

Highway Safety

Highways have confirmed that the proposed development would not give rise to any significant highway safety concerns, subject to the proposed 2.4m x 43m being provided at the accesses as is indicated on the plans. However, Highways have requested that a 2m wide footpath is constructed across the frontage of the site in the interests of pedestrian safety and this would require a suitable condition to be imposed. Apart from this there are no issues under CSP26 'New Development and Highway Improvement'.

Other considerations

Drainage/Flood Risk

A report has been submitted which confirms that the development part of the site lies within flood zone 1 with little or no annual probability of flooding from the river.

Outside the development area the field runs down to the adjacent River Don, the lower lying areas of this field adjacent to the bridge are shown to be in flood zones 2 and 3. This part of the site will not be developed and will be left as open field. **There will be no adjustment of levels or obstructions below the 176m AOD Contour, and no loss in volume of available washland.**

The proposed finished floor levels for all the dwellings will be 181.300 AOD, which is 3.95m above the floor levels of the recently developed Millstone development on the opposite side of the river and 8.2m above the water level of the river (measured at the time of the survey).

The Drainage Officer and Environment Agency have afforded consideration to this information with neither resolving to object to the construction of the proposed dwellings themselves on flood risk grounds. However the Environment Agency have recommended a condition removing permitted development rights in the areas of the curtilage of the dwellings which would fall within flood zones 2 and 3. In addition there would still be a requirement for the development to manage surface water run off from the development so that rates do not exceed the existing rate as a greenfield site and this would require suitable conditions to be imposed.

In terms of foul drainage the application has been amended during the course of being considered so that foul drainage would now be discharged to the public sewer network as opposed to a package treatment plant in order to satisfy the requirements of the Environment Agency.

Trees

The main trees on the site are located along the river bank and are a reasonable distance from the proposed dwellings and as such given suitable protection should remain completely unaffected by the proposal. The only trees which are within influencing distance of the proposed works on the site are situated just outside the boundary and form the edge of a protected woodland. It appears as though at least one tree will have hard surfacing over part of its rooting area and as such a method statement dealing with this as well as the protective fencing would be required under a planning condition. Providing the new surfacing is minimal or of no dig construction then the trees should not be impacted upon by this work.

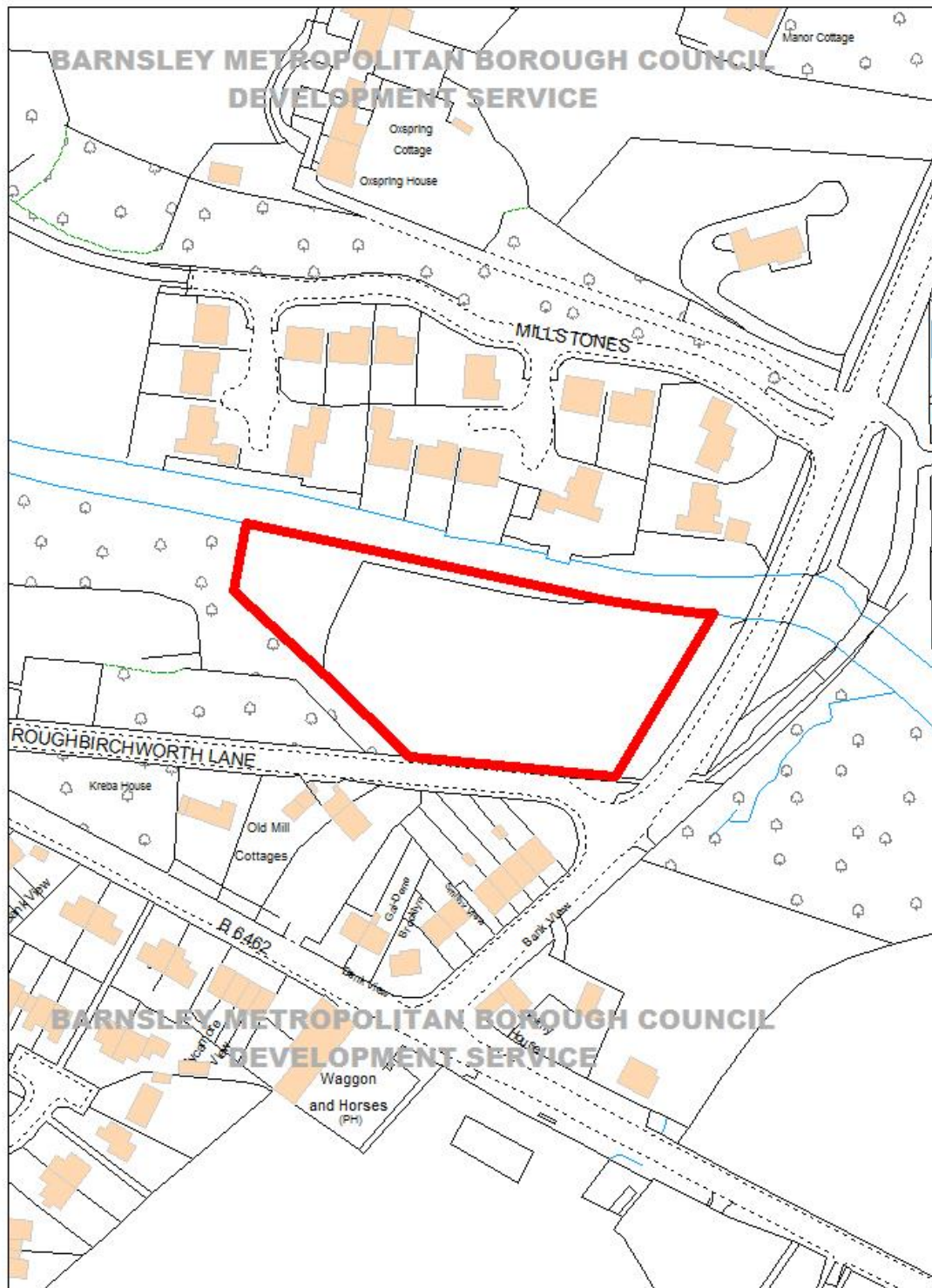
Providing the necessary tree protection measures and methodologies are specified and utilised then there should be no negative impacts on the existing trees as a result of this development. The plans also show that new tree planting will take place on the site and as such a landscaping scheme would also be required by a planning condition.

PA reference :-

2014/0684

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