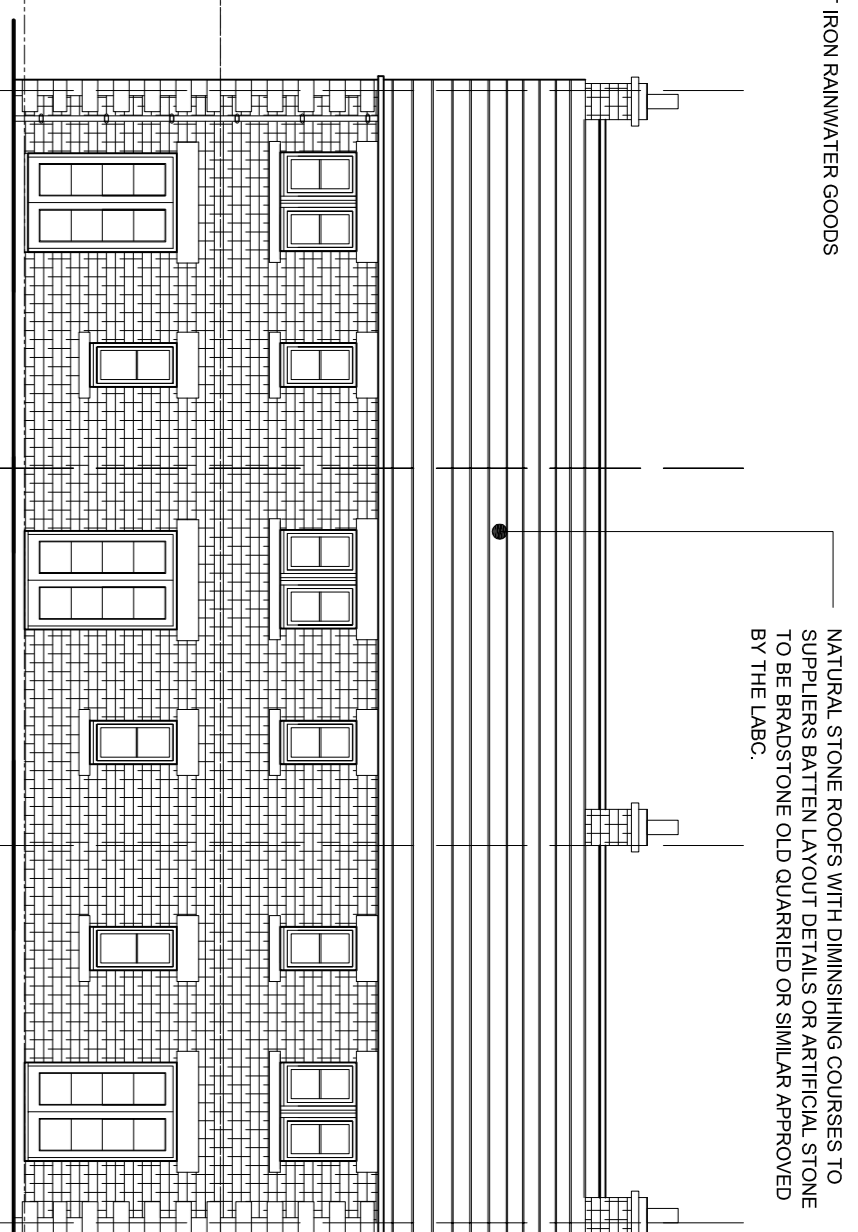
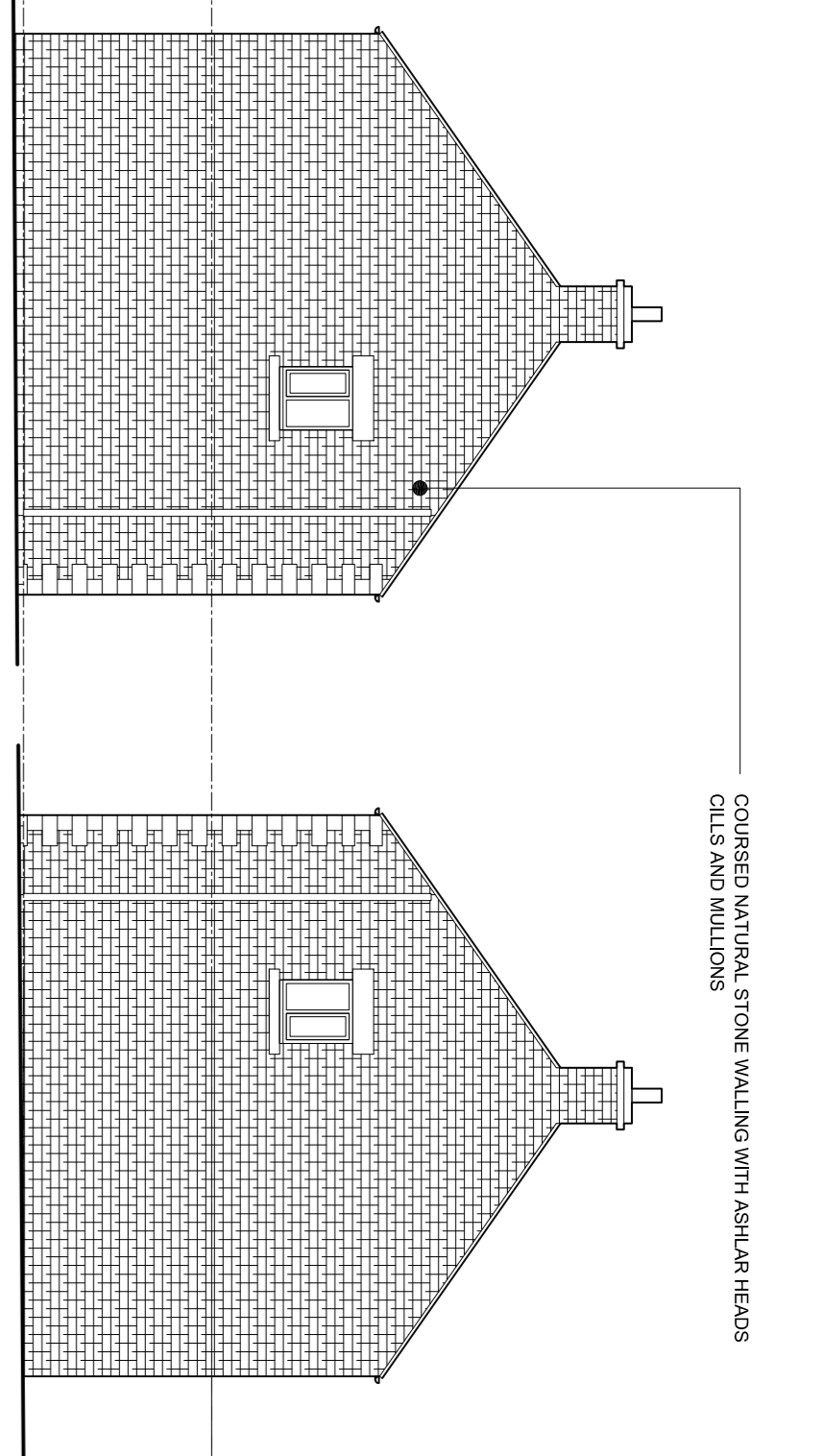


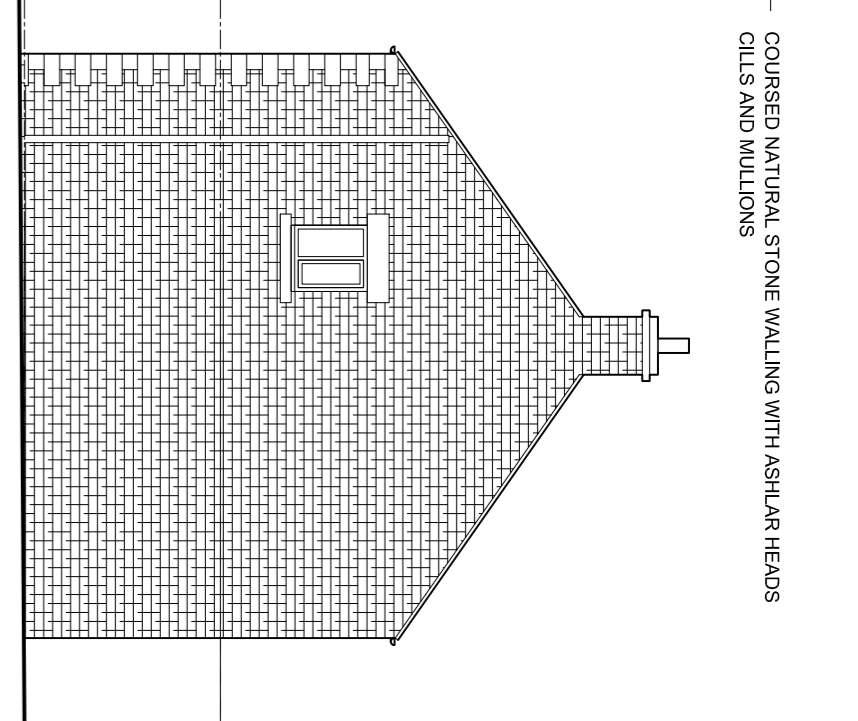
FRONT ELEVATION AS PROPOSED



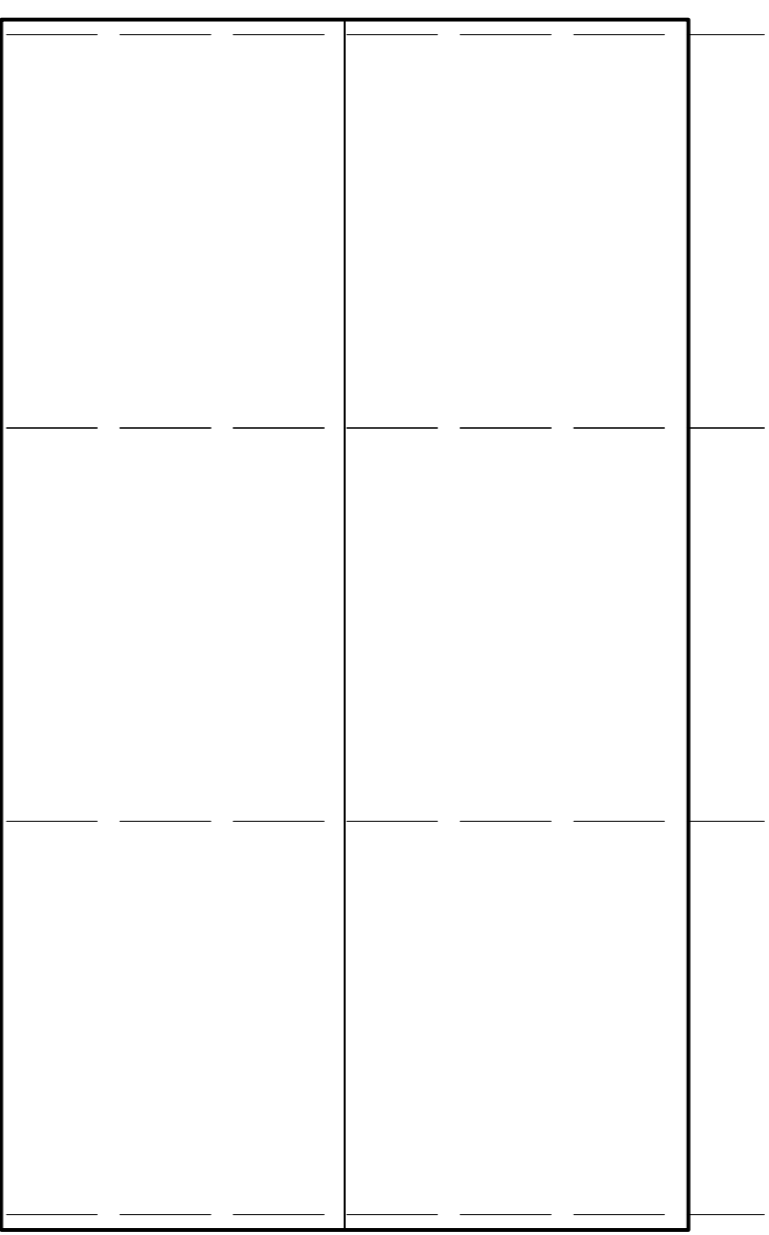
REAR ELEVATION AS PROPOSED



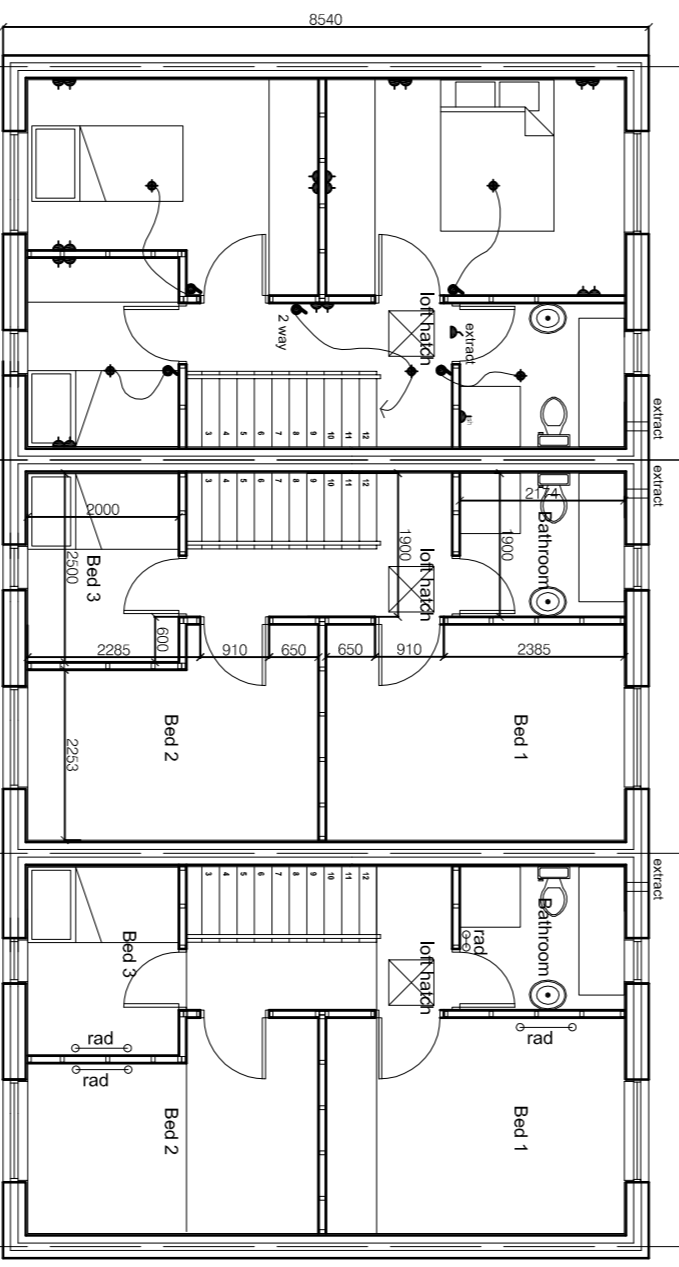
SIDE ELEVATION AS PROPOSED



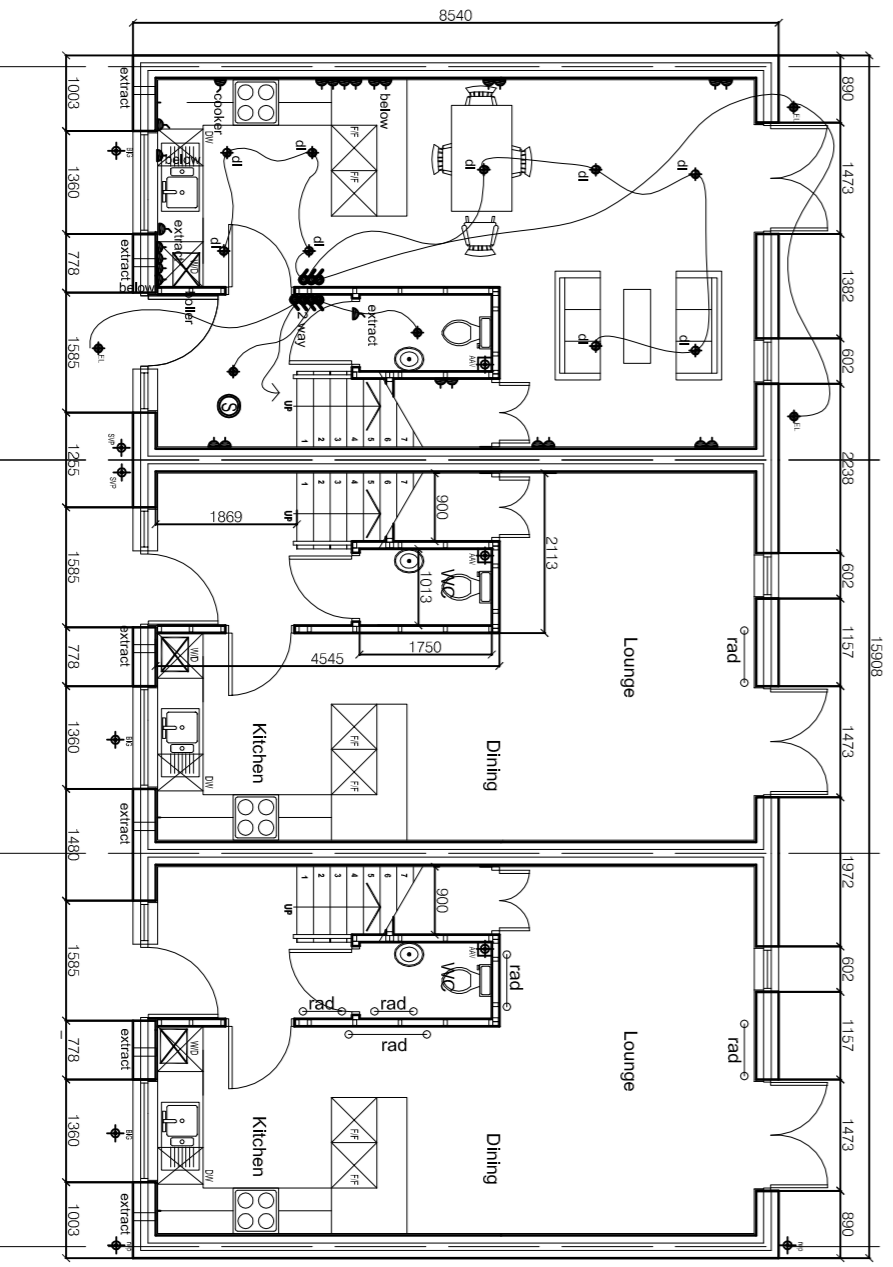
SIDE ELEVATION AS PROPOSED



ROOF LAYOUT AS PROPOSED



FIRST FLOOR AS PROPOSED



GROUND FLOOR AS PROPOSED
PLOTS 3, 4, & 5 HANDED

DWELLING MATERIALS:

ROOFS
PITCH TO BE MAX 35 DEGREES
GENERALLY
NATURAL STONE ROOFS WITH
BATTEN LAYOUT DETAILS
ARTIFICIAL STONE TO BE BRACKSTONE
OLD QUARRIED OR SIMILAR APPROVED
BY THE LABC.

NATURAL SLATE ROOFING WITH
APPROPRIATE HEADS TO SUIT SIZE
OF TILES.
RAINWATER GOODS TO BE CAST IRON
PROFILE ON STONE CORBELS

WALLS
NATURAL STONE FININGS WITH
ASHLAR HEADS GILLS AND MILLIONS
AS PRESCRIBED BY THE ELEVATIONAL
DRAWINGS.
STONE DETAILING AS SHOWN ON
ELEVATIONAL DRAWINGS.

WINDOWS
HARDWOOD PAINTED WINDOWS AS
PRESCRIBED ON THE ELEVATIONAL
DRAWINGS.

DOORS
FRAMED LEDGED AND BRACED
SOFTWARE TIMBER DOORS WITH
VERTICAL PANELING OR SIX PANEL
TIMBER PAINTED TO CLIENTS
REQUIREMENTS.

EXTERNAL WORKS:

TARMACADAM
WHERE EXISTING TRACKS &
TARMACADAM FOR PURPOSES OF
REFUSE/UTILITY VEHICLE ACCESS
GROUND SHOULD BE CONSOLIDATED
TO ACHIEVE SUITABLE SUB BASE FOR
TONNAGE OF VEHICLES

BOUND GRAVEL
BOUND GRAVEL BY SPECIALISTS TO
PRIVATE PARKING AREAS AS
PRESCRIBED ON THE SITE PLANS

FREE DRAINING GRAVEL AREAS
LOOSE GRAVEL AREAS TO BE
CONTAINED USING PERIMETER EDGING
IN CONCRETE BLOCK OR SUITABLE
EDGING PAVOLAR.
DRY STONE WALLING.

ALL NEW AND REPAIRED DRYSTONE
WALLING TO BE UNDERPAVEN BY
APPROPRIATE GRAVEL AND
WALLING. NEW MATERIAL TO MATCH
EXISTING.

FIELD GATES
TIMBER FIELD GATES USED WHERE
SHOWN ON SITE PLANS. GATE POSTS
X 200MM TIMBER POSTS.

ESTATE FENCING
ALL ESTATE FENCING TO MATCH
EXISTING FENCES OF THIS NATURE
WITHIN THE VILLAGE STREET SCENE.
ALL FENCING TO RECEIVE PAINT FINISH.

PATHS & TERRACED AREAS
NATURAL STONE OR GOOD QUALITY
ARTIFICIAL YORKSTONE Laid IN STRICT
ACCORDANCE WITH MANUFACTURERS
DETAILS.

HEDGES
NEW HEDGES TO BE TRADITIONAL
WATTLE HEDGES.
WHERE HEDGES ARE TO BE REPAIRED
OR EXTENDED THE USE OF MATCHING
SPECIES SHOULD BE ENSURED TO
ENSURE CONTINUITY.



SITE PLAN 1:200

Do not scale from this drawing. Architectural Drawings Ltd to be notified of any discrepancies in figure dimensions and between site conditions and drawings.

© This drawing and the works depicted within are the copyright of Architectural Drawings Ltd and for use on this site only. Written permission should be obtained from Architectural Drawings Ltd before reproduction in whole or part.

Before commencement of the works the contractor must ensure that the site is safe and that all necessary permits, all relevant sewer details, man level and connection points, engineering drawings, surveys and details, legal and Disputes must be reported to Architectural Drawings Ltd.

The contractor must satisfy himself with the adequacy of the adequate foundations appropriate to the ground conditions are used for any part of the works.

This drawing should not be relied upon to give information on ground conditions and foundations.

The Contractor is to verify and the work is completed with the Building Regulations, relevant current British Standards

44 Park Road, Barnby, 2017 VE
Rotherham, S60 2DZ
www.architecturaldrawingsltd.co.uk

REVISIONS

CLIENT

**THE WHARNLIFFE ESTATE
WORTLEY VILLAGE PLAN**

TITLE

**SITE 3 PLOTS 3-8
PROPOSED PLANS
& ELEVATIONS**

DRAWING STATUS

INFORMATION

SCALE 1:100 @ A1

DATE JANUARY 2016

JOB NO. DRAWING NUMBER REV

707 03-03 P1

architecturaldrawings Ltd
DESIGN DEVELOPMENT BUILDING

P1 - 24-10-2016 GUTTERING DETAIL, COMPANED AS
OCER PROFILE ON STONE CORBELS

(16/03/07)