

1 to 50 scale at A3

PLEASE NOTE THIS DRAWING IS FOR THE
SOLE PURPOSE OF ACHIEVING PLANNING
APPROVAL .. ONCE PLANNING IS ACHIEVED
THEN THE CONTRACTOR MUST COMPLETE
A BUILDING REGULATION NOTICE . AND THE
DESIGN / CONSTRUCTION AND BUILDING
REGULATION IS THE CONTRACTORS
RESPONSIBILITY .

FULL CHECK DIMENSIONS ARE REQUIRED
BY THE CONTRACTOR TO ENSURE THE
SCHEME IS WORKABLE . DIMENSIONS
SHOWN ARE FOR GUIDANCE ONLY

THE CONTRACTOR IS TO APPLY FOR A
BUILDING NOTICE . PRIOR TO
COMMENCEMENT..

THE CONTRACTOR WILL BE REQUIRED TO
APPOINT A STRUCTURAL ENGINEER IF
REQUIRED BY BUILDING CONTROL

All new drainage to connect into existing
drainage , Exact location to be determined.
Client to check for any easements that exist
prior to appointing a contractor

new Utility waste to connect into
new S&VP and to connect into
existing/new manhole

EXACT BOUNDARY
LOCATION TO BE
AGREED BY BOTH
OWNERS no1 and no3

Wc and utility walls to be 100mm
blockwork with plaster and skim
finish bothsides

Insulated dividing
wall

Contractor to assume a new
drainage run and internal manhole
for new Wc and utility wastes , all to
be to the full agreement of building
control

new 100mm concrete slab for
garage , slab to be stepped down
from house floor level (100mm to
150mm)

to be set from boundary
by 50mm

Existing window to be
removed and opening
built up

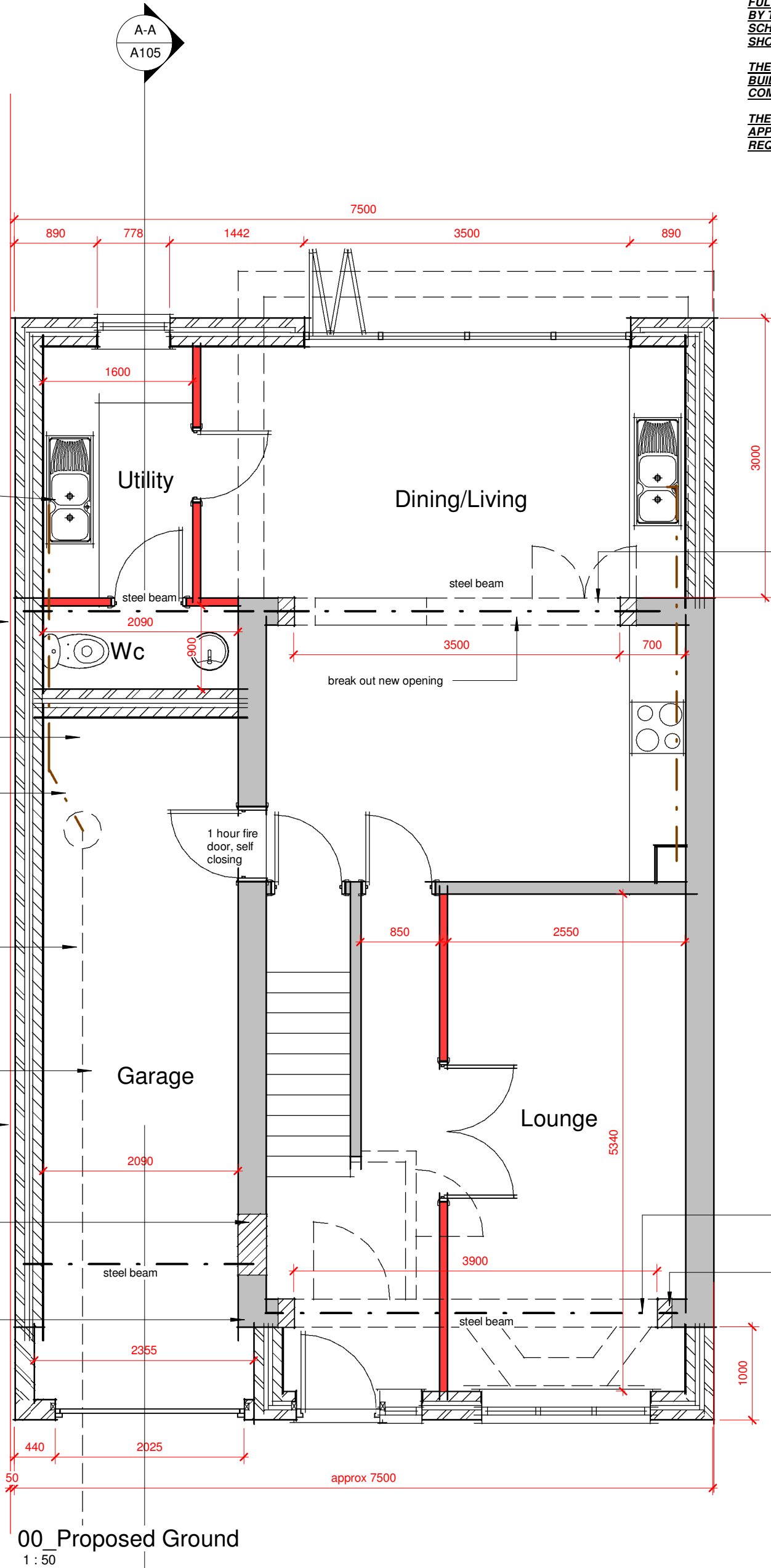
End pier to be minimum size
to the approval of building
control

New structural beams required
to support new cavity above , all
to structural engineers design

Existing non load bearing internal
walls to be demolished as shown,
contractor to check that these walls
are non- bearing

Existing Bay window and wall to be
removed and opening enlarged ,
New Lintel over to structural
engineers design

End pier to be minimum size
to the approval of building
control



3 Cloverlands Drive
Proposed Ground Floor

Scale (@ A3)
1 : 50
Date
Issue Date

Drg NO REV
A103