

**Design & Access  
Statement.  
/  
Heritage Statement.**

**Erection of 10No. New  
dwellings following  
demolition of existing  
bungalow, Farmhouse and  
Outbuilding accessed via  
church street.**

**Pear Tree Farm, Church  
St, Brierley, Barnsley**

## Introduction

This Design and Access Statement accompanies a Full Planning Application for the erection of 10 new dwellings following the demolition of an existing bungalow, farmhouse and outbuilding accessed via Church Street.



Site Location

# Introduction

## Introduction.

This Design and Access Statement accompanies a Full Planning Application for the Erection of 10No. new dwellings following demolition of existing bungalow, Farmhouse and Outbuilding accessed via church street. The site location plan (4038-01) submitted within the application documents highlights the affected extents of the scheme's boundary which is outlined in red and the extents of ownership boundary outline in blue.

This proposal has been developed and designed by Building Link Design to ensure the proposed developed has no negative impact on the village of Brierley and aims to provide the much-needed housing numbers for the South Yorkshire area. This statement provides an analysis of the site and its surroundings, whilst sitting the proposal in line with planning policy and design frameworks. Its aims to explain the design principles and concepts, that have been thoroughly thought out and applied to the layout, scale and appearance for the scheme.

This application is for 10no. plots made up of a combination of two storey house types, with associated parking and garages, please refer to schedule of accommodation on the 4038 – 03 Proposed Site Layout for further details.

This applications land has no current allocation for development in the Barnsley Adopted Local Plan Jan 19, as it currently has two existing dwellings and outbuildings. These have been identified as Pear Tree Farm (single storey non-habitable barn & workshops) Pear Tree Farmhouse (two Storey farmhouse dwelling) & Pear Tree Bungalow (one storey dwellings)

## Site Context.

The site lies approx. 8km to the North-east of Barnsley town centre.

Barnsley train station is 8km away with trains running to all major northern cities of; Leeds, Nottingham and acts as part the UK's main rail network connecting to station UK wide. The nearest bus stop for the application is approx. 60m to the south located on both side of Church Street.

There are several schools within the vicinity, Brierley Church of England Primary school approx.

360m South-East, Brierley Playmates Preschool Approx 0.6m to the East. With other local schools at Grimethorpe approx. 2.3km South and Shafton 1.8km West.

Existing community amenities to be noted are; Post Office, Takeaway food stores, Medical Practice and General food stores, all posted within approx. 500m radius of the development. There are further food stores and community amenities within Grimethorpe to the south approx. 2.3km.

Church Street has a mixture of dwellings and community buildings, ranging in height and No. of floors. From 1 to 3 storey detached and semi-detached dwellings, predominantly built from red brick with grey tiles roofs, however there are a range of stone and rendered building. There is a new housing development to the south that proposed both Stone and Red Brick dwelling.

This site currently has a major archaeological objection allocation under, Barnsley Local Plan Proposed Allocation Site Assessment; Ref 956. This report is to be read in conjunction with the Archaeological document to ensure the proposed scheme has made positive attempts to identify and preserve the archaeological importance of this site. Further investigative reports are to be carried out, in the form of; Written Scheme of Investigation & Watching brief / Recording programme to be carried out during the construction phase.

The primary elevations all exceed the separation distances to the adjacent dwellings and the amenity space requirements are all achieved as indicated within submitted drawing package.

In summary, this Design and Access Statement outlines the vision for a thoughtful and functional residential development on the applicant's site whilst respecting the existing street scene. The proposal balances the need for residential properties with a commitment to preserving and enhancing greenery and maintaining harmonious relationships with neighboring residential areas.



# Design

## Architectural Design characteristics.

### Existing;

The existing dwelling along Church Street are a mixture of 1 - 2 & 2 ½ storey detached and semi-detached residential properties. These have been built predominantly out of red brick, slate roof and white upvc windows, with exception of a number of buildings being built in toolled-ashlar sandstone or similar stone with stone slate roofs.

The development on Hall Gardens has a mixture of 2 and some 2 ½ storey detached and semi-detached residential properties. Predominantly red and red multi brickwork dark grey roof tiles and some stone properties along the main road and surround Brierley Hall with slate roofs.

### Proposed;

A range of house types have been developed and designed to ensure the seamless integration of the development, these house type have been used to create an interesting and varied street scene whilst establishing the eligibility of the development.

Windows opening are simple with vertical emphasis to ensure well balanced elevations and a sense of relation to the surround dwellings and street scene.

All proposed dwellings are two storey which have been designed specifically for this site on the basis of the surround dwellings.

Therefore, this development follows these characteristics through the design foundations of a similar material palette, a range of aesthetical design elements and site layout techniques of the other surround new developments and of the village of Brierley as a whole.

## Connection and Road Layout.

A simple principal road design has been incorporated within this development, with a turning head for emergency and refuge vehicles. The single existing access and egress has been utilised for this site, with optimal visibility splays, as indicated from drawing No; 4038-05.

This designed principal road / vehicular route into the site is 7.3m wide with 2m pathways, thus to promote sense of arrival this primary access road into the development from Church Street. This designed feature is to give the development and its occupiers a preview of the existing countryside to which Brierley graciously provides.

## Scale, Appearance and Materials.

The footprint design has been increased from the standard provision set out within the Technical Housing Standards – Nationally Described Space Standard. These dwellings represent a relatively smaller percentage of the overall site however; the proposals have been designed to meet specific requirements for their intended future users.

## Secured by design considerations.

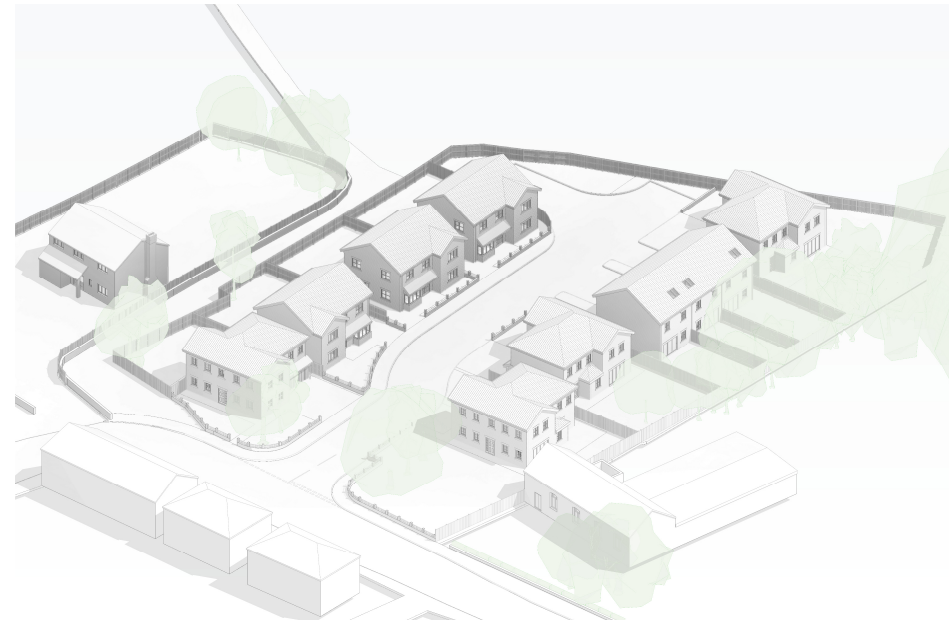
The following security conditions will be considered to ensure the safety of the residents residing at the properties. The reason for this is to ensure the physical protection elements of the premises are to current minimum standards. From a physical protection aspect, a requirement to install products accredited under a British (or similar) standard should be used.

All doors and windows are to comply with PAS 24 (2016) or LPS 1175 SR2.

The glazing units consist of a minimum of one pane of glass that achieves compliance under the BSEN356 P1A attack resistance standard.

Secure gates to rear gardens and side access paths are to be provided along with 1.8 privacy close board timber fencing.

Existing walls and fences along boundary as to be kept were logical, with localised repaired to be carried out where necessary to maintain the integrity and security of the development surroundings.



# Design

## Access to and use of Site and Buildings.

All pathways and approaches to dwelling have been designed to give precedence to pedestrian over vehicles where possible.

All approaches to the main entrance for a dwelling have been designed to be level or ramped from the car parking/ drop off locations and is to be fully compliant with Part M of the Building Regulations.

Dropped kerbs to be installed in where pedestrian routes and vehicular access points cross.

All non-adoptable pathway on the development will be a minimum of 1000mm wide, and not exceeding 1:12 gradient topographical scope permitting, all to be of solid construction and firm and even.

Parking to be provided for all dwelling in accordance with Barnsley SPD; Parking documentation. (C3 Dwellings - 1 space for dwellings with 1 or 2 bedrooms, 2 spaces for dwellings with 3 or more bedrooms).

All parking provided for dwellings will be on driveways or in designated plot parking areas.

All dwellings to have their own private garden spaces, designed to exceed the minimum requirement set out in Barnsley SPD; Design of Housing Development. (6. Rear gardens of proposed dwellings should be at least 50 square metres in the case of two-bedroom houses/bungalows and 60 square metres for houses/bungalows with three or more bedrooms. Smaller gardens may be acceptable in corner plots if privacy and daylighting can be maintained.)

All main entrance doors for the dwelling, have been designed to have level agree with a maximum threshold difference of 15mm and a clear opening to be provided of 900mm. All internal doors within the dwelling units have been specified and design to have minimum of 820mm clear opening width.

All dwelling units have been designed to have ground

floor toilets and are designed to comply with Part M of the building regulations approved documents.

## Use Classification.

The proposed Planning Permission aims to facilitate the construction of nine residential dwelling following the demolitions of the existing two dwellings, These dwellings will be designated to Planning Use Classes C3 as specified in the Town and Country Planning (Use Classes) Order.

## Use Class C3 – Dwellings.

Use Class C3 of the Use Classes Order 1987 (as amended) is for the use as dwellings. i.e. Houses, Flats, Apartments, Bungalows etc.

The full description is for the use as a dwellinghouse (whether or not as a sole or main residence) by—

- (a) a single person or by people to be regarded as forming a single household
- (b) not more than six residents living together as a single household where care is provided for residents;
- (c) not more than six residents living together as a single household where no care is provided to residents (other than a use within Class C4).

## Interpretation of Class C3

For the purposes of Class C3(a) “single household” shall be construed in accordance with section 258 of the Housing Act 2004.

By aligning with this specified Planning Use Classes, the proposed development adheres to the planning policy set out in Barnsley’s Local Plan.



# Design

## External Works Features.

External works aimed at improving functionality and aesthetics.  
Sufficient car parking spaces to meet the demands of the dwellings.  
Provision for bin storage within the sites plots and in close proximity to the highway.

## Landscaping Features.

Soft landscaping designated at the rear to form the amenity space via lawn area.  
Soft landscaping at the front with the introduction of drift spring bulbs.  
Front boundary facing the highway composed of a 1-meter low level wall continuing as the separating boundary to the front of the properties.  
Rear separating boundaries consisting of 1.8-meter-high close board fencing, providing individual amenity spaces.

This comprehensive approach to the project ensures careful consideration not only of the built environment but also of the surrounding landscape. The allocation of space caters to the varied needs of residential dwellings while incorporating sustainable and aesthetically pleasing features. The integration of landscaping elements demonstrates an awareness of the ecological impact, contributing to a balanced and well-rounded development.

## Internal Layout.

The internal layout of the dwellings, illustrated in accompanying drawings, reflects careful planning and consideration for end-users' requirements. Each dwelling features open-plan living space, a modern feature in new constructions, as well as amenity spaces and between three and four bedrooms with en-suites. Feature windows at the rear maximise views and natural light which will enhance the living accommodation

This comprehensive design progression demonstrates a responsive and iterative approach, considering various options and refining the layout to address potential concerns and optimise functionality. The final design strikes a balance between practicality, cost considerations, and a conscientious response to the surrounding environment, warranting careful consideration for approval.

## Appearance Overview.

The proposed residential development prioritises the effective utilisation of the existing site to create nine dwellings, while adhering to a higher-than-average specification. The design incorporates a modern aesthetic that aligns with the diverse material palette present in the area. Continued to the right are key elements contributing to the appearance of the development:

## Material Palette.

The design integrates a modern appearance, drawing inspiration from the existing built forms in the area. The proposed material palette includes;

- Traditional Clay Rustic Red Blended Facing Brick,
- Smooth Black Slate,
- White Composite Access Doors
- Upvc windows in either White or Anthracite Grey,
- Ashlar Stone head and cills,
- Black RWG Upvc.
- Anthracite Grey Bi-folding doors

These choice of material aims to create a contemporary yet complementary aesthetic within the context of the surroundings whilst providing some individuality.

## Building Design.

The new dwellings are designed to harmonise with the existing street scene while possessing a distinct and standalone elevation.

The elevation features a blend of high-quality brick choose with a traditional window proportions contributing to a visually appealing and functional design. Ashlar Stone feature of head and cill will provide the extra detail to enhance the overall finish to the development.

## Structural Element.

The main structure of the building will be traditional cavity built with structural elements where required, ensuring stability and durability.

## Ev Charging.

As of June 2022, it is government policy for all new dwelling to have at least one EV charging point installed. To ensure this development complies all dwelling have a new EV charging points and the necessary infrastructure has been noted and to be implicated in the design from the start; Rolec EV Single Phase Type 3 Units or similar approved are to be installed.

## Planning History.

Planning history for site is minimal and is as follows:

**2016/1451** - Erection of 16 new dwellings following removal of existing bungalow and 6 outbuildings and creation of new access into church street. (Outline) – Application refused due to insufficient provision when requested documental evidence.

# Design

## Planning Policy and Key Constraints Relevant to the site

Key Constraints / Designations Relevant to the Site:

### Development Limits.

The site falls within the development limits of Brierley: defined village development limits and is situated within a Residential Policy Area. This designation signifies adherence to specific policies and regulations governing residential development in the area.

### Heritage Assets.

The site is located within a Conservation Area, there are no listed buildings on or adjacent to the site. However, there are listed building in close proximity to the site these have been highlight further within this document.

### Flood Zone.

The site is categorised within Flood Zone 1. This designation implies a low risk of flooding.

### Public Right of Way (PROW).

There is a Public Rights of Way (PROWs) in close proximity to the site but not running through. This absence of designated public access routes suggests minimal impact on pedestrian or public traffic flow due to the proposed development.

### Policies.

#### National Planning Policies.

National planning policies are contained in the National Planning Policy Framework (NPPF) (2023). The NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent.. The most relevant sections of the NPPF in this case are: -

Chapter 2 - Achieving sustainable development

Chapter 4 - Decision making

Chapter 5 - Delivering a sufficient supply of homes

Chapter 9 - Promoting sustainable transport

Chapter 12 - Achieving well-designed places

Chapter 14 - Meeting the challenge of climate change, flooding and coastal change

Chapter 15 - Conserving and enhancing the natural environment

### Planning policy relating to the scheme, which have been taken into consideration.

Barnsley, Local Plan Adopted January 19

Core strategies,

H1 The number of new homes to be built

H2 The Distribution

H4 Residential Development on Small Non-allocated Sites

H6 Housing Mix and Efficient Use of Land

T3 New Development and Sustainable Travel

T4 New development and Transport Safety

D1 High Quality Design and Place Making

HE1 The Historic Environment

HE2 Heritage Statements and general application procedures

HE3 Developments affecting Historic Buildings

HE6 Archaeology

GS2 Green Ways and Public Rights of Way

BIO1 Biodiversity and Geodiversity

CC1 Climate Change

CC2 Sustainable Design and Construction

CC3 Flood Risk

RE1 Low Carbon and Renewable Energy

Poll1 Pollution Control and Protection

I1 Infrastructure and Planning Obligations

I2 Educational and Community Facilities

### Supplementary Planning Documents.

Design of Housing Development, Adopted July 2023

Heritage Impact Assessment, Adopted May 2019

Biodiversity and Geodiversity, Adopted March 2024

Sustainable Travel, Adopted July 2022

Parking, Adopted November 2019

Planning Obligations, Adopted November 2019

Trees and Hedgerows, Adopted May 2019

### Others.

South Yorkshire Residential Design Guide

# Design

## Principal of Development.

Following a review of Local Planning Policies, it is felt that the main planning considerations for this development are as follows:

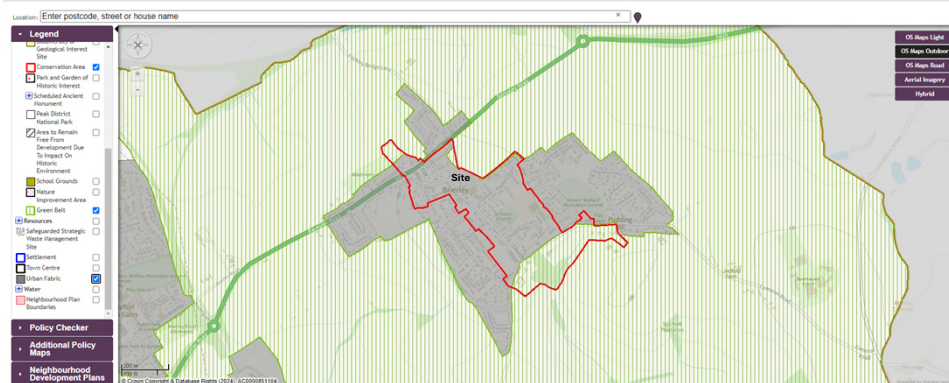
- Principle of Development
- Visual and Amenity Impact
- Highways Safety; and
- Ecology and Trees.

## Principle of Development.

The site falls within a Defined Village and Residential Policy Area, governed by Local Plan. According to the Local Plan these villages do not have allocations for new development outside the defined development limits however given our site falls within the development limits then the proposal will be considered against other policies of the Plan as shown on the Policies Map. A review of the policy maps state that the site falls within a residential policy area.

The development aims to enhance the existing area by replacing the Existing Farmhouse Barns /Outbuildings and existing bungalow with architecturally designed dwellings, softening the frontage with traditional hedgerow / low level stone wall with wrought iron above and soft landscaping features.

The introduction of new dwellings maintains the continuity of the street scene, facilitating a seamless transition. These adjustments align with local plans principles, ensuring that non-residential development respects and enhances the residential amenity of the area.



## Character of the area.

The National Planning Policy Framework (NPPF) mandates planning policies and decisions to encourage effective land use to meet housing and other needs, while safeguarding and enhancing the environment and ensuring safe and healthy living conditions. Paragraph 130 emphasises that planning decisions should ensure developments function well, enhance the area's overall quality, are visually appealing, maximise site potential, and are in harmony with the local character.

The character of the area is characterised by a linear development pattern on both sides of the road, featuring spaced-out church and two-story dwellings. The replacement of some smaller dwellings with larger, modern ones has contributed to the streetscape's character.

The proposed erection of Nine two-story dwellings, similar in footprint to surrounding properties, is not expected to disrupt the area's character. These dwellings would blend seamlessly with the existing streetscape and enhance the area's distinctiveness. While drawing inspiration from the wider context, the design of the proposed dwellings does not mimic neighboring properties outright.

It is believed that the proposed scheme would not adversely impact the area's character and would therefore align with policy objectives.

## Design and Visual Impact.

Paragraph 130 of the National Planning Policy Framework seeks, amongst other things, to ensure developments will function well and promote health and well-being with a high standard of amenity for existing and future users.

In accordance with the Local Plan, which emphasises that developments must protect existing amenity and not significantly impact on the living conditions or privacy of neighbours or the host property (including their private gardens), be over-bearing, or result in an unacceptable loss of garden space.

Any potential non primary rooms windows on side elevations that would look out over gardens of the neighbouring properties adjacent, but this is in exceeds of 23m are to be obscure glassing. This is a common occurrence in a residential area and will not lead to a significant loss of privacy over and above what would be expected In any residential development. Any loss of light or overshadowing into the neighbouring properties would not be over and above what would be expected.

All bedrooms meet the minimum space standards outlined in the NPPF, and habitable rooms receive adequate natural daylight and outlook. The proposed development is expected to maintain neighboring residential amenity and provide a satisfactory level of residential amenity for future residents, thereby aligning with the above policies

## Highways Safety.

As outlined in the proposal, there is space for two vehicles located in the garage, surpassing internal dimension requirements and allowance for a single electric charger will be supplied with the garages. Ample space within the site allows for safe turning, ensuring all vehicles enter and exit in a forward gear. Provision has been made for bin storage near the highway for collection.

Before the development is occupied, the driveway surfacing will be sealed to prevent any loose material from affecting the highway. Given the permeable nature of the driveway, site-specific drainage is unnecessary, except for an aco channel at the driveway entrance to prevent water from flowing onto the footpath.

# Design

## Heritage Statement.

This site is denoted within the demise of Brierley Conservation area.

There are no listed buildings within the sites area, however note has been made of the two Grade II listed buildings in close proximity to the proposed development.

The proposed development does not affect the heritage assets of either of these listing.



**A** - List Entry Name; Milepost Approximately 100 metres east of junction with Frickley Bridge Lane.

List Entry Name; 1314993

Grade; II



**B** - List Entry Name; Brierley Hall,  
List Entry Name; 1191201

Grade; II

# Design

## **Conclusion.**

This Design and Access / Heritage Statement aim is to support the Planning application of Erection of 10No. new dwellings following demolition of existing bungalow, Farmhouse and Outbuilding accessed via church street.

This development looks to enhance the local area further, by retaining the existing character and appearance of the Church street and its surround area. This detailed Drawing & Design and Access package, indicates the proposal would not represent a significant visual change for the area and will be seamlessly integrated. Whilst respectfully re-introducing existing materials and design elements this development poses no harm for the overall character and appearance to the neighboring properties and listed buildings, there for would have no impact on the conservation area.

This development proposals poses no harm to the designated heritage assets and thereby according and complying with the local and national framework policy's along with the designated local plan for the Barnsley, outer villages.

The scale of the proposed dwellings is considered proportionate to the surrounding properties, ensuring they do not introduce inappropriate massing. Additionally, the development is deemed acceptable in terms of considerations such as highways, trees, ecology, drainage, and pollution.

We trust that the Local Planning Authority (LPA) will share our perspective, and we eagerly anticipate collaborating with you on this application.