



CHIMNEY COTTAGE

DESIGN, ACCESS & HERITAGE STATEMENT

Design Access and Heritage Statement Prepared By:

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Introduction

This Design, Access and Heritage Statement has been made to support the planning application for the single-storey rear extension on Chimney Cottage, as well as excavating the garden on to one level.

Site and Access

Chimney Cottage,
Wortley Village,
Wortley,
Sheffield,
S35 7DB

The site is located nearby to Wortley Hall, a Grade II listed building. The single-storey terrace house lies within the row of traditional stone infill homes on the Avenue. The site faces the expansive Yorkshire countryside and sits in front of an allotment to the rear.

The site is only a 0.15 mile walk to the local shops and eateries with transport links to Sheffield City Centre and Barnsley Town Centre.

The existing front access is not being changed, which has minimal effects on the adjacent dwellings. The extension is accessed through the rear of the existing building.



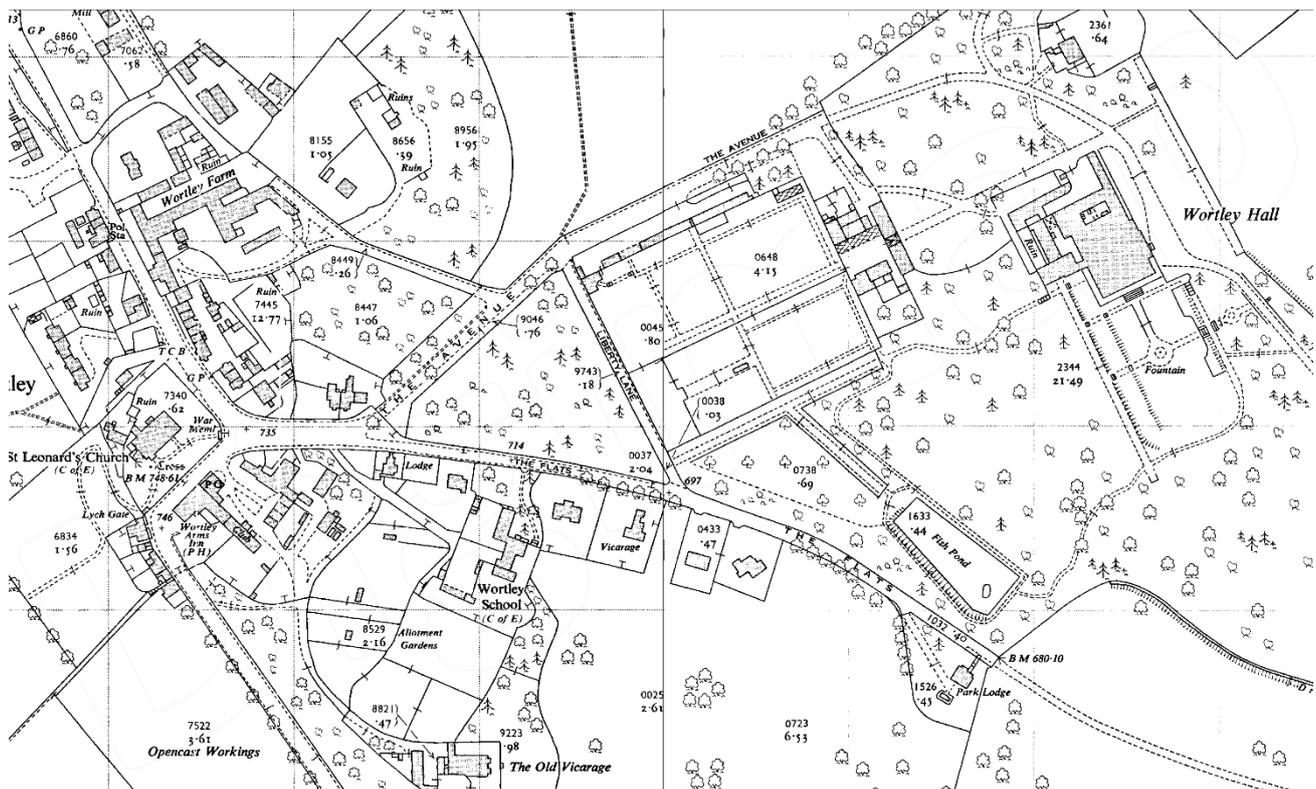
Heritage

Within Wortley Village, there are many Grade II listed structures. The most recognisable ones are St. Leonard's Church, Wortley Hall, and Wortley Arms.

Wortley Hall was originally a Georgian manor owned by the Earls of Wharncliffe. The building itself was rebuilt in the 1800s by Edward Wortley. After being left in a semi-derelict state during World War II, Wortley Hall was opened as an educational and vacation destination later in the 1950s. The working class from all backgrounds contributed to its restoration. The public can now visit the gardens to see the 26-acre property and the magnificence of the mansion.

The building's outside is decorated with elaborate elements like huge columns, intricate window surrounds, and stone walls.

1950s Chimney Historic Map



Characteristics of the Area

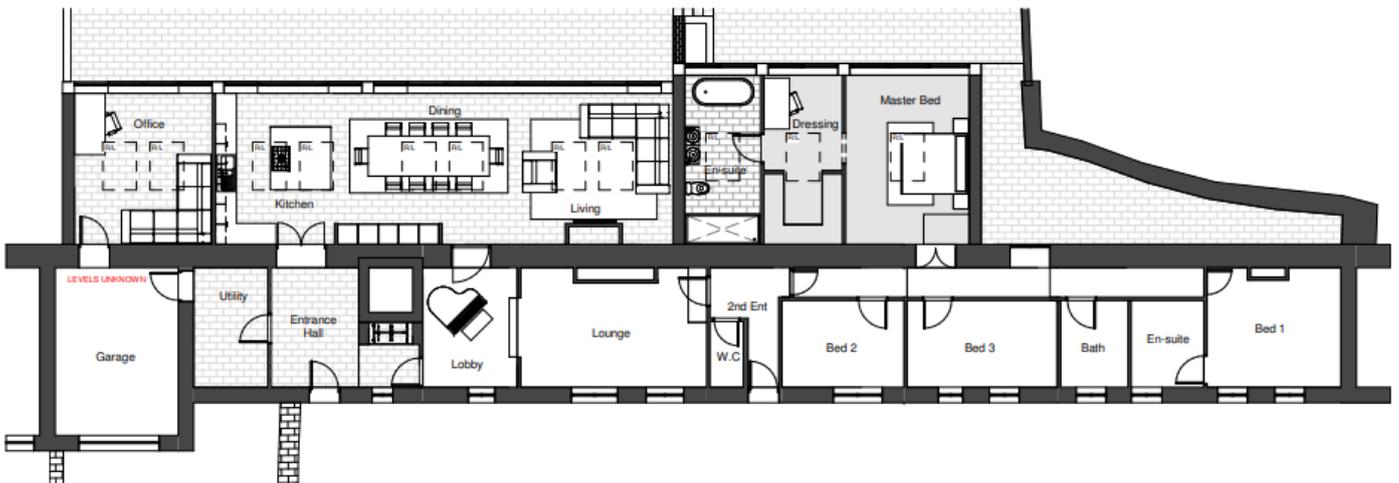
The village maintains the traditional style of British village homes with stone infill, pitched roofs, and window surrounds. The main lot types include farms, allotments, churches, parks, residential cottages, and terrace houses.

The area boasts picturesque countryside and plenty of walking routes, including access to the Trans Pennine Trail.

Layout

This proposed layout seeks to develop a single storey three-bedroom dwelling into a four-bedroom dwelling that includes:

- Master Bedroom with Dressing and En-Suite
- Open Plan Kitchen/Dining/Living
- Office
- Garage
- Utility
- Entrance Hall
- Lobby
- Lounge
- WC
- Three Additional Bedrooms
- Bathroom
- Ensuite



Scale and Massing

The extension is purely to the rear of the property and nestles behind the existing parapet, this ensures that there is no view of the extension from any public views, and more importantly any of the heritage assets in the village. Sitting behind the parapet also ensure the extension is subservient to the existing building, the pitched roof also stays below the parapet.

Even though the extension will have no impact on public views, materiality has still been carefully considered. The extension emphasises the traditional architecture style with the timber frame and stone infill while remaining hidden from the public's attention.



Appearance, Design & Context

The proposed plans extend the existing footprint of the house without affecting the traditional British style of the dwelling. Instead of entering a kitchen, you walk into an entrance hall that leads to the open Kitchen/Dining/Living. This continues into the new master suite, which has lots of light infiltration.

To ensure sympathy for the character of the area, the extension uses a timber frame structure with stone infill. The large amount of glazing introduced assists in the appearance of a lightweight structure and its subservience.

In order to emulate the traditional design of British terrace dwellings, the elevation imitates the height and roof pitch of the existing house.

It is also planned to dig out the rear garden to allow, it all to be on one level, with a simple retaining wall constructed around the perimeter. This will give a courtyard-style garden to the property.

Some Precedents looked at through the design process:



Conclusion

The proposal has been thoroughly considered in order to improve the property while preserving the traditional style of Wortley Village. The development will not affect the historic significance of the listed structures or the conservation area.