

Application Ref:

2021/0769

Address:

26 Sparkfields, Mapplewell, Barnsley, S75 6BH

Neighbour Representations: No

Property Description:

The property is a detached two storey dwelling set on an end cul-de-sac position on Sparkfields, Mapplewell. The property has been extended previously with a side extension and a detached garage. The side boundary of the property faces onto Spark Lane.

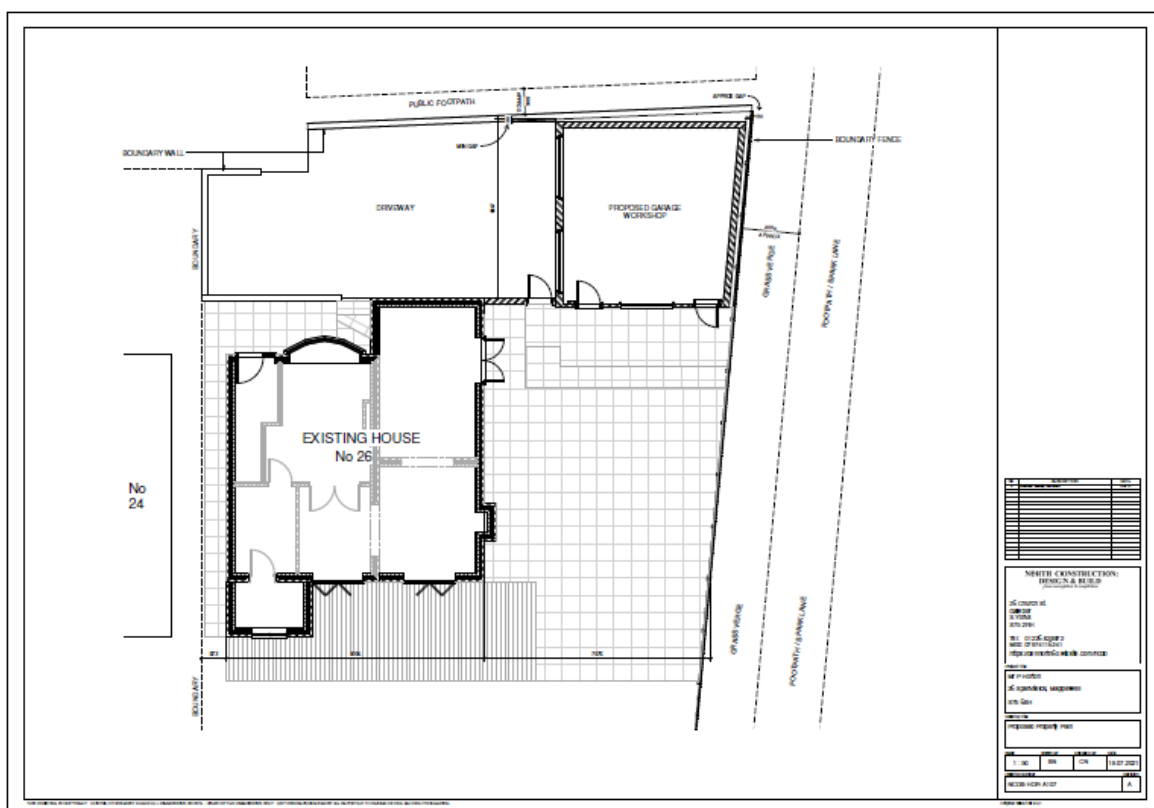




Proposed Extension:

The proposal involves the extension of the existing garage from a single garage to a double garage with a room within the roofspace and rooflights. The proposed garage measures 6.6m (at its longest point) by 6.4m. The garage is sited in the top north eastern corner of the site adjacent to the boundary with a public footpath and Spark Lane.

The plans have been amended during the course of the application and the garage height has been reduced from to 5m to 4.9m and the eaves from 3.3m to 2.4m in line with the SPD.



Local Plan Designation: Urban Fabric

Conservation Area: No

Relevant History: No

Acceptable in Principle: Yes

Side Extension:	Yes / No (include comment if required)
Single Storey	
1. set back	
Two Storey / First Floor	
2. set back / set down (500mm minimum)	
3. less than 2/3 the width of the original dwelling	
All	
4. roof design corresponds to existing	
5. windows / doors of a similar design / proportion	
6. habitable room windows on the side elevation	
7. materials to match	
8. neighbouring property extended to side or windows?	
9. Any change to parking or access?	

Rear Extension:

	Yes / No (include comment if required)
Single Storey	
1. terraced property and less than 3.5m (projection to rear)?	
2. semi-detached and less than 4m?	
3. if more than 3m are the eaves more than 2.5m in height?	
Two Storey	
4. terraced property and less than 2.5m (projection to the rear)?	
5. semi-detached and less than 3.5m?	
All	
6. materials to match	
7. roof design compliments / ties in well	
8. habitable room windows on the side elevation?	
9. distance to rear boundary (shared with another residential property) 10m or more?	

Front Extension:

	Yes / No (include comment if required)
1. single storey?	
2. small projection? (confirm measurement)	
3. roof design corresponds to existing	
4. windows / doors of a similar design / proportion	
5. materials to match	

Dormer Extension

	Yes / No (include comment if required)
1. Pitched roof dormer on principle roof slope?	
2. Flat roof dormer on rear roof slope?	
3. Dormers in street scene & similar style?	
4. Set below roof ridge?	
5. Set in [ideally 0.5m] from both the eaves and gable edge?	
6. Set in 0.5m from party walls?	

Garage / Outbuilding*

	Yes / No (include comment if required)
6. single storey?	Yes

7. height to eaves 2.5m or less?	Yes
8. sympathetic design and materials to main dwelling?	Yes – the garage is set forward of the principle elevation, however it replaces an existing single garage in the same location and will have a limited eaves height in line with the SPD. The pitch of the roof has been limited to less than 5m in height therefore it will not be overly prominent when viewed from Spark Lane or Sparkfields. Adjacent residents will not be significantly affected by the proposed garage.
9. If room in the roof space, is it storage only?	Yes with rooflights only

*granny annexes shouldn't be on this form

Green Belt:

	Measurements
1. Original dwelling	
2. proposed extensions (x 2)	
3. any existing extensions	
4. total extensions (including proposed)	

Recommendation:

Approve with conditions