

Householder Proforma

Application Ref: 2021/0722
Address: 18 Midland Road, Royston, Barnsley, S71 4QP
Development Proposal: Erection of single storey rear extension to dwelling

Property Description:

The dwellinghouse is formed of an original semi-detached early/mid 20th Century property that has been extended on its southwestern side elevation. A difference in levels from front to rear mean that the original part of the dwelling presents as two-storeys to Midland Road and three-storeys at its rear. The same difference is experienced with the side extension albeit with a single storey at the principle elevation and two-storeys at the rear with an infill extension approved under 2017/1610. The dwelling is predominantly composed of red brick elevations and a mix of a pitched and flat-roof. A high boundary fence separates the curtilage of 18 from 16 Midland Road and the neighbouring property has a 1.5 storey rear extension.

Historic Google Street View imagery indicates that the tattoo studio is an established use benefitting from the 10 year rule, though there is a planning history from 1980 and 1974 that may have previously granted permission for this use.

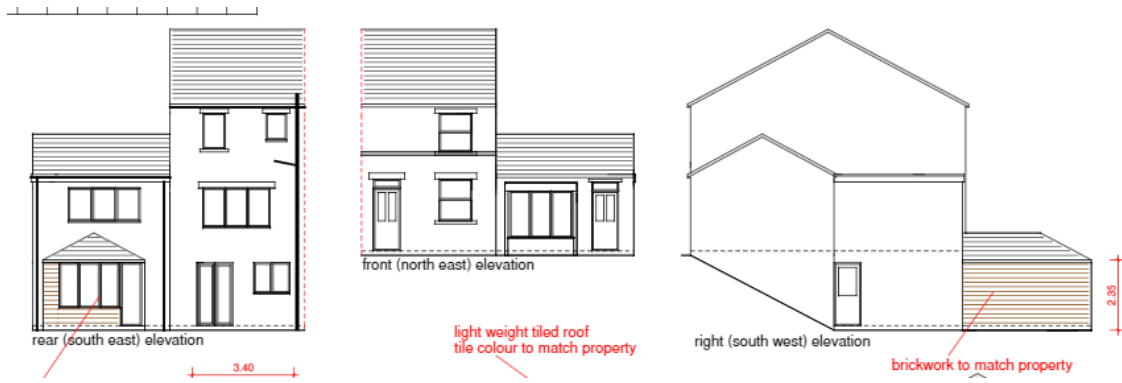


(Image on the right taken from 2017 application)

Proposed Extension:

A single storey rear extension has been proposed with a projection of 4.5m, a width of 3.4m and an eaves and ridge height of 2.35m and 3.25m respectively. The extension will be at the rear of the extension approved under 2017/1610. Roof is to be hipped with external finishing materials indicated as matching those upon the main dwelling.

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Local Plan Designation: Urban Fabric

Conservation Area: No

Relevant History:

2017/1610 – Proposed two storey extension to rear/side of dwelling – Approved with Conditions



Acceptable in Principle: Yes

Neighbour Representations: None

Rear Extension:

	Yes / No (include comment if required)
Single Storey	
1. terraced property and less than 3.5m (projection to rear)?	N/A
2. semi-detached and less than 4m?	No
3. if more than 3m are the eaves more than 2.5m in height?	No – Eaves 2.35m
All	
4. materials to match	Yes
5. roof design compliments / ties in well	Yes - Hipped

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6. habitable room windows on the side elevation?	Yes – East facing to own curtilage
7. distance to rear boundary (shared with another residential property) 10m or more?	N/A

Amenity Assessment:

Overbearance & Overshadowing: The extension is 0.5m greater than the maximum recommended projection for a semi-detached property. Nevertheless the eaves height is 2.35m and the roof leans away from the shared boundary to further lessen its impact on the neighbouring curtilage of No.16. Indeed that dwelling has also been extended and the ground floor window that will be situated between the two extensions is at a raised level and unlikely to be subject to a tunnelling effect that would reduce light into that fenestra. Indeed, that dwelling's own extension has a greater impact upon light upon this window and section of garden than the proposed extension as the proposed extension is located to the east and will only incur a low level of morning light loss that is of less importance than light during the day and evening.

To contextualise the 0.5m exceedance of guidance, no comments have been received from neighbouring properties and if the extension had not been located upon the side extension, it would have benefitted from the prior approval mechanism within the General Permitted Development Order which would allow development of up to 6m on a semi-detached dwellinghouse.

Overall the reasonable eaves height and roof form more than account for the minor exceedance of guidance in respect of projection in this instance and it is not felt that the extension will significantly overbear or overshadow No.16 Midland Road's property to a harmful degree by consequence.

Privacy Loss: No windows are proposed which would face a neighbouring curtilage at a height above prevailing ground levels. The resultant impact upon privacy is determined to be acceptable.

Visual Amenity: The extension is proposed with matching materials and a sympathetic roof form that sympathises with the main dwelling. Irrespectively, the development is at the rear of the property and unlikely to impact the streetscene as a result.

Conclusion: The development is determined to be acceptable in terms of visual and residential amenity and thereby in accordance with LP Policy GD1 General Development and D1 – High Quality Design and Placemaking.

Recommendation: Approve

3 Years
Plans
Materials