

Drawings: Cont '4

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AS APPROVED BY Y.W.

PDCA

From: Vanessa.Dunn@yorkshirewater.co.uk
Sent: Monday, July 10, 2017 1:08 PM
To: pdimberline@tiscali.co.uk
Subject: Fw: Land at Waddington Road, Pogmoor, Barnsley, S75 2HE - H4 Consultation on R623232

Follow Up Flag: Follow up
Flag Status: Flagged

Yorkshire Water Services
Developer Services
Sewerage Technical Team
PO BOX 52
Bradford
BD3 7AY

Your Ref:
Our Ref: T011094

Tel: 0345 120 8482
Fax:

Email:
Technical.Sewerage@yorkshirewater
.co.uk
For telephone enquiries ring:
on 0345 120 8482

Date: 10/07/2017

Dear Sir/Madam,

Land at Waddington Road, Pogmoor, Barnsley, S75 2HE - H4 Consultation on R623232

From the information available, we have NO OBJECTIONS IN PRINCIPLE to the above application and the work may PROCEED. This is subject to the correctness of our desktop assessment and criteria (1-4) below, which should be verified on site by the developer.

Desktop Assessment

Please be aware that since the 1st of October 2011 there are public sewers in existence that are not shown on the public sewer map. The actual position of all public sewers should be verified on site by the developer.

Public sewers that are potentially not shown on the public sewer records may be identified as existing (pre 31 July 2011) sewers that discharge to an existing mapped public sewer and serve at least 2 properties or drains that serve a single property but are outside the curtilage of that property and discharge to an existing mapped public sewer.

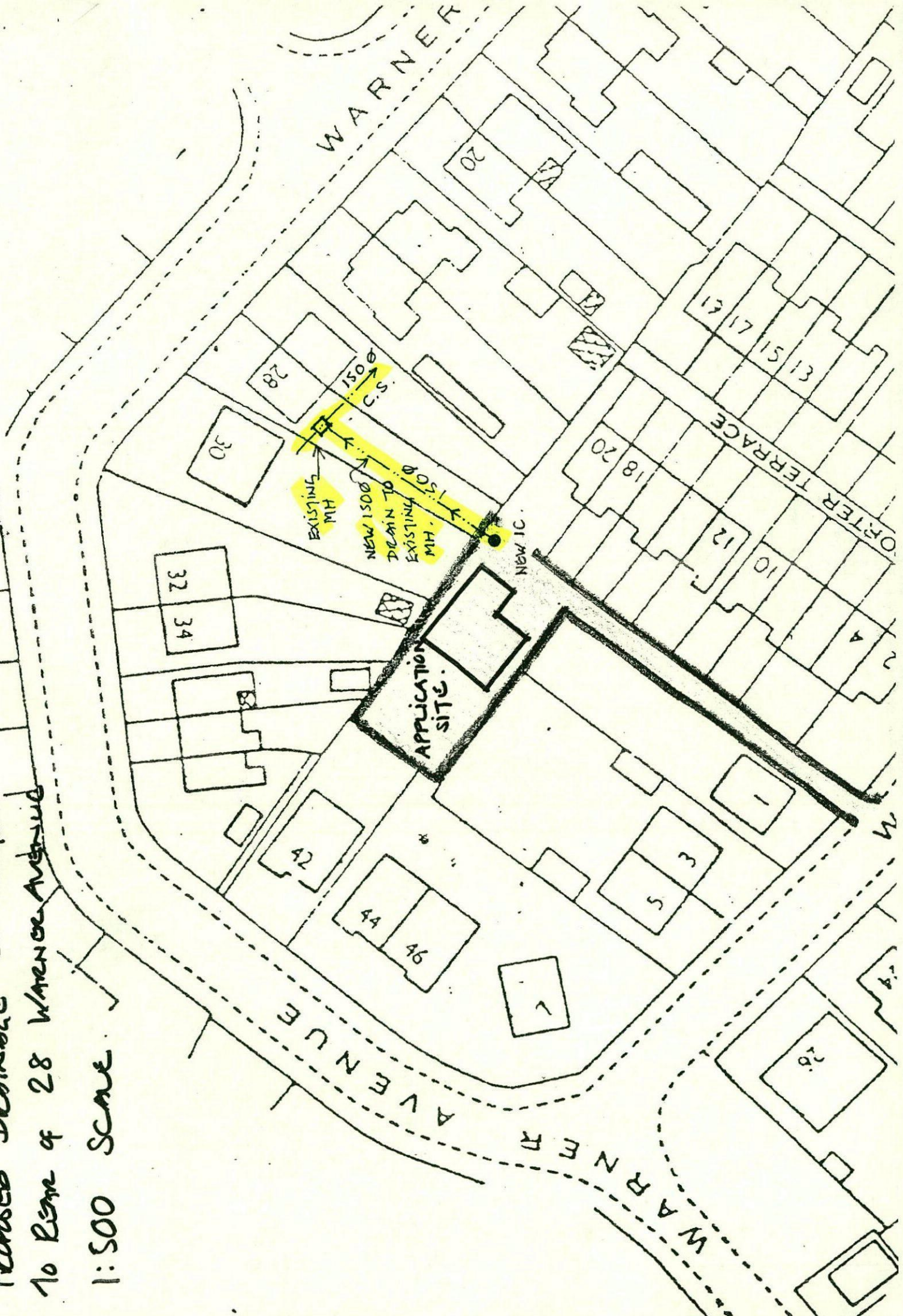
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| Assessment questions for applying the | IF YES TO ANY YW

criteria set out in Part H4 of the Building Regulations (2010)	OBJECT
Is the proposed building footprint understood to be within 3 metres of a public sewer that is greater than 225mm diameter and or greater than 3m in depth?	NO (If YES see 1 below)
Is the proposed building footprint understood to be over a public sewer access point? (A public sewer access point is a manhole, inspection chamber, gully or rodding point that is on a public sewer)	NO (If YES see 2 below)
Is the proposed building footprint understood to be over more than 8 metres of a public sewer?	NO (If YES see 3 below)
Are the proposed building foundations exerting additional loading upon a public sewer?	NO (If YES see 4 below)

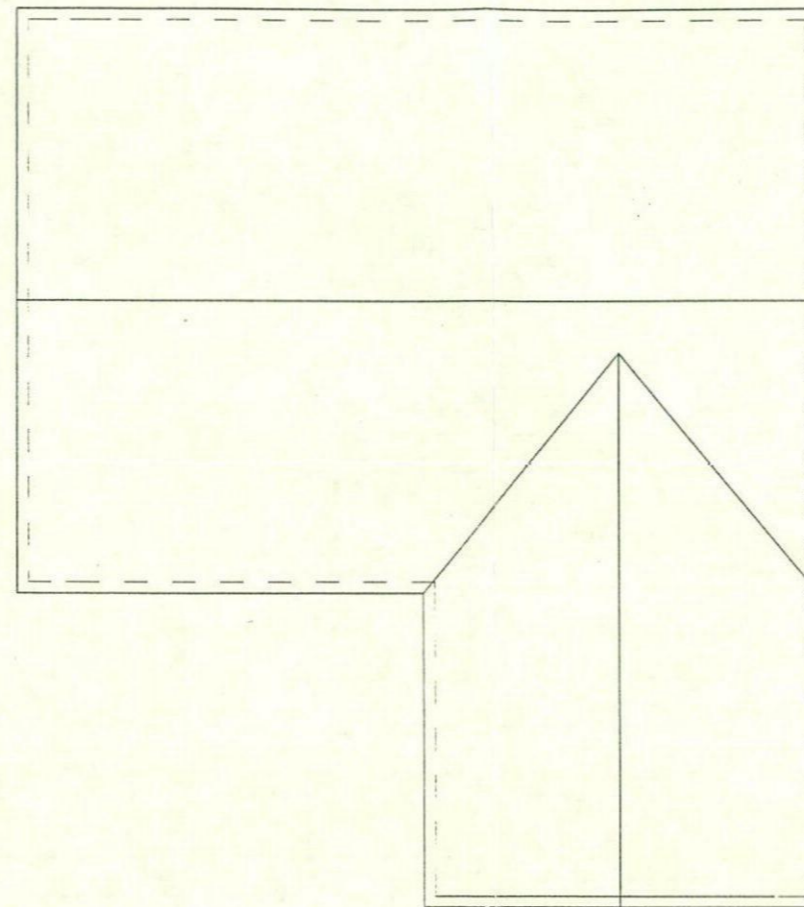
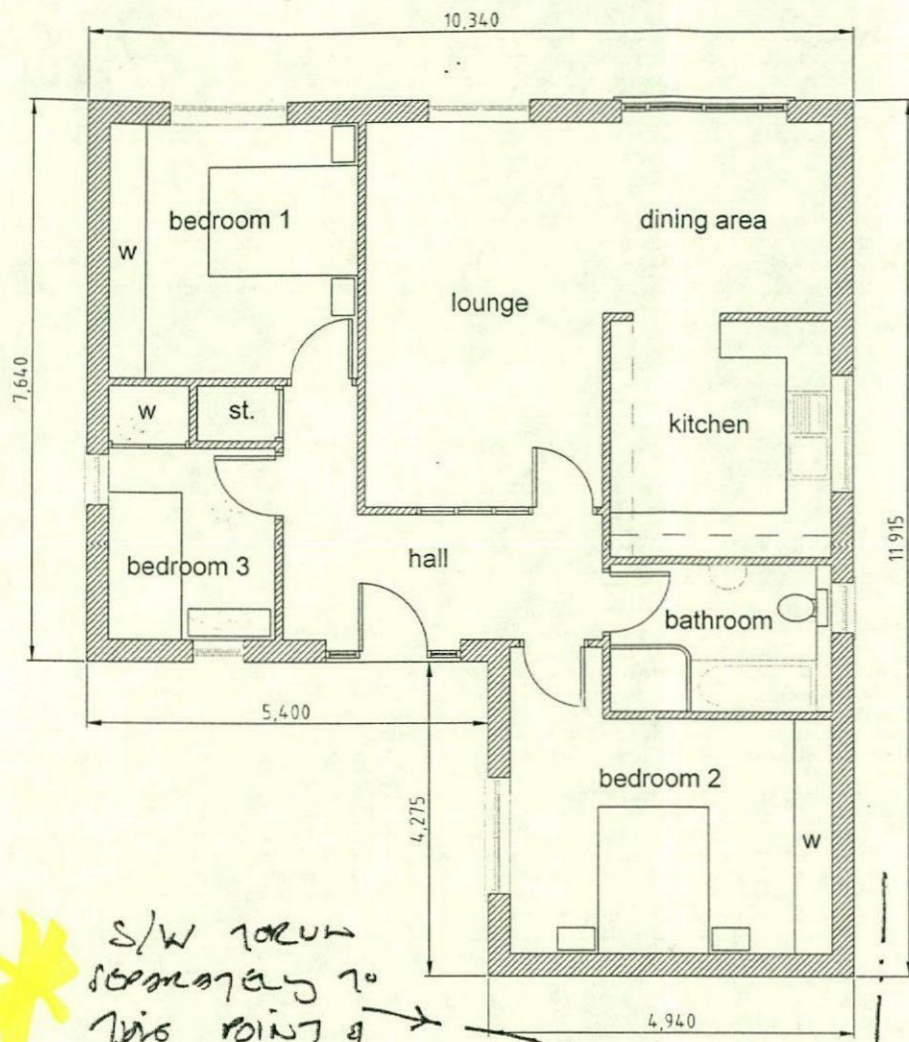
1. If public sewers greater than 225mm diameter and or greater than 3m in depth exist on site, no building should be permitted within at least 3 meters of them. Should this be the case, the applicant has the option to revise the building proposal or request a formal public sewer diversion agreement from Yorkshire Water.
2. Public sewers should remain accessible for rodding and jetting from access points, but these should not be within the proposed building footprint. If there are existing public sewer access points within the proposed building footprint the applicant has the option to move the building proposal or remove/relocate the access points. For such minor public sewer alterations, Form "H4S185" should be completed and returned with a plan showing the pipes and access points to be relocated or removed.
3. If a public sewer is in good condition, is 225mm in diameter or less and is less than 3 metres in depth, it may be built over to a max length of 8 metres.
4. If a public sewer is in good condition, is 225mm in diameter or less and is less than 3 metres in depth, it may be built over if the applicant ensures that it is not unduly loaded upon by the building foundations. The foundations should be taken below the public sewer or, where this is not possible, designed to pose no additional loading detriment to the sewer.

PLEASED DRAINAGE CONNECTION
TO LINE OF 28 WARREN AVENUE

1:500 SCALE



1) This drawing and the design and details depicted thereon are the copyright of Peter Dimberline Chartered Architect.
 2) All dimensions on this drawing are to be checked by the Contractor and any discrepancies are to be reported to the Architect.
 3) Do not scale critical dimensions off this drawing.
 4) Contractor to ensure that all Health & Safety requirements (CDM Regulations) in relation to this project will be complied with.



S/W porch separately to this point of work cannot be NEW IC ground floor plan 1:50

NB: Ground conditions UNSUITABLE FOR A SOFFIT

NEW IC.

roof plan 1:50

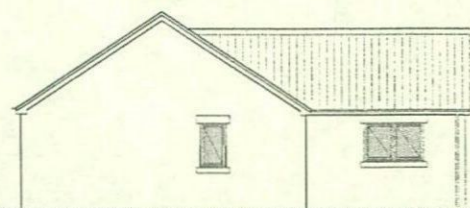
NEW 150 mm COMBING DRAIN.

EXISTING MH IN REAR GARDEN OF 28 WADDINGTON AVENUE

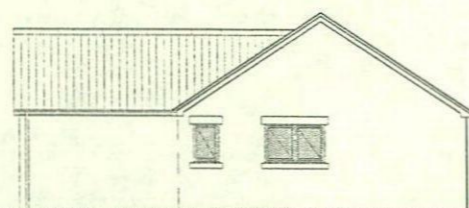
Aug' 16 Roof void accommodation removed and ridge height lowered to the same height as the originally approved dwelling.

PROPOSED ELEVATIONS AT 1:100

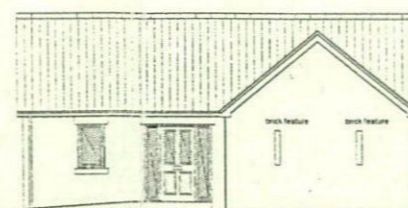
nb: ridge height no higher than the originally approved dwelling



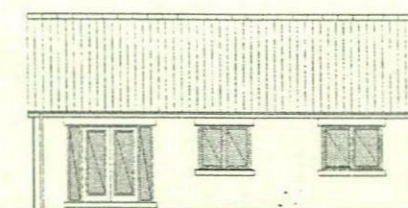
southwest elevation



northeast elevation



southeast elevation



northwest elevation

REVISIONS

PETER DIMBERLINE Dip Arch, RIBA
 CHARTERED ARCHITECT

2 TIPSEY COURT, STAINCROSS
 BARNSELY, S75 6FZ

tel/fax (01226) 390947
 email: pdimberline@tiscali.co.uk

CLIENT
 Mr S Warsop

PROJECT
 Proposed detached bungalow

LOCATION
 Site off Waddington Road & to the rear of Porter Terrace, Pogmoor, Barnsley

DRAWING
 Detailed planning application drawing

SCALES 1:50, 1:100 DATE Aug' 16

DRWG No. 2016/12/01

DRAWN BY
 PD

REV. A