

Application Reference: 2026/0366

Site Address: 40 Green Spring Avenue, Birdwell, Barnsley, S70 5RY

Proposal: Demolition of existing garage and erection of replacement outbuilding.

Relevant Site Characteristics

The property is a semi-detached bungalow within the Birdwell area. The surrounding area is characterised by predominantly semi-detached and detached bungalows. Hipped and pitched roof forms are commonplace. Brickwork is predominantly used along with some rendered and stone features.

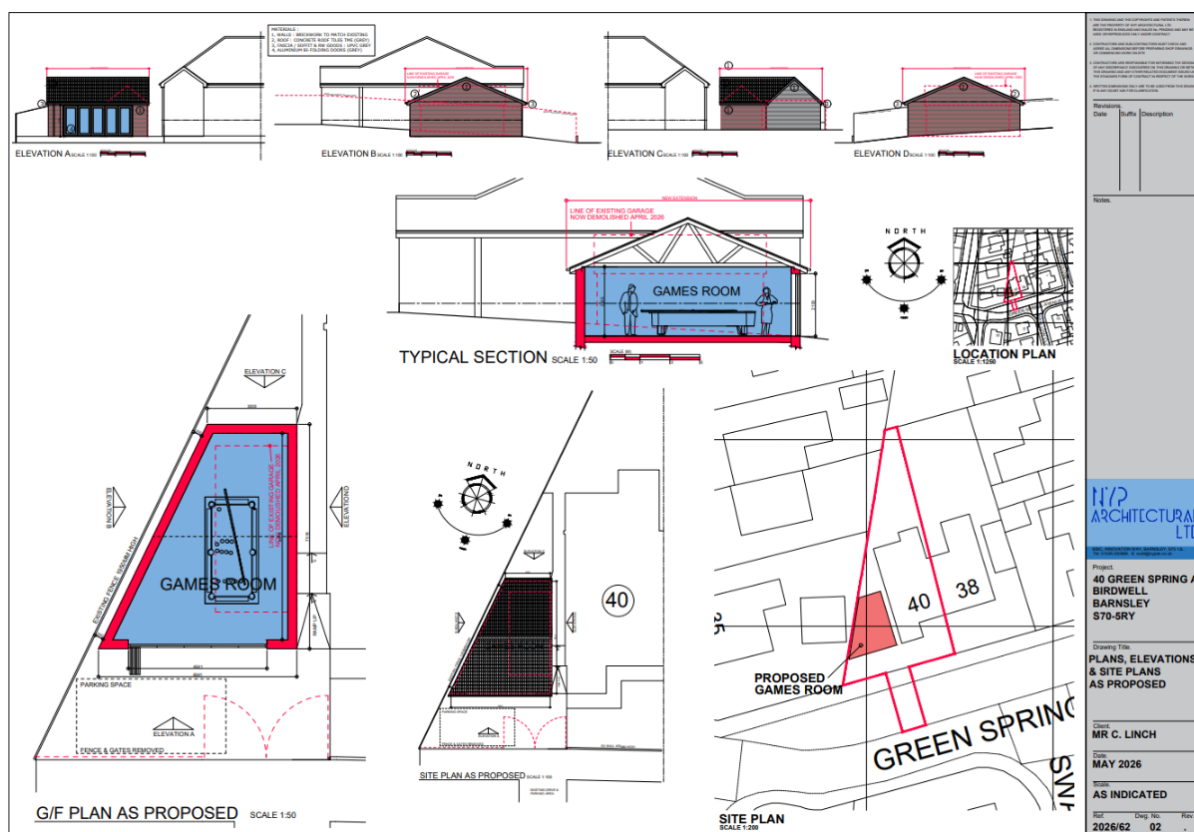
The property features a hipped roof form and is constructed from brickwork along with stone below the front elevation window. A small garden is located to the front of the dwelling. A driveway is located to the west of the dwelling providing access to a detached garage. A driveway is also located to the front of the dwelling. A modest garden is located to the rear.

Planning History

Reference	Description	Decision
B/90/0995/WB	Erection of extension to dwelling	Permission Granted

Detailed description of Proposed Works

The applicant is seeking permission to demolish an existing detached garage located to the west of the dwelling and to erect an outbuilding to be used as a games room. The outbuilding would have an approximate width to the front elevation of 6.6 metres and have an approximate length of 7.5 metres. Due to the shape of the site, the outbuilding would be narrower to the rear of the outbuilding with an approximate rear elevation width of 3 metres. A pitched roof is proposed with an approximate eaves' height of 2.1 metres and an approximate ridge height of 3.9 metres. The outbuilding would have an approximate floorspace of 28 square metres. Bifold doors are proposed to the front of the outbuilding, spanning approximately 4.6 metres. A parking space is retained to the front of the dwelling. Matching brickwork and roof tiles are proposed.



Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework

for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

One representation has been received outlining the following material concerns.

- Will the proposed outbuilding will be used for domestic enjoyment and not commercial activities?
- No physical dimensions of the proposed height have been outlined on the proposed elevations.

The following non-material concerns have been outlined

- Depending on the domestic use of the outbuilding, will sound proofing be installed?
- Will the 300mm gap between the outbuilding and the fence enable fence maintenance?

- Has any form of weed barrier been proposed between the gap of the outbuilding and the fence?

Whilst all comments are noted, only material planning considerations can be taken into account in the determination of a planning application.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric where extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

Neighbouring comments highlighted the eaves and ridge height were not detailed on the elevations. An acceptable scale was provided which allowed the eaves and ridge height to be measured from, providing an eaves height of 2.1 metres and a ridge height of 3.9 metres.

The Supplementary Planning Document for House Extensions states 'Detached garages and outbuildings should be single storey structures and the eaves height should not normally exceed 2.5 metres from ground level, whilst the ridge height should not exceed 4 metres.'

Although the proposed outbuilding would be forward of the original front elevation of the dwelling, the outbuilding would not project forward of the existing extension located to the front of the dwelling. The proposals impact on the street scene would therefore be no more impactful than the existing dwelling and the outbuilding is acknowledged to be of a similar scale to the neighbouring detached garage to the west of the site.

The proposal provides a modest floorspace at approximately 28 square metres, significantly less than the 39 square metres generally considered acceptable for outbuildings. The proposal details a pitched roof, which would be in keeping with the character of the dwelling and street scene. When measured, the proposal provides a modest 2.1 metre eaves height and a modest 3.9 metre ridge height which are considered acceptable against the House Extensions SPD.

The proposed front elevation glazing is detailed centrally to the outbuilding and is not considered controversial. The use of matching materials allows the proposal to remain in keeping with the character of the dwelling and street scene.

It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making and as such carries considerable weight in favour of the application.

Impact on Neighbouring Amenity

Concern was raised regarding the potential commercial use of the outbuilding and any potential impacts due to noise.

The proposed outbuilding provides a modest ridge and eaves height which would not result in any significant loss of light. The proposal would be significantly screened to the west by an existing boundary fence and an existing detached garage. The proposal would be of a similar scale to the existing neighbouring garage and would therefore not have the potential to have an overbearing impact. The proposed glazing does face the street scene, however the opposite dwelling is distanced by the highway and also provides significant boundary treatment to the front of the dwelling. Additionally, the proposed room the glazing would serve, would not be a habitable room and would therefore not pose any residential amenity concerns.

The outbuilding has been detailed to be a games room and therefore has not been proposed to have any commercial usage. Usage of the outbuilding as a games room for domestic, residential purposes does not raise any concern as to noise or nuisance.

Nevertheless, the outbuilding will be conditioned to be used for residential purposes only, in order to prevent any site intensification and to prevent any trade or commercial usage which has not received additional approval from the local authority.

It is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level and is in compliance with Local Plan Policy GD1 General Development. This carries considerable weight in favour of the application.

Highways

The proposal would not increase the number of bedrooms on site. The proposal would result in the loss of 1 parking space from the existing garage. A parking space has been detailed to be retained to the front of the outbuilding and parking is available to the front of the dwelling in a similar fashion to neighbouring dwellings.

As such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries significant weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

It has not been necessary to request amendments from the applicant.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby approved shall be carried out strictly in accordance with the approved plans

Plans, Elevations & Site Plans as Proposed 2026/62 DwgNo:02

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality in accordance with Local Plan Policy D1 High Quality Design and Place Making.

3. The external materials shall match those used in the existing building.
Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order), the outbuilding hereby permitted shall be retained as such and shall not be used for any purpose other than a residential games room associated with the main dwelling (40 Green Spring Avenue, Birdwell, Barnsley, S70 5RY) without the grant of further specific planning permission from the Local Planning Authority. It shall not be used for any trade/business purposes, nor used as a separate residential use/annex and shall not be severed at a later date to create a separate planning unit.

Reason: To ensure that the residential use of the site is not intensified, contrary to sustainable development and Local Plan Policy T3 New Development and Sustainable Travel.

Informatives

- 1) The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

- 2) This permission shall not be construed as granting rights to carry out works on, under or over land not within the ownership, or control, of the applicant.