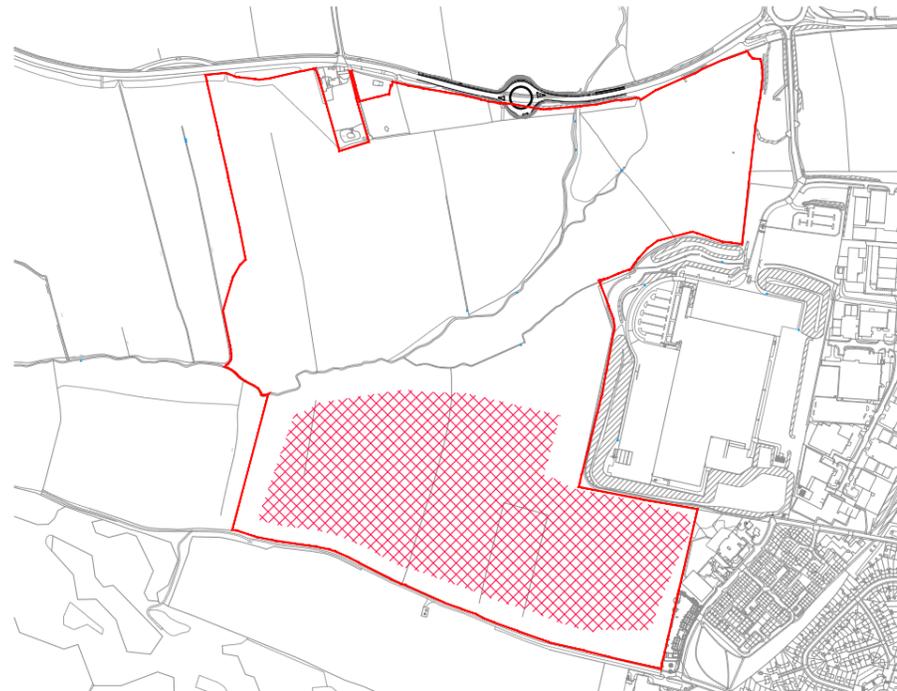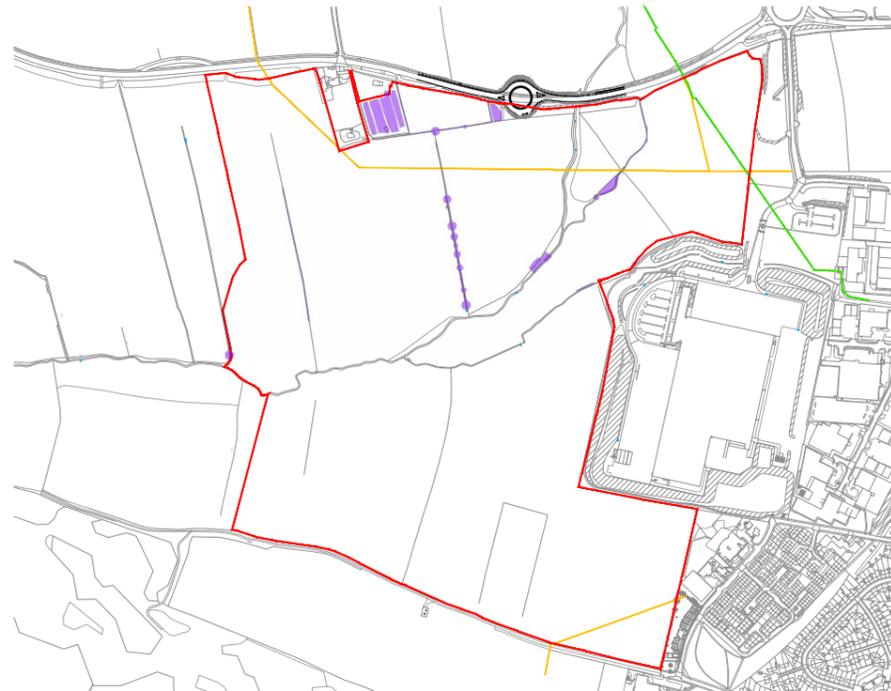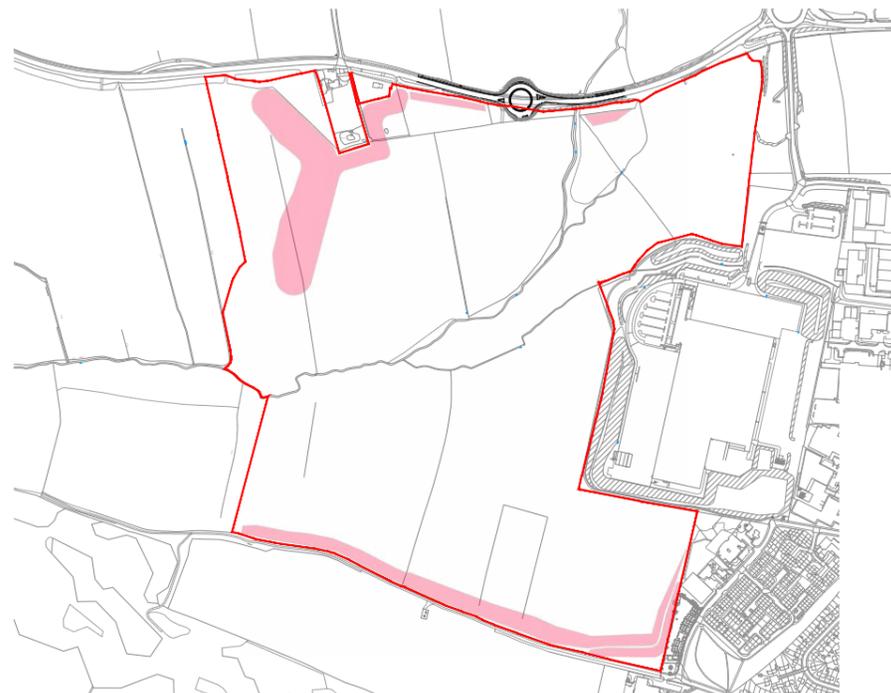# 05 DESIGN EVOLUTION

05.2 PHASING STRATEGY

PHASE 1 - Archaeology (Extent to be agreed)
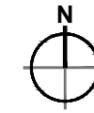
PHASE 2 - Site Clearance & Utilities Diversion

PHASE 3 - Earthworks (Plateaus to be Created)

PHASE 4 - Screen Bunding

Key

▬▬▬	Planning Application Boundary 210.81 ac 85.31 ha
⬚	Phase 1: Areas of Archaeological Works
⬛	Phase 2: Site Clearance
▪▪▪	Phase 2: Existing YW Public Sewer Removed
▬▬▬	Phase 2: Existing Overhead Power-lines Diverted
⬛	Phase 3: Earthworks to Form Plateaus
⬛	Phase 3: Attenuation
⬛	Phase 4: Screening Bund
⬛	Phase 5: Site Roads with Combined Cycle & Footway
▬ ▬	Phase 5: Site Drainage
▬ ▬	Phase 5: Existing PRoW Retrained
▬ ▬	Phase 5: Existing PRoW Diverted
▬ ▬	Phase 5: Existing PRoW Removed
▬ ▬	Phase 5: Potential footpath link created
⬛	Phase 6: Strategic Landscaping
⬛	Phase 7: Future Reserved Matters

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05.2 PHASING STRATEGY

PHASE 5 - Onsite Roads & PRoW Diversion

PHASE 6 - Landscaping (To Perimeter of Site)

Plot 1

Plot 2

Plot 3

Plot 4
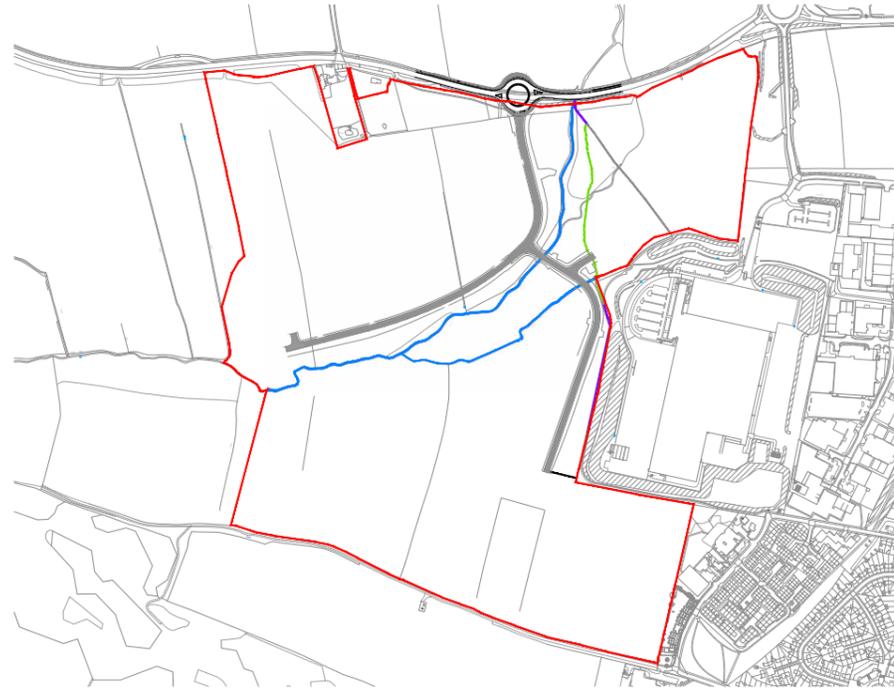
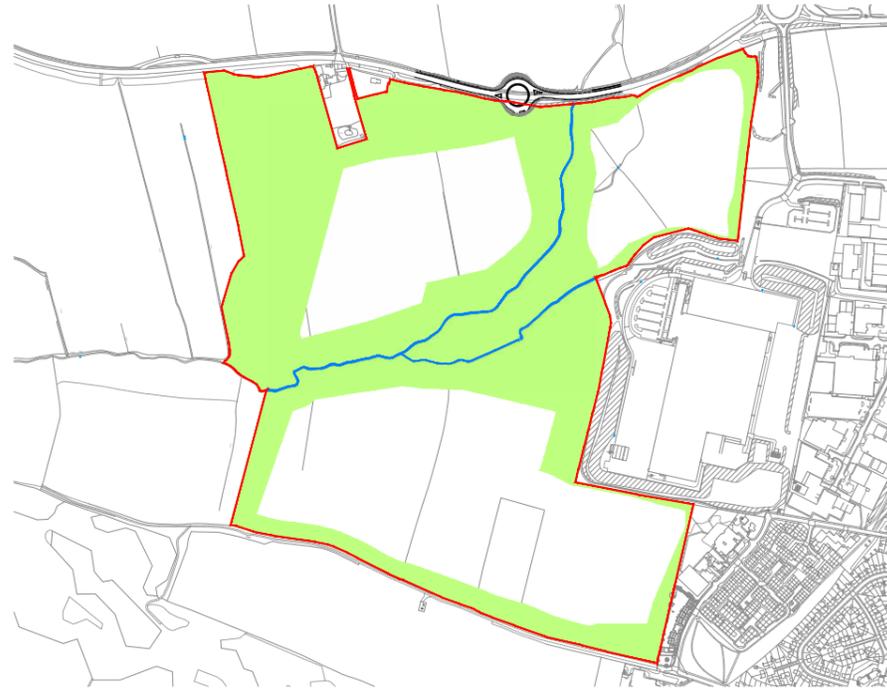PHASE 7 - Build-Out Plots
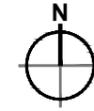
N

Key

Planning Application Boundary	210.81 ac	85.31 ha

Phase 1: Areas of Archaeological Works

Phase 2: Site Clearance

Phase 2: Existing YW Public Sewer Removed

Phase 2: Existing Overhead Power-lines Diverted

Phase 3: Earthworks to Form Plateaus

Phase 3: Attenuation

Phase 4: Screening Bund

Phase 5: Site Roads with Combined Cycle & Footway

Phase 5: Site Drainage

Phase 5: Existing PRoW Retrained

Phase 5: Existing PRoW Diverted

Phase 5: Existing PRoW Removed

Phase 5: Potential footpath link created

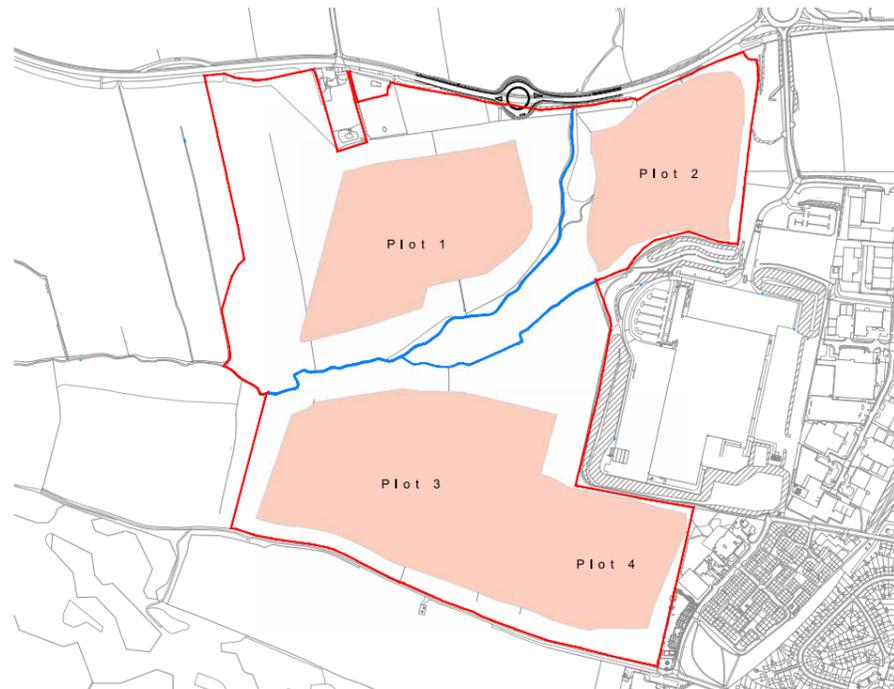Phase 6: Strategic Landscaping

Phase 7: Future Reserved Matters

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05.3 DEVELOPMENT PLOTS / PARAMETERS PLAN

As a result of the design evolution described in the previous sections a parameters plan has been generated for submission under this application. The plan proposes 4 development plots / plateaus which could accommodate a wide range of potential future Occupier requirements.

The parameters plan indicates the proposed finished floor levels and maximum building heights for the various parts of the application site. Whilst the detailed design of the site layout is not yet fixed, a total footprint of up to 204,000sqm is proposed across the 34 development plots.

The plan demonstrates how the periphery of the site is used to accommodate landscape and planting to soften the edges of the development and provide an element of screening to key viewpoints most notably to the northern boundary adjacent to plot 1.

Development Schedule						
Plot	Plot Size NDA (ha)	Maximum GIA Floor Space (m²)	Plateau Height(in meters above ordnance datum)	Maximum Finished Floor Level (in meters above ordnance datum) [+1.000m above proposed plateau]	Maximum Building Height Measured to roof ridge / highest point (in meters above ordnance datum)	Ridge Height (above F.F.L. level)
Plot 1	11.35	204,000m² Total Area distributed across Plots 1,2, 3 & 4	24.50	25.50	43.50	18.00
Plot 2	8.46		25.00	26.00	44.00	18.00
Plot 3	17.92		33.70	34.70	52.70	18.00
Plot 4	6.29		33.70	34.70	52.70	18.00
Total	44.02					
The use class applied for within each plot is primarily Class B8 with up to 30% of the floorspace being for Class B2 together with ancillary office space						

Key

— Application Boundary

Development Plot Boundary

Green and Blue Infrastructure

Strategic Landscape Screening

Strategic Landscape Screening

Safeguarded Land

→ Indicative Access Points (subject to reserved matters)

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05.4 DESIGN ANALYSIS SUMMARY

Establish a high quality development in a prominent gateway location.
The proposal aims to achieve a high quality development by the successful integration of design, sustainability and connectivity. The site is superbly connected to the strategic road network being immediately adjacent to the A635. The entrance and internal estate roads will be seen from each of the ancillary offices and will be positioned to provide a positive aspect within the development, in addition to providing clear orientation of the building entrances.

Contribute directly to creating safe, attractive spaces with high quality buildings and landscape.
The proposed development is a landscape led design, analysing and enhancing the existing environment in terms of green and blue infrastructure and utilising these natural assets in terms of natural security and amenity across the site.
The proposed building appearance will be defined through future reserved matters applications however the design intention is that all units will be sleek and simple in design, with a contemporary colour palette and large glazed areas providing a high quality office environment. Individual plots allow for retaining dense landscaped areas, providing a softer environment for site users

Design buildings which respect existing context and comply with height parameters.

The proposed development will have an acceptable and respectful relationship with surrounding land uses and the open countryside whilst mitigating visual impact on the surrounding context.

Create sustainable, well designed buildings, which are good places to work.
The design details for each unit will be determined via future reserved matters applications however the design intention will be to create a contemporary simplistic aesthetic with high quality materials. A modern colour palette will be proposed with feature offices facing the internal road where possible, to create an attractive façade and a consistent architectural language throughout the site.
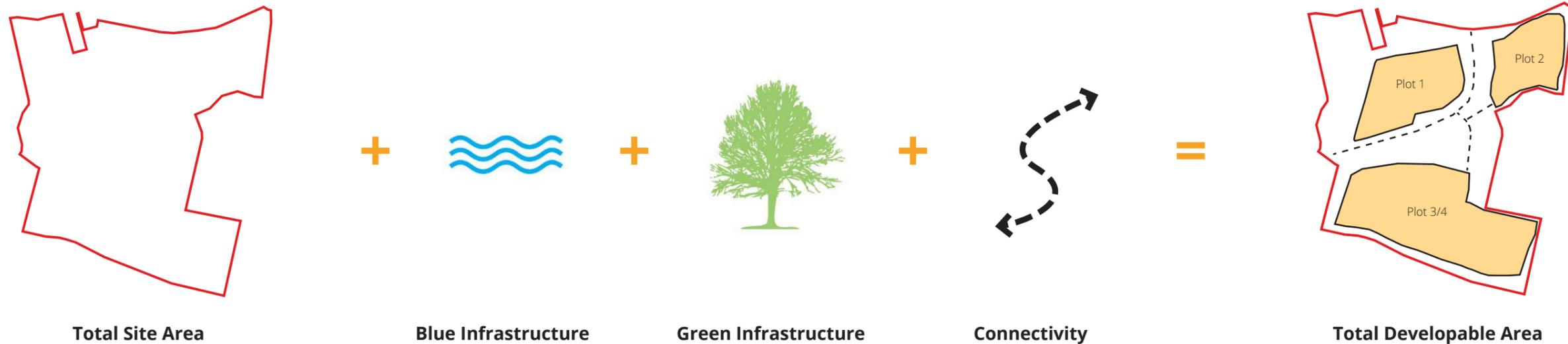Each unit will also be designed so that where applicable natural lighting will provide the primary source of light. Good lighting levels throughout the development mitigate health and safety hazards within the workplace whilst promoting a healthy and efficient work force. Indoor air pollution coupled with bad ventilation can lead to a number of health problems. Therefore, all units and offices across the site will be ventilated to provide good amounts of fresh air.

The buildings and site layout should fulfil a required level of security and operational functionality.
The yards are to be securely contained and shielded with fencing and offer secure car parking away from HGV Vehicles where appropriate. Car parks are overlooked by the office area and separate entrances for cars and HGVs have been established where appropriate. This strategy is to be reviewed and determined as part of future reserved matters applications.

Ensure inclusive design to allow for a good level of accessibility within and between buildings.
The entire illustrative masterplan is suitable for both able-bodied and accessible use, not restricting users anywhere. The appropriate amount of accessible parking has been allocated and is located close to the level building entrance where possible.

| Total Site Area | + | Blue Infrastructure | + | Green Infrastructure | + | Connectivity | = | Total Developable Area |

Masterplanning Concept Diagram

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05 DESIGN EVOLUTION

05.5 MASTERPLAN CONCEPT DEVELOPMENT

KEY DESIGN FEATURES

- 5 Units
- Green Buffer Zones
- Central Spine Connectivity to Existing Vehicular Infrastructure
- Active Frontage
- Design Plateau Utilisation

PLOT 1

PLOT 2

PLOT 3A

PLOT 3B

PLOT 3C

GREEN/BLUE INFRASTRUCTURE CORRIDOR

GREEN/BLUE INFRASTRUCTURE CORRIDOR

Green Buffer Zone

Proposed Watercourse Diversion to Maximise Site Density

Existing Watercourse Location to be Removed

Existing Watercourse Location to be Retained

Primary Vehicular Spine

Green Buffer Zone

KEY DESIGN FEATURES

- 3 Units
- Green Buffer Zones
- Central Spine Connectivity to Existing Vehicular Infrastructure
- Active Frontage
- Design Plateau Utilisation

PLOT 1

PLOT 2

PLOT 3

GREEN/BLUE INFRASTRUCTURE CORRIDOR

GREEN/BLUE INFRASTRUCTURE CORRIDOR

Green Buffer Zone

Proposed Watercourse Diversion to Maximise Site Density

Existing Watercourse Location to be Removed

Existing Watercourse Location to be Retained

Primary Vehicular Spine

Green Buffer Zone

KEY DESIGN PRINCIPLES ACHIEVED

- Design & Character
- Functionality
- Orientation & Movement
- Quality of Public Realm

MASTERPLAN LAYOUT PRINCIPLES ACHIEVED

- New Access Roundabout
- Access for Pedestrians & Cyclists
- Configuration of Development Plots
- Peripheral mounding and soft landscaping

KEY DESIGN CODE

KD01	Creating a place with a sense of identity
KD02	Ensuring distinctive buildings minimise wider visual impact
KD03	Providing safe and convenient access with connections beyond site
KD04	Maintaining a strong landscape setting and creating places with a strong sense of identity
KD05	Designing in sustainability and adaptability

KEY DESIGN PRINCIPLES ACHIEVED

- Design & Character
- Functionality
- Orientation & Movement
- Quality of Public Realm

MASTERPLAN LAYOUT PRINCIPLES ACHIEVED

- New Access Roundabout
- Access for Pedestrians & Cyclists
- Configuration of Development Plots
- Peripheral mounding and soft landscaping

KEY DESIGN CODE

KD01	Creating a place with a sense of identity
KD02	Ensuring distinctive buildings minimise wider visual impact
KD03	Providing safe and convenient access with connections beyond site
KD04	Maintaining a strong landscape setting and creating places with a strong sense of identity
KD05	Designing in sustainability and adaptability

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05 DESIGN EVOLUTION

05.5 MASTERPLAN CONCEPT DEVELOPMENT

KEY DESIGN FEATURES

- 5 Units
- Green Buffer Zones
- Central Spine Connectivity to Existing Vehicular Infrastructure
- Active Frontage
- Design Plateau Utilisation
- Attenuation Space

PLOT 2

PLOT 1

GREEN/BLUE INFRASTRUCTURE CORRIDOR

PLOT 3A

GREEN/BLUE INFRASTRUCTURE CORRIDOR

PLOT 3B

PLOT 4

Proposed Watercourse Diversion to Maximise Site Density

Existing Watercourse Location to be Removed

Existing Watercourse Location to be Retained

Attenuation

Primary Vehicular Spine

Green Buffer Zone

KEY DESIGN FEATURES

- 5 Units
- Green Buffer Zones
- Central Spine Connectivity to Existing Vehicular Infrastructure
- Active Frontage
- Design Plateau Utilisation
- Attenuation Space
- Existing Watercourse Retention
- Flood Compensation Area

Flood Compensation Area

PLOT 2

PLOT 1A

PLOT 1B

GREEN/BLUE INFRASTRUCTURE CORRIDOR

GREEN/BLUE INFRASTRUCTURE CORRIDOR

PLOT 3

PLOT 4

Attenuation

Existing Watercourse to be Retained

Attenuation

Primary Vehicular Spine

Green Buffer Zone

KEY DESIGN PRINCIPLES ACHIEVED

- Design & Character
- Functionality
- Orientation & Movement
- Quality of Public Realm

MASTERPLAN LAYOUT PRINCIPLES ACHIEVED

- New Access Roundabout
- Access for Pedestrians & Cyclists
- Configuration of Development Plots
- Peripheral mounding and soft landscaping

KEY DESIGN CODE

KD01	Creating a place with a sense of identity
KD02	Ensuring distinctive buildings minimise wider visual impact
KD03	Providing safe and convenient access with connections beyond site
KD04	Maintaining a strong landscape setting and creating places with a strong sense of identity
KD05	Designing in sustainability and adaptability

N

KEY DESIGN PRINCIPLES ACHIEVED

- Design & Character
- Functionality
- Protect Key Viewpoints
- Orientation & Movement
- Quality of Public Realm

MASTERPLAN LAYOUT PRINCIPLES ACHIEVED

- New Access Roundabout
- Access for Pedestrians & Cyclists
- Configuration of Development Plots
- Peripheral mounding and soft landscaping

KEY DESIGN CODE

KD01	Creating a place with a sense of identity
KD02	Ensuring distinctive buildings minimise wider visual impact
KD03	Providing safe and convenient access with connections beyond site
KD04	Maintaining a strong landscape setting and creating places with a strong sense of identity
KD05	Designing in sustainability and adaptability

N

05 DESIGN EVOLUTION

05.5 MASTERPLAN CONCEPT DEVELOPMENT

KEY DESIGN FEATURES

- 4 Units
- Green Buffer Zones
- Central Spine Connectivity to Existing Vehicular Infrastructure
- Active Frontage
- Design Plateau Utilisation
- Attenuation Space
- Existing Watercourse Retention
- Flood Compensation Area
- Retained Vegetation

Flood Compensation Area

Green Buffer Zone

Existing Watercourse to be Retained

Attenuation

Retained Vegetation

Attenuation

Primary Vehicular Spine

Green Buffer Zone

PLOT 1

PLOT 2

PLOT 3

PLOT 4

GREEN BLUE INFRASTRUCTURE CORRIDOR

KEY DESIGN PRINCIPLES ACHIEVED

- Design & Character
- Functionality
- Protect Key Viewpoints
- Orientation & Movement
- Quality of Public Realm

KEY DESIGN CODE

KD01	Creating a place with a sense of identity
KD02	Ensuring distinctive buildings minimise wider visual impact
KD03	Providing safe and convenient access with connections beyond site
KD04	Maintaining a strong landscape setting and creating places with a strong sense of identity
KD05	Designing in sustainability and adaptability

MASTERPLAN LAYOUT PRINCIPLES ACHIEVED

- New Access Roundabout
- Access for Pedestrians & Cyclists
- Configuration of Development Plots
- Peripheral mounding and soft landscaping

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05 DESIGN EVOLUTION

05.6 ELEVATION / ROOF CONCEPT DEVELOPMENT

External View

Parapet Roof

External View

Parapet Roof

Aerial View

Parapet Roof

Aerial View

Parapet Roof

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Office Composite Panels:

Composite Panels
Colour: White

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Blue Grey

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Office Composite Panels:

Composite Panels
Colour: Dark Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Light Grey

Timber Panels:

Timber Panels
Colour: Timber

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05 DESIGN EVOLUTION

05.6 ELEVATION / ROOF CONCEPT DEVELOPMENT

External View

Parapet Roof

Aerial View

Parapet Roof

Pixelated Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
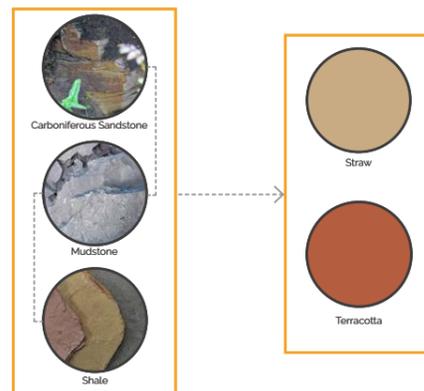Colour: Mid Grey

Feature Banding
Colour: Blue Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Blue Grey

Feature Flashing:

Feature Flashing
Colour: Terracotta

Office Composite Panels:

Composite Panels
Colour: Straw

Colour Selection:

Carboniferous Sandstone

Mudstone

Shale

Straw

Terracotta

External View

Parapet Roof

Aerial View

Parapet Roof

Pixelated Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
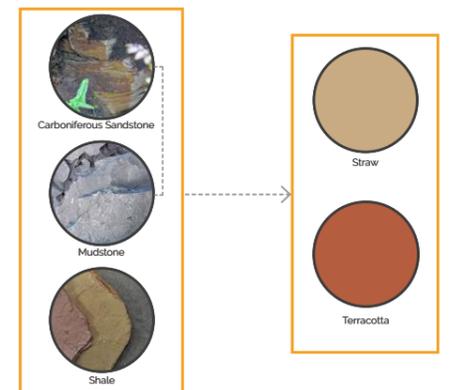Colour: Mid Grey

Feature Banding
Colour: Blue Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Terracotta

Office Composite Panels:

Composite Panels
Colour: Straw

Colour Selection:

Carboniferous Sandstone

Mudstone

Shale

Straw

Terracotta

39

05 DESIGN EVOLUTION

05.6 ELEVATION / ROOF CONCEPT DEVELOPMENT

External View

Parapet Roof

External View

Parapet Roof

Aerial View

Parapet Roof

Aerial View

Parapet Roof

Pixelated Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Feature Banding
Colour: Blue Grey

Feature Flashing:

Feature Flashing
Colour: Terracotta

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey
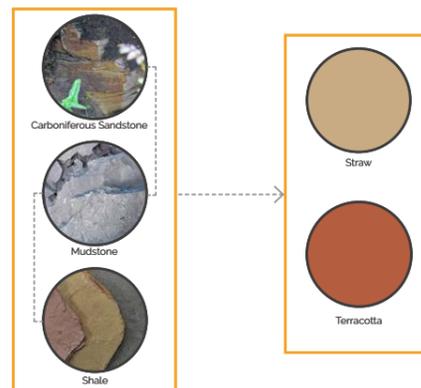
Office Composite Panels:

Composite Panels
Colour: Straw

Feature Flashing
Colour: Terracotta

Feature Banding and Panelling:

Feature Banding
Colour: Blue Grey

Colour Selection:

Carboniferous Sandstone

Mudstone

Shale

Straw

Terracotta

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Feature Banding
Colour: Blue Grey

Main Wall Vertical Cladding:

Vertical Cladding
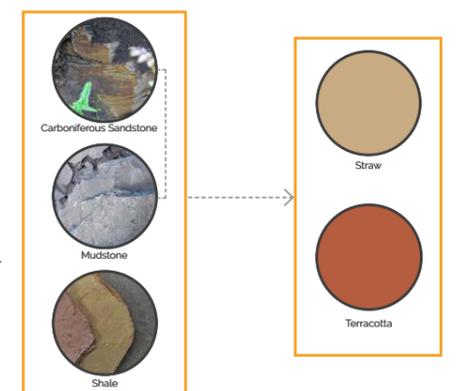Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Terracotta

Office Composite Panels:

Composite Panels
Colour: Straw

Colour Selection:

Carboniferous Sandstone

Mudstone

Shale

Straw

Terracotta

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05 DESIGN EVOLUTION

05.6 ELEVATION / ROOF CONCEPT DEVELOPMENT

External View

Barrel Vault Roof

External View

Double Barrel Vault Roof

Aerial View

Barrel Vault Roof

Aerial View

Double Barrel Vault Roof

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Light Grey

Office Composite Panels:

Composite Panels
Colour: Dark Grey

Timber Panels:

Timber Panels
Colour: Timber

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Light Grey

Office Composite Panels:

Composite Panels
Colour: Dark Grey

Timber Panels:

Timber Panels
Colour: Timber

05 DESIGN EVOLUTION

05.6 ELEVATION / ROOF CONCEPT DEVELOPMENT

External View

Double Barrel Vault Roof

External View

Double Barrel Vault Roof

Aerial View

Double Barrel Vault Roof

Aerial View

Double Barrel Vault Roof

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Light Grey

Roof Cladding:

Cladding Panels
Colour: Green

Office Composite Panels:

Composite Panels
Colour: Dark Grey

Timber Panels:

Timber Panels
Colour: Timber

Gradient Horizontal Cladding:

Horizontal Cladding
Colour: White

Horizontal Cladding
Colour: Light Grey

Horizontal Cladding
Colour: Mid Grey

Main Wall Vertical Cladding:

Vertical Cladding
Colour: Dark Grey

Vertical Cladding
Colour: Mid Grey

Feature Banding and Panelling:

Feature Banding
Colour: Light Grey

Roof Cladding:

Cladding Panels
Colour: Green

Office Composite Panels:

Composite Panels
Colour: Dark Grey

Timber Panels:

Timber Panels
Colour: Timber

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