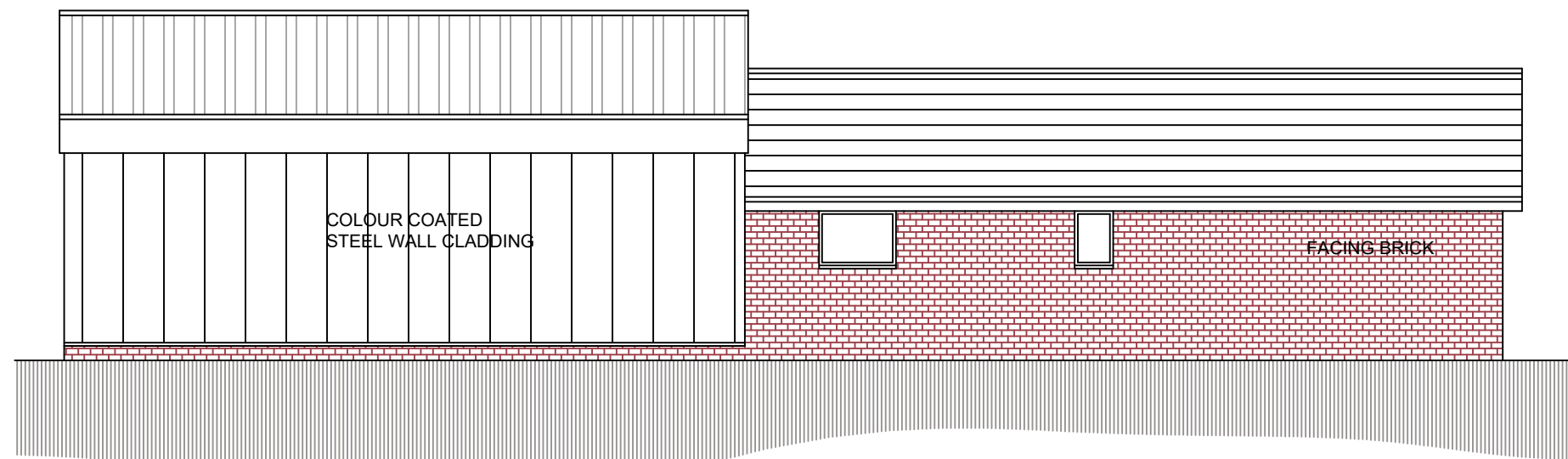


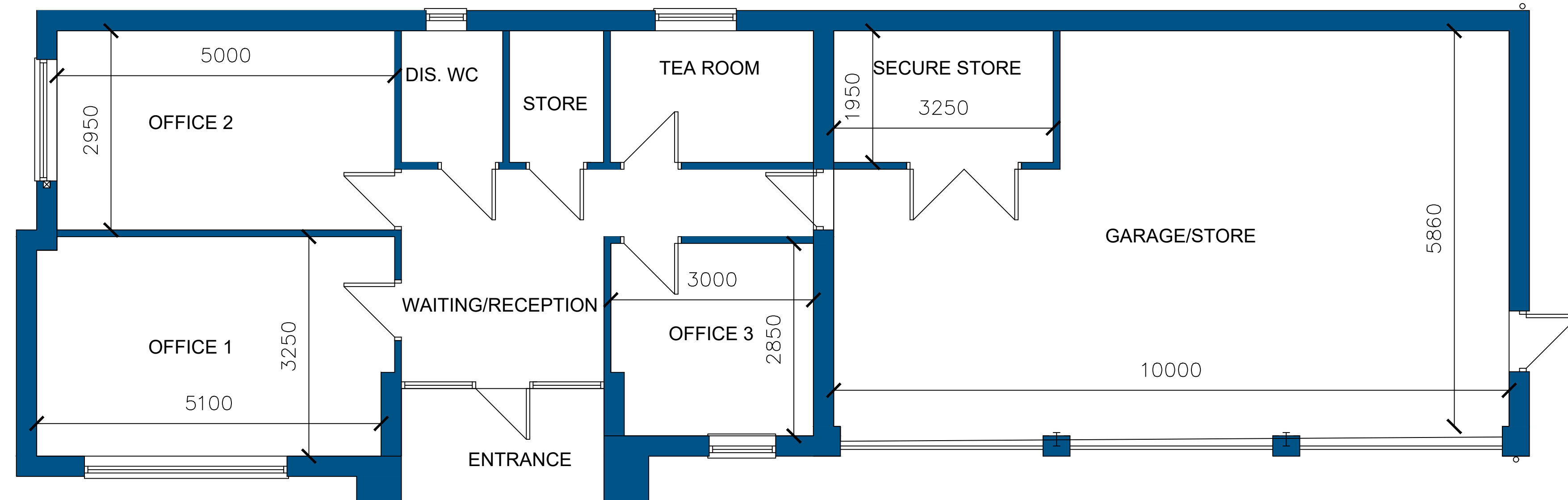
FRONT ELEVATION

SIDE ELEVATION

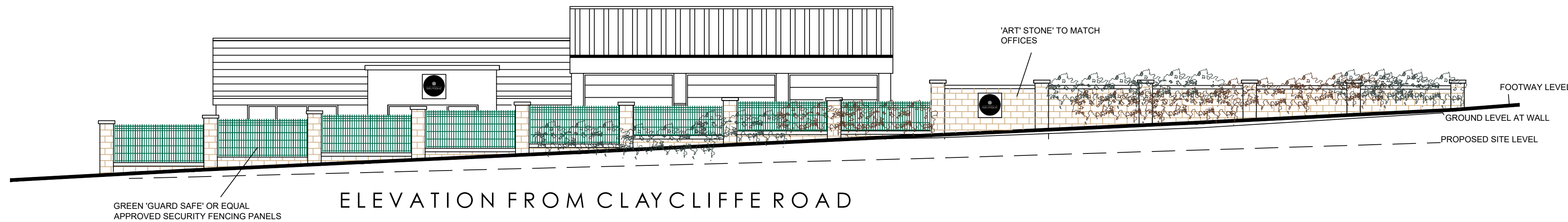


REAR ELEVATION

SIDE ELEVATION



FLOOR PLAN



ELEVATION FROM CLAYCLIFFE ROAD



SITE PLAN
SCALE 1:200

METHOD STATEMENT - CONSTRUCTION OF OFFICES, GARAGE AND STORAGE AT CLAYCLIFFE ROAD, BARNSELY.

SECTION 1 - ACCESS TO SITE FOR CONSTRUCTION TRAFFIC:
Access to the site will be directly from the existing and/or new entrance from Claycliffe Road

SECTION 2 - THE PARKING OF VEHICLES OF SITE OPERATIVES AND VISITORS
• Limited parking will be available within the curtilage of the site. If necessary, operatives and visitors will be directed to suitable 'on street' parking areas or public car parks.

SECTION 3 - DEMARCATION OF THE SITE/SECURITY HOARDING
• The site area will be secured by a perimeter fence to prevent unauthorized access. Lockable gates to each site entrance to be secured at the end of each work day.

SECTION 4 - DELIVERIES TO SITE & THE LOADING AND UNLOADING OF PLANT & MATERIALS
• All deliveries to site shall be guided in by a banksman wearing a Hi Vis vest to ensure safe access on to site from the highway.
• Where possible all deliveries to be unloaded within the site.
• All deliveries leaving site shall be guided out by a banksman wearing a Hi Vis vest and ensuring safe departure paying attention to members of the public and other traffic.

SECTION 5 - MEASURES TO CONTROL DUST & DIRT
• During dry periods of weather the site will be monitored for high levels of dust and, if required, will be controlled using sprinkler/hose pipe systems.
• Any mud and dirt transferred onto the road will be brushed and cleaned off daily to ensure the surrounding roads are kept as clean as possible.
• The banksman escorting vehicles out of the site will do a visual check of the road and footpath for dirt and take action if required.
• The Builder will inspect all vehicles and wash off any mud / debris to ensure they are clean & safe before driving onto the public highway.

SECTION 6 - NOISE LEVELS DURING CONSTRUCTION
• Noise from plant will be kept to a minimum by using modern well maintained plant, incorporating appropriate silences etc.
• Site operatives will be reminded of the importance of being considerate to neighbouring properties and members of the public during the course of their work, keeping noise to a minimum.

SECTION 7 - NEIGHBOURING PROPERTIES
• The site foreman will liaise with neighbouring properties to ensure a good working relationship.

SECTION 8 - STORAGE OF MATERIALS & PLANT ON SITE
• Materials will be stored on site in a safe and tidy manner
• Plant will have a designated parking area.
• Waste materials will be removed to a skip and taken off site to keep the site safe and looking tidy.

 White Agus Architectural Services			OFFICE ONE, DRILL HALL, 11 EASTGATE, BARNSELEY, S70 2EU			Phone: 01226 208482 Email: info@whiteagus.co.uk Web: www.whiteagus.co.uk		
Project: PROPOSED OFFICES, STORES AND YARD CLAYCLIFFE ROAD, BARNSELEY					Client: DEVELOPMENTS BY BOUTIQUE LTD			
Drawing Title: PLANS AND ELEVATIONS					Date: JUNE 2026		Scale: 1:50 & 1:100 @A1	
					Ref: 24-081		Dwg. No. 02	
							Rev. A	
Date	Suffix	Description	Date	Suffix	Description			
30-07-26	A	PARKING REPOSITIONED.						