materials of the dwelling.

3 Intake Lane, Gawber, Barnsley, S75 2HY

Site Location & Description

Intake Lane is a busy route linking Pogmoor and Gawber, which is a predominantly residential area characterised by single storey and two-storey residential properties with a mix of housing types and designs.

The application relates to a two-storey, detached brick-built dwelling located on the eastern side of Intake Lane. The dwelling is set back from the highway with a modest garden to the front and driveway to the side and currently benefits from a single storey attached garage to the side and a single storey extension to the rear.

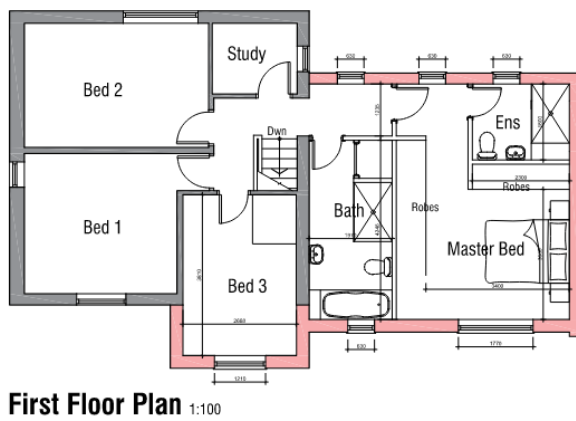
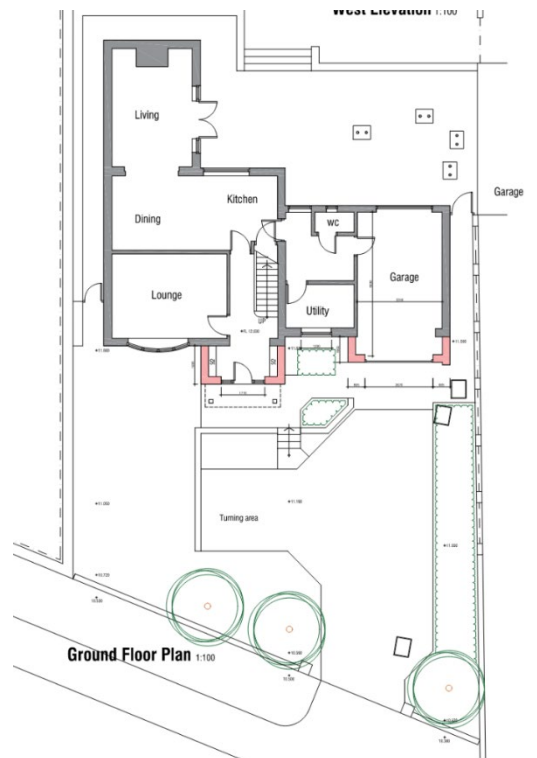
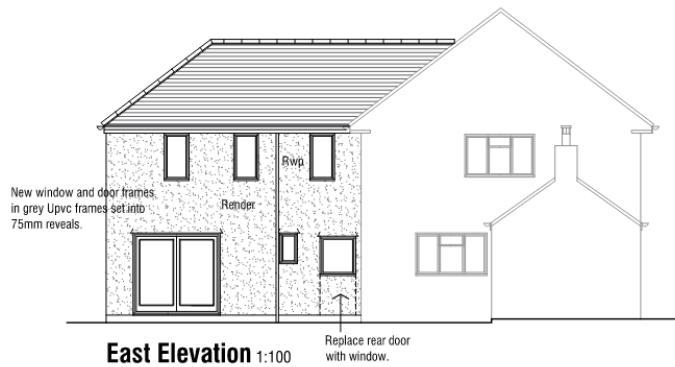
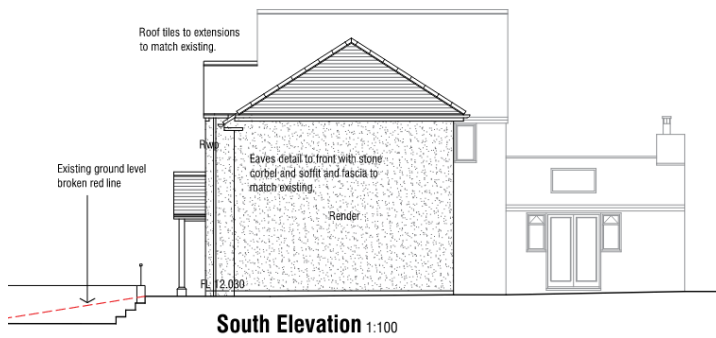
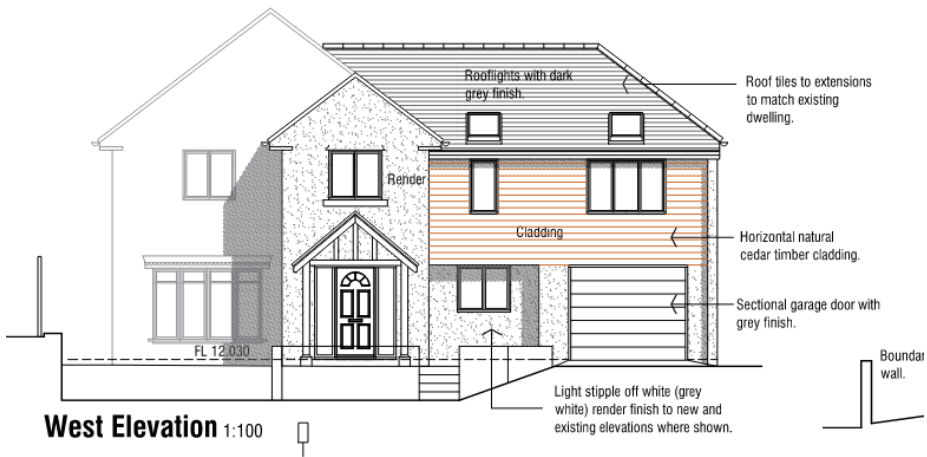


Proposed Development

The applicant seeks permission for the erection of a first-floor side extension, a two storey and a single storey front extension and changes to the external facing materials of the dwelling.

Initially the applicant sought permission for a first-floor side extension along with 2no two-storey side extensions, the conversion of the integral garage and the erection of a detached garage to the front of the property. It was deemed that this proposal was unacceptable, and amendments sought. The picture below shows the original front extension, prior to amendments.





Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise, and the National Planning Policy Framework 2021 (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted by the Council in January 2019 along with a series of Supplementary Planning Documents.

Local Plan

The site is allocated as Urban Fabric within the Adopted Local Plan, which has no specific land allocation and therefore the following policies are relevant:

Policy GD1 General Development

Policy D1 High Quality Design and Place Making

Policy SD1 Presumption in favour of Sustainable Development

Supplementary Planning Document: House Extensions and Other Domestic Alterations

The Supplementary Planning Document (SPD) sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations and indicates that these developments:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

Consultations

None

Representations

Neighbour notification letters were sent to surrounding properties; no comments have been received, nor were any received in relation to the additional consultation following the submission of amended plans.

Assessment

Principle of development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity or on highway safety.

Visual Amenity

Supplementary Planning Document - House Extensions and other Domestic Alterations states that 'the design of a two-storey side extension should reflect the design of the existing dwelling in terms of roof style, pitch materials and detailing and should not have an excessive sideways projection, i.e., more than 2/3 the width of the original dwelling'. It is acknowledged that the permission is sought for a first-floor side extension, however this is tantamount to a two-storey extension and therefore the policy is relevant.

As mentioned previously the two-storey dwelling and its attached 'side extension' form the original dwelling, as indicated on the 1960s ordnance survey plans. Whilst the proposed first-floor side extension exceeds 2/3 width of the main dwelling, it does not exceed 2/3 width of the original dwelling and therefore complying with the guidance set out in the SPD.

The document also states that a two-storey side extension should have a set back from the front elevation by at least 500mm, to allow for a vertical break in the roof plane, a lowering of the ridge line and to reduce the terracing effect. The set-back also lessens the unsightly bonding of old and new materials; the proposal allows for a set-back and a corresponding lowering of the ridge line therefore complying with the SPD. Due to the design of the dwelling, and the existing extension, the resulting two-storey side extension, whilst not set back, does allow for a lowering of the ridge line, ensuring the side extension remains subordinate. In addition, the inclusion of the two-storey front extension provides a vertical break, which would avoid the unsightly bonding of old and new materials.

Supplementary Planning Document for House Extensions states that the front elevation is the most important for its contribution to the street scene and therefore such extensions need to be of a high standard of design and will not be allowed where they detract from the quality of the existing dwelling or the character of the street scene. In most cases a two-storey front extension would not normally be allowed, however Intake Lane is characterised by a mix of housing types and styles, and construction materials, and the existing dwelling is a simple two-storey property of approximately 1960s construction with limited design features and in this instance the two-storey front extension provides detailing and features to an otherwise bland property.

The extensions are designed to harmonise with the original dwelling in terms of roof style and pitch, and fenestration. Whilst it is proposed to render the two-storey front extension and render and clad the side extension, the introduction of such materials would provide some character to the property and provide a contrast to the existing construction materials. In addition, a neighbouring property to the south has a rendered front elevation and the properties opposite benefit from small, cladded sections on the front elevation, therefore the mix of materials would not be out of character with the street scene.

It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan Policy D1: High Quality Design and Place Making.

Residential Amenity

The proposed first-floor side extension is to be located above the existing sideways extension and within the building line of the original dwelling and to the north of the potentially affected property, therefore not significantly increasing levels of overlooking or reducing levels of outlook.

There are no windows proposed on the side elevation and those located on the rear elevation do not project closer to the rear boundary than the existing two-storey element of the main dwelling. Nevertheless, a minimum distance of 10m and 21m are retained to the rear boundary and the habitable rooms windows on the opposing dwellings and as such would not lead to an increase in overlooking.

In light of the above, it is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook of neighbouring properties to a detrimental level and is in compliance with Local Plan Policy GD1

Highway safety

The proposal does not result in the requirement of additional parking provision, nor does it result in the loss of off-street parking. Whilst the integral garage is to be increased in length to 5.6m internally, it still falls short of the 6m required to be considered a parking space. Nevertheless, the site is of a sufficient size to accommodate off-street parking for 2no vehicles in line with the requirements of SPD – Parking and as such the scheme is considered acceptable in terms of its impact on highway safety.

Conclusion

Based on the assessment above it is considered that the proposed development would not have a significant adverse impact on the amenity of neighbouring residents by means of overshadowing, overlooking or loss of outlook, nor would it have a detrimental impact on the character of the street scene or upon highway safety and as such is in compliance with Local Plan Policies GD1, D1 and T4 and is acceptable.

Recommendation

Approve with conditions