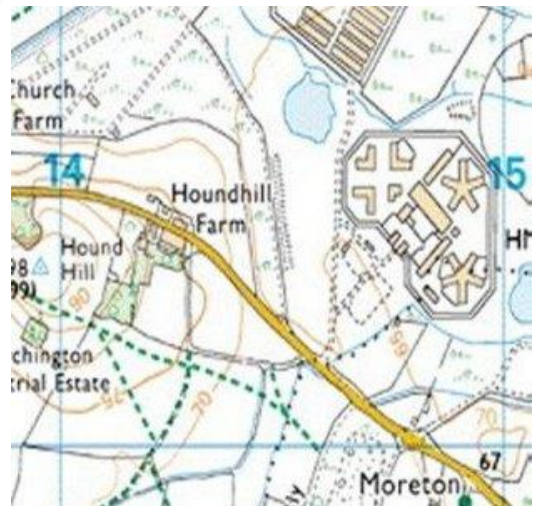


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Planning Statement

Supporting an Application for the

Proposed installation of foul and surface drainage connections and reinstatement of landscaping. (Part retrospective)

The Oval, Rockingham Roundabout, Hoyland, Barnsley, S74 0QA

1 Introduction.

This statement supports an application for the proposed installation of foul and surface drainage connections and the reinstatement of landscaping. (Part retrospective) at The Oval, Rockingham Roundabout, Hoyland, Barnsley, S74 0QA. These drains are required to service the adjacent site, which has been granted planning permission for the Erection of an A3 café and drive through facility ref 2018/1334. These connections will also serve further development on the site once this is established.

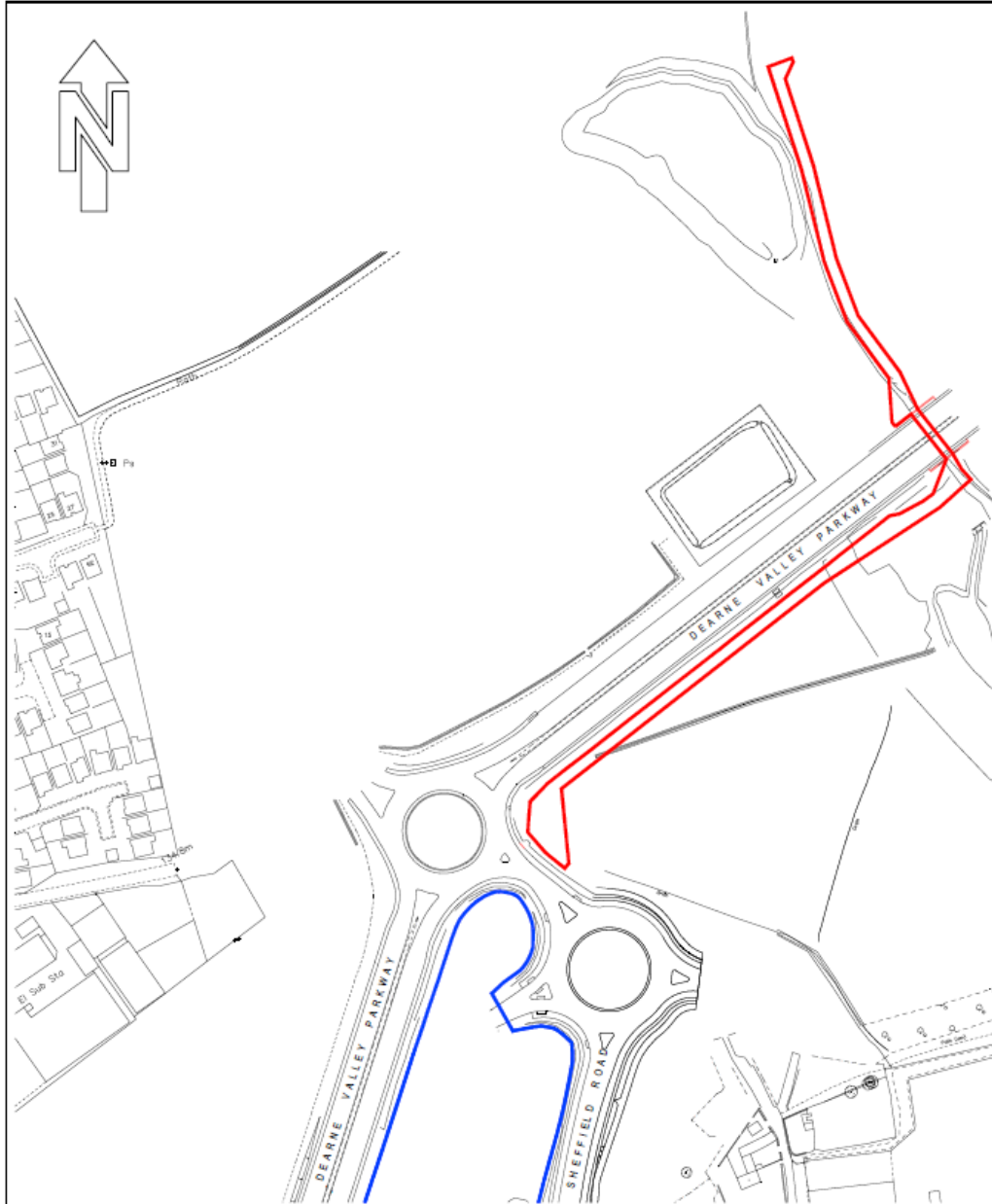
The Proposal

The proposed retrospective element of the application relates to a drainage run to the north east of the consented site known as the Oval (which has a consent for a Starbucks drive thru) and then runs along the Dearne Valley Parkway as shown on plan 39724/010 Rev A.

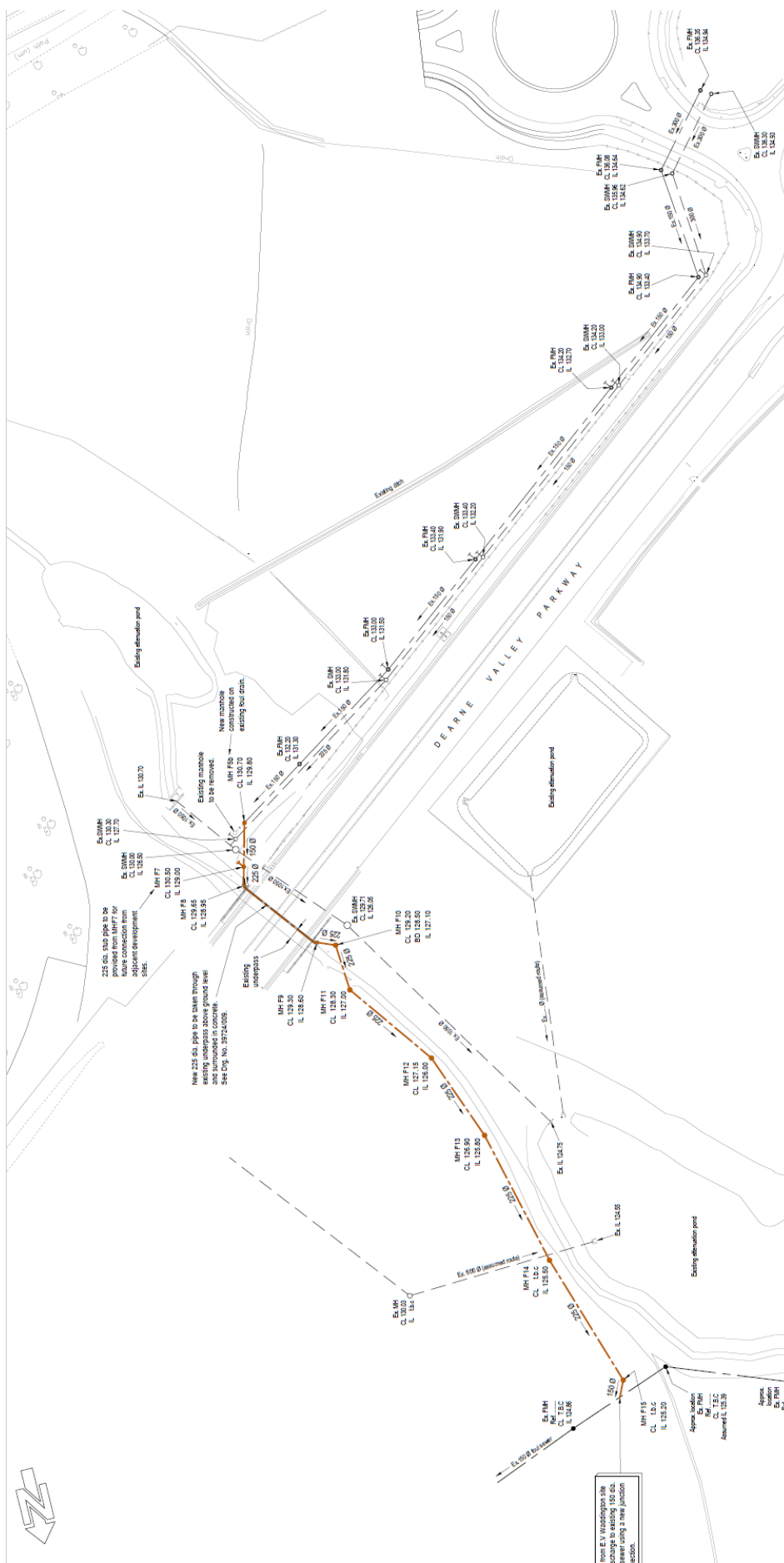
From leaving the approved Starbucks site and crossing under the road from the site this pipe initially comprises a 300mm surface water pipe runs for about 35 metres and drains to a manhole. Here the pipe diameter reduces down to 150mm, this pipe then runs north easterly along the line of the Dearne Valley Parkway for around 165m where via another manhole this enlarges out to a 225mm pipe. This pipe then runs for a further 65 metres before a further manhole connection then sees the pipe widen further to 1050mm surface drainage run. This run then heads north westerly for around 125 metres and crosses under the Dearne Valley Parkway via the pedestrian underpass to then outflow into the existing attenuation pond.

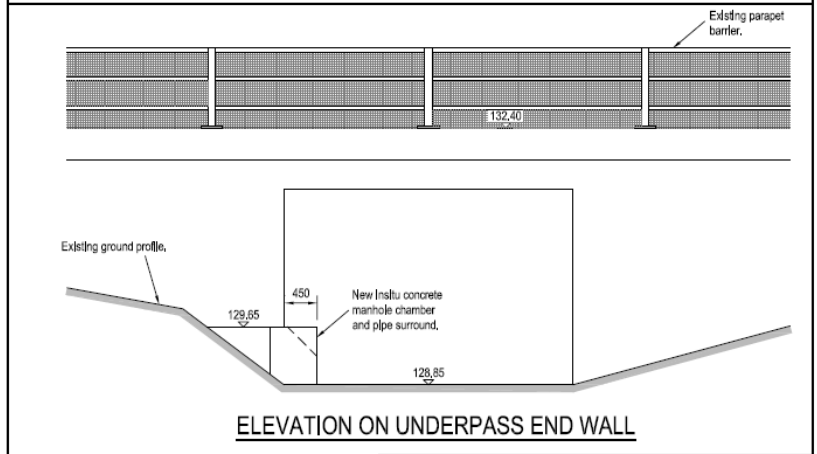
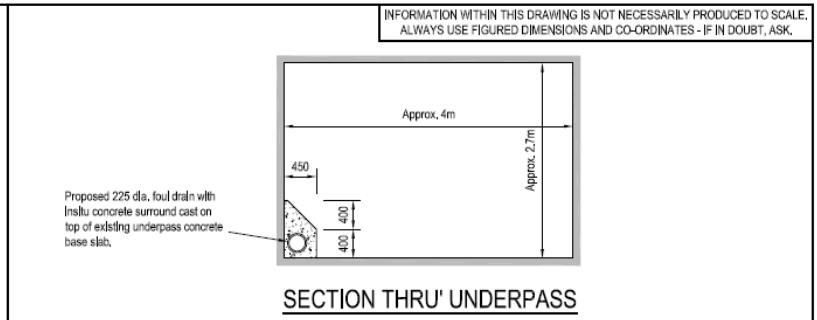
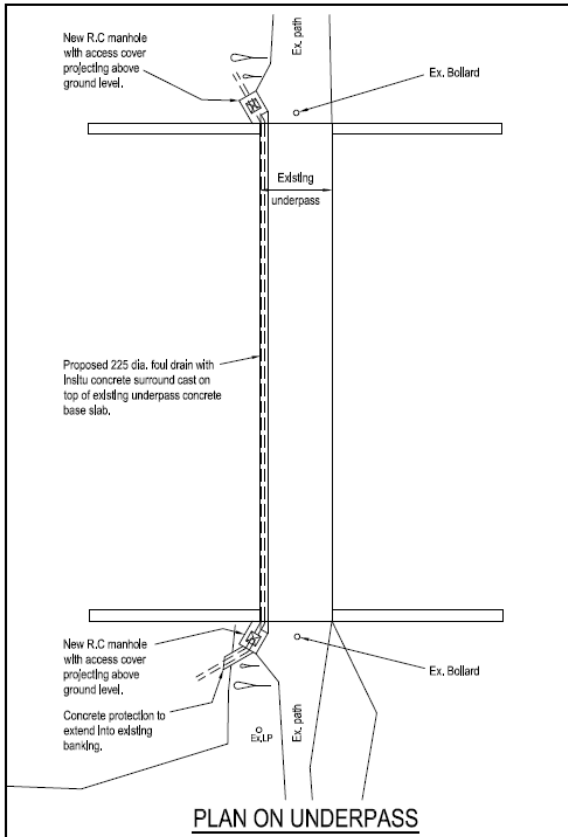
Broadly along the same route a foul drainage run has also already been installed. The runs for approximately 250m and comprises a 150mm diameter pipe running parallel in the same corridor. This pipe is currently unconnected where it reaches the underpass with the Dearne Valley Parkway. Here it is proposed to lay a further short section of 150mm pipe for around 17 metres before constructing a manhole which will then enlarge the pipe to 225mm diameter and run this under the Parkway and continue this for approximately a further 250 meters beyond the attenuation pond to connect to the main foul sewer which runs off to the northwest, this element is proposed and can be seen in brown on plan 39724/010 Rev A. The

proposed element of the application will see the ground reinstated to reflect its current condition. The element of the foul sewer under the underpass will be constructed with an insitu concrete surround cast onto the existing underpass concrete base slab. This can be seen on drawing 39724/009 B



The Site of the Oval where the pipe drainage runs originate is shown in blue with the red line then depicting where the runs travel along the Parkway before crossing under it.





B	Concrete pipe surround top surface Inclined as requested. Elevation on underpass end wall added.	MW	AP	06.03.19
A	First Issue.			
REV	DESCRIPTION	SIG	CHK	DATE
SCALE WHEN PLOTTED AT A3 1:200 1:50		DRAWING STATUS PRELIMINARY		
DRAWN MW	CHECKED AP	DATE 17-02-19	DRAWING NUMBER 39724/009	REV B

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ROCKINGHAM

NEW FOUL DRAIN THROUGH EXISTING UNDERPASS

The Planning Policies .

Local Planning Policies

The proposed drainage is designed to serve land which forms part of an area of land allocated for employment uses in the emerging Local Plan and that a consent has already been established. That Plan has been examined over the last 18 months and is shortly due to publish Proposed modifications. The relevant Planning policies are therefore to be found within the Adopted Core Strategy of September 2011 and the emerging Local Plan. The policies within the UDP are now largely out of date.

Core Strategy

The Core Strategy acknowledged the need to generate new employment opportunities To improve the economic activity rates in the borough through the Growth Plan. The Plan noted the food and drink industries that would be part of this economic initiative. CSP 20 promotes the growth of tourism related projects including hospitality.

The Emerging Local Plan Submission Document

Includes the following Policies :_

LG2 Location of growth -includes the principal town of Hoyland as a growth Location

The Economy Chapter sets out the challenge for the plan period to inter alia provide new job opportunities and support new growth sectors. A range of employment generating opportunities are part of the economic solution

To support the overall aims the Plan allocates new employment locations including some 116 hectares of employment land at Hoyland and that includes allocation Hoy2 of some 8.9 hectares. The subject site forms a small part of Hoy 2.

Policy HOY2 allocates 8.9 hectares of land and some development control criterion. The plan does not specify the mix of uses that are to be developed on employment land. Indeed Policy E1 sets out that the sites are to meet the needs of businesses and their workforce.

The proposed drainage is required to enable the delivery of the scheme and the plan. The proposal is compliant with policy CSP 3 and 4 on Sustainable Drainage Systems (SuDS) and Flood Risk

The National Planning policies

The National Planning Policies are contained within the NPPF Feb 2019 and the following are relevant considerations

2. Achieving sustainable development

7. The purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs⁴.

8. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

a) an economic objective – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of **infrastructure**;

The presumption in favour of sustainable development

11. Plans and decisions should apply a presumption in favour of sustainable development.

For plan-making this means that:

- a) plans should positively seek opportunities to meet the development needs of their area, and be sufficiently flexible to adapt to rapid change;
- b) strategic policies should, as a minimum, provide for objectively assessed needs for housing and other uses, as well as any needs that cannot be met within neighbouring areas⁵, unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a strong reason for restricting the overall scale, type or distribution of development in the plan area⁶; or
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

For decision-taking this means:

- c) approving development proposals that accord with an up-to-date development plan without delay; or
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date⁷, granting permission unless:
 - i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed⁸; or
 - ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

Para's 163 165 on drainage and Suds 5 are also considered relevant and are met via the use of Suds and the existing attenuation ponds.

The Planning Considerations.

Planning Application 2014/1452 permitted the development of a mixed scheme including A3, A4 and A5 uses on the land immediately to the west of the Application site. These uses are now operational and set the character of the location when leaving the motorway and travelling east on the Dearne Valley Parkway. The proposed use the subject of this application approved under ref 2018/1334 requires adequate drainage infrastructure in order to operate as will the remainder of the site when this is further developed.

The consent scheme will generate jobs both during construction and within the café once opened. The site will be looking to employ 27 people, with 15 full time and 12 part time employees.

It is considered that the application is policy compliant with the policies in the Emerging Local Plan on the basis that this relatively small proposal which will assist in bring jobs and economic growth to the area.

It is considered that the scheme is compliant with the policies in the emerging plan and the NPPF on the basis that the proposal will provide the necessary drainage infrastructure to delivery the site and create new jobs and employment opportunity in an area designated for growth in the emerging Plan.

April 2019

Janet V. Hodson, BA (Hons), Dip. TP. MRTPI. Thomas W. Beavin, MTCP (Hons). MRTPI.
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