

Far Westhorpe Farm

Design + Access Statement

24-001-30

Revision B – Issued for Approval 18-02-26



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Introduction:

Design and Access Statements are generally required for validation of applications relating heritage assets, such as the listed buildings on this site, in order to explain the application in greater detail.

In this case, this design and access statement has been prepared as far as possible in accordance with the recommendations of CABE guidance 'Design + Access Statements'

Drawings shown in this Design and Access Statement are not necessarily to scale, and reference should be made to the submission drawings where required or appropriate - which are within the limits defined above.

Where plans of the same building have been juxtaposed, the convention of showing the upper storey above the lower on the page has been followed generally.

Unless otherwise noted, photographs, drawings and extracts from drawings are by Robin Ashley Architects, who retain copyright.

Front cover : The south elevation of the cottage, from the walled garden.

Rear cover : Detail of one of the distinctive arched head windows.

Design :

Assessment:

Far Westhorpe Farm is located approximately one mile to north of the town on Penistone, and five miles from the centre of Barnsley to the east. Access is by Well House Lane, which is a single track lane leading from the south and the junction with the A629 Huddersfield Road.

The farm comprises 45 acres (18.2 hectares) of mixed farmland, at the centre of which is the group of buildings which make up the application site.

The boundary of the application site is confined to the edge of the area where development is already established and is shown in Figure 2 below, enclosing approximately 0.33 hectares / 3352 sqm.

The aerial photography shown in Figures 3 and 4 shows the site in different levels of detail and circled in white.

A topographic survey of the site was carried out in March 2025, and a measured survey of the buildings was carried out slightly after. The site falls quite steeply from south to north, from approx. +233m AOD to +227m,(6m) although there is also a cross fall from west down to east of around 1m.

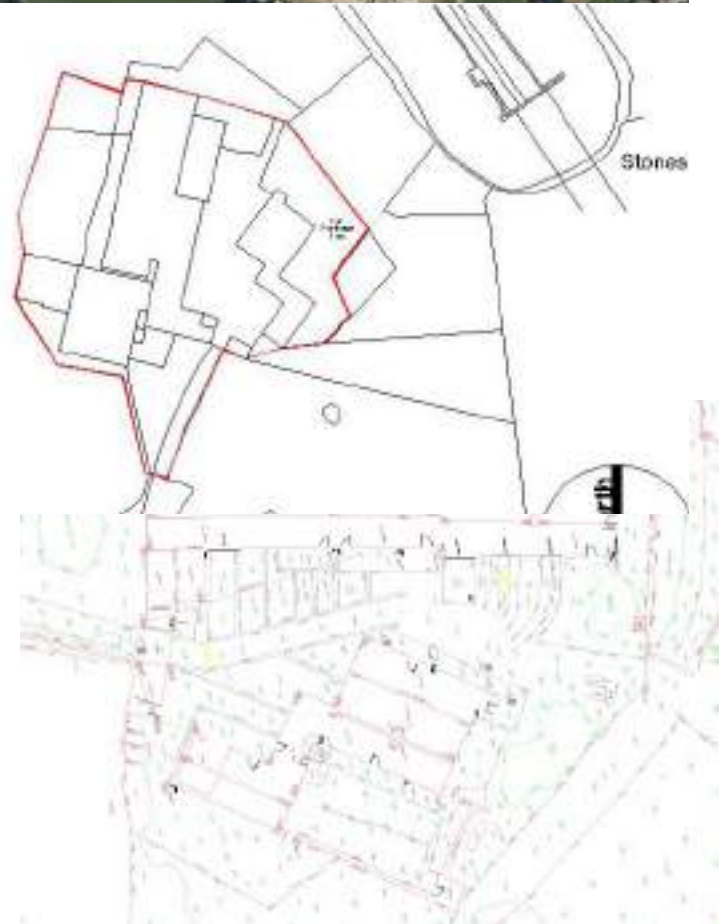


Figure 1 (left) - extent of the boundary of the agricultural land at Far Westhorpe Farm

Figure 2 (right - top) - small scale aerial photograph with the application site circled in white (Source - Apple Maps)

Figure 3 (right - middle) - large scale aerial photograph with the application site circled in white (Source - Apple Maps)

Figure 4 (right - lower) - Extract from submission drawing 24-001-33 showing the application boundary shown in red. (Source: Ordnance Survey + RAA LLP)

Figure 5 (right - bottom) - Extract from submission drawing 24-001-34 showing the topographic survey. (Source: Dom Latham + RAA LLP)

Within the application boundary, there are 14 existing buildings which were originally related to the farming use. As there are quite a number of buildings, it is useful to identify them by number, and the numbering shown below is consistent with the pre-submission document previously issued, for convenience:

Building	Footprint /sqm	Floor area /sqm	Volume /cum
1 Existing cottage	134	162	632
2 Side extension to cottage	40	35	148
3 Garage	40	32	105
4 Shed	14	12	39
5 Shed	8	7	23
6 Shed	24	22	76
7 Historic Barn	108	79	529
8 Historic Barn	60	45	284
9 Recent Barn	106	92	451
10 Recent Barn (+ animal stalls)	345	335	490
11 Recent Barn	119	109	289
12 Link	19	18	20
13 Recent Barn	104	93	208
14 Recent Barn	108	103	180
Total	1229	1087	3474

Areas and volumes above have been rounded to whole numbers for convenience.

Table 1 Buildings identified by number

They form a group centred on yard, reflecting the development of the farm since the time of construction, noted below as the early C18, and in a manner intended to make the hard labour of upland farming as easy as possible.

In addition here is a walled garden of around 47 sqm to the south of the cottage and a small enclosure for a gas storage tank.

Although the land at Far Westhorpe is still actively farmed, the buildings have not been used for agricultural purposes in recent times, and some are in need of urgent repairs.

The cottage, however, has been used for residential purposes up until relatively recently.



Figure 6 (top) - Location of buildings identified by number in **Table 1** above.

The buildings are shown in more detail in the extracts from drawings and the photographs below.

Two listing notices apply to the existing buildings on site, although the same level of protection applies to all the buildings within the curtilage, which in this case is taken to be the application boundary.

Both are Grade ii, as follows:

1192110 "Far Westhorpe Farmhouse"
(#1 the cottage)

1151797 "Barn approximately 20 metres west of Far Westhorpe Farmhouse"
(#7+8 Historic Barns)

Both of these are incorporated into the appendices of the **Heritage Statement 24-001-31**

These identify both buildings as dating from the early C18. The cottage (#1) is described as,

"Farmhouse. Early C18. Coursed, squared rubble, rendered sides and rear. Concrete tile roof. Two storeys, continuous single-storey rear outshut. Three bays. Quoins. Near-central original door (part-blocked) with chamfered surround and deep, shaped lintel, with one 4-light double-chamfered window to each side, both floors, each with central mullion only remaining. Continuous ground-floor hoodmould over windows and door. Inserted C19 doorway with plain surrounds to le. C19 window, in keeping, above central door. Hollow-chamfered gable copings on moulded kneelers. Rear: outshut has two 2-light

double-chamfered windows; C20 single-storey addition not of special interest.

Interior: arched, chamfered fireplace in right room.”

and the barns (#7 + #8),

“Coursed, squared rubble, part rendered. Asbestos roof. 4 internal bays. Square-headed cart entry to bay 2. Chamfered entrance to right. Two small round-arched lights at high level. similar lights below altered with larger casements. Le bay may be rebuilt. Rear: opposing square-headed cart entry. Interior: 3 principal rafter trusses with queen struts and large-scantling tie-beams. Included for group value.”

The LPA's website does not identify any applications related to the site, despite the quite extensive extensions and alterations to the cottage. However it is possible that recent barn #9 may predate the implementation of the planning act.

Plans and elevations of key buildings: Cottage (#1)

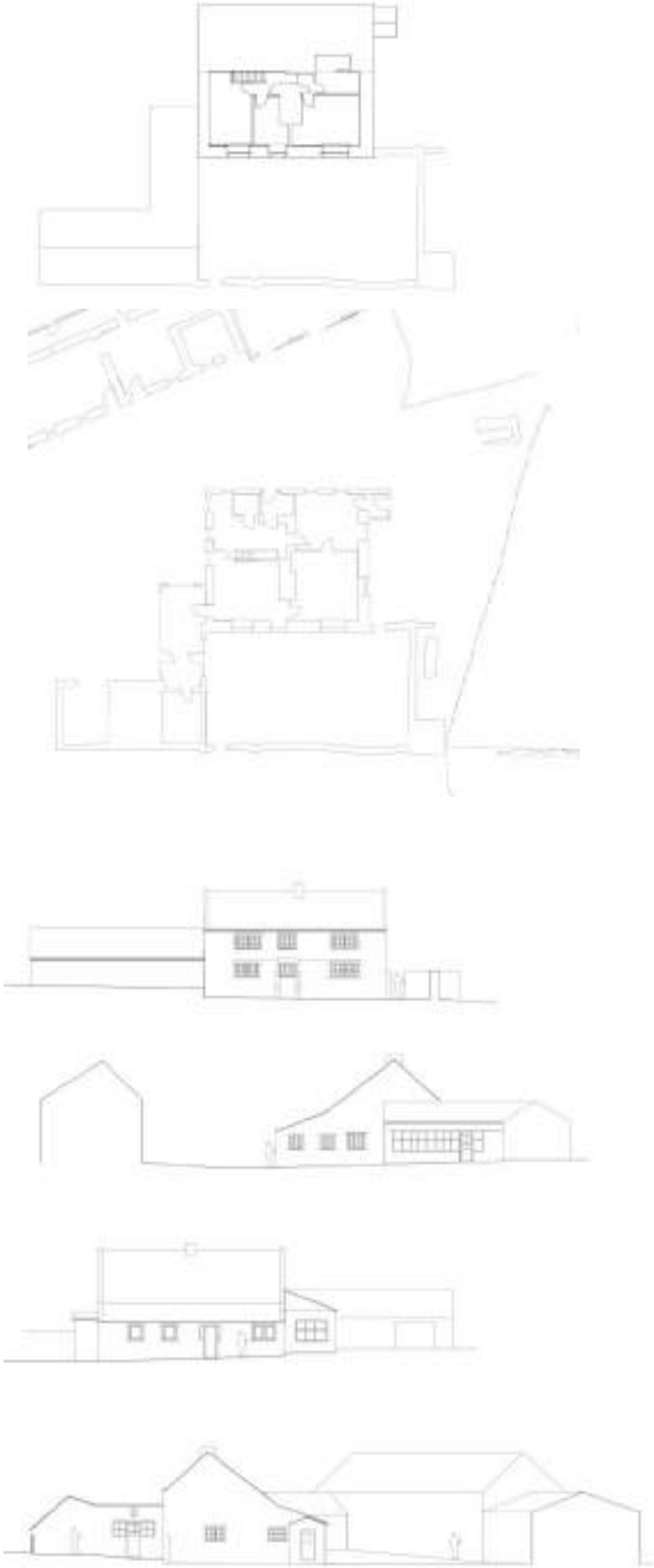


Figure 7 (top) - existing first floor plan
(extract from submission drawing 24-001-036)
Figure 8 (upper) - existing ground floor plan
(extract from submission drawing 24-001-035)
Figure 9 (middle) - existing south elevation
Figure 10 (middle lower) - existing east elevation
Figure 11 (lower) - existing north elevation
Figure 12 (bottom) - existing west elevation
(all elevations are extracts from submission drawings 24-001-039)

Plans and elevations of key buildings:

Historic Barns (#7 + #8)

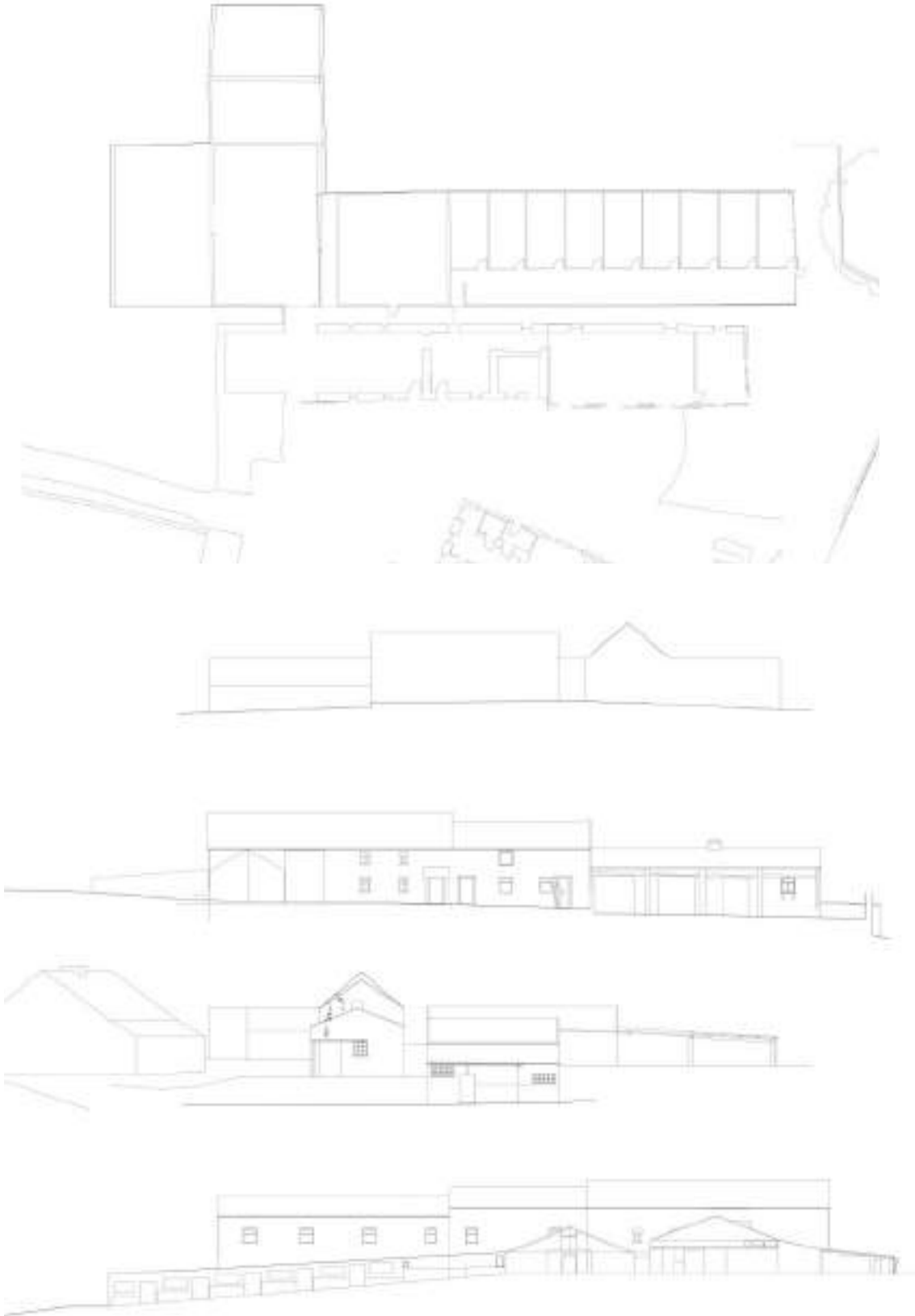


Figure 13 (top) - existing ground floor plan
(extract from submission drawing 24-001-037)

Figure 14 (upper) - existing south elevation

Figure 15 (middle) - existing east elevation

Figure 16 (lower) - existing north elevation

Figure 17 (bottom) - existing north elevation
(all elevations are extracts from submission drawings 24-001-038)

Photographic Record

External views of the Cottage (#1):



Figure 18 (left - top) - west / front elevation
Figure 19 (left - middle) - south elevation + lean-to extension
Figure 20 (left - bottom) - lean-to extension
Figure 21 (right - top) - porch on the north elevation
Figure 22 (right - upper) - north elevation
Figure 23 (right - lower) - east elevation - former main entrance
Figure 24 (right -bottom) - the walled garden

Photographic Record

Internal views of the Cottage (#1):



Figure 25 (left - top) - original kitchen + fire place
Figure 26 (left - middle) - original living room + fireplace
Figure 27 (left - bottom) - previous kitchen in recent extension
Figure 28 (right - top) - stair case
Figure 29 (right - middle) - fire place at first floor
Figure 30 (right - bottom) - former bedrooms + chimney

Photographic Record

External views of Barns (#7, #8 + #9 etc):



Figure 31 (left - top) - looking south towards sheds #5 and #6
Figure 32 (left - middle) - looking towards shed #5 and historic barn #7
Figure 33 (right - top) - recent barn #9
Figure 34 (right - middle) - north elevation of recent barn #9

Photographic Record

Internal views of Barns (#7, #8 + #9 etc):



Figure 35 (left - top) - historic barn #7 looking north
Figure 36 (left - middle) - historic barn #7 looking south
Figure 37 (left - bottom) - historic barn #8 looking west
Figure 38 (right - top) - historic barn #8 first floor
Figure 39 (right - middle) - historic barn #8 first floor
Figure 40 (right - bottom) - historic barn #8 looking west

Involvement:

A pre-submission enquiry was made by the Applicant to the LPA in the spring of 2025. Initially the scope of the enquiry was very general, and comprised:

Retaining the cottage, but replacing the unsympathetic extensions

Retaining the sheds, garage and walled garden

Removing the recent barns, many of which were in a poor condition and of little practical use.

Retaining the historic barns, but extending them to form a new residential use

The principle of the forthcoming application; retaining and extending the existing buildings and a residential conversion of the historic barns, was the subject of a broad ranging discussion when the Senior Conservation Officer (Anthony Wiles) first met the Applicant on site on 15 February 24.

The progress of the proposals was crystallised in 25 July when the document "24-001-021b Far Westhorpe Farm - Information at Pre-Submission Stage" was issued direct to the Senior Conservation Officer at the LPA.

A further meeting was held on site with the Senior Conversation Officer and his colleague on 17 September 25. This was successful in confirming that the broad aims of the application were acceptable, and was later confirmed in email correspondence as follows:

Email from AW 10 October 25: *"It was a pleasure to meet and discuss the project yesterday. I look forward to seeing the updated plans and subsequent discussions over the details of the proposal."*

Email from planning (Rebecca Larder) to Senior Conservation Officer of 23 September 25:

Evaluation of whether the amount of the extension would be more or less than 100%, if this could be exceeded in this circumstances, and if this could be clarified in the submission documents.

Consideration of overlooking between the proposed barn conversion and existing farmhouse (Cottage #1)

Consideration of separation of the residential plots without effecting the setting of the listed buildings or the openness of the green belt.

Other aspects for consideration included parking, amenity area, internal space standards in

accordance with the South Yorkshire Residential Design Guide.

Email from AW 10 October 25 : explaining the need for archaeological building recording, which will be a condition of future approvals and attaching a brief for the written scheme of investigation and a list of suggested contractors whom could carry this out.

This email correspondence effectively drew the pre-submission process to a close.

Two separate applications for listed building consent have already been submitted in respect of:

The Cottage (#1):

Rebuild internal non-load bearing wall at ground floor level, which is in a dangerous condition + remove honey breast at first floor level.

The Historic Barns (#7 + #8):

Replace existing corrugated cement roof sheeting with new natural slate roof covering, rebuild unstable masonry to west and north corner in barn #7 and to south elevation of barn #8.

Although these are much smaller in scope, they relate to specific issues with the structural integrity of the Cottage and the Historic Barns respectively. It was important for these to be determined as expeditiously as possible in order to allow work to be carried out to preserve the fabric of these two buildings, to facilitate the proposals shown in this application.

Evaluation:

There is no conflict between maintaining the agricultural use of the land that belongs to Far Westhorpe Farm and surrounds the application site, and that of the application site for residential purposes.

Ironically, almost all of the more recent development on the application site is of the poorest quality of construction or design and most suitable to be removed or replaced.

The documents, meetings and correspondence of the pre-submission enquiry established that conversions and extensions to provide good quality residential accommodation for two households could be acceptable in terms of planning and conservation policy, and endorsed the principles of the design, to a considerable extent.

The Heritage Statement, 24-001-31, considers historic interest and significance of the heritage assets in more detail. However generally:

The grouping of buildings which formed the original farm - including the walled garden - has the most significance.

Although the Cottage has been extensively altered and extended, often in an unsympathetic manner, the listing notices assign more significance than the barns.

The significance of the historic barns derives equally from their part in the group of buildings, their age and typology and also the detail of the small arched windows.

The setting of the listed buildings is not enhanced by the more modern buildings, and there is no compelling reason why they should be retained.

The conversion and extension of the Historic Barns will be a self build home for the purposes of the Community Infrastructure Levy (CIL) as the alterations and extensions of the Cottage will be on a similar basis.

Use:

The residential use of the cottage is already established.

As noted below, the conversion of the historic barns to residential use, and their extension, is in accordance with the policy noted in Appendix One.

Beyond the application boundary, although the agricultural of the land will continue, this will be on a contract basis to adjoining farms, so there will be much less need for the barns or the kind of accommodation they provide.

Amount:

The cottage #1 comprises, a footprint area of 174 sqm, floor area of 202 sqm and volume of 780 cum, including the existing extensions.

Removing the extensions reduces these to a footprint area of 134 sqm, floor area of 105 sqm and volume of 632 cum.

The proposed layout, shown in Figures 41 to 43 below, comprises extensions to the north and south, giving a proposed footprint area of 203 sqm, floor area of 305 sqm and volume of 934 cum.

The overall, this represents a difference in footprint area of +29 sqm, floor area of +103 sqm and volume of +154 cum.

On the same basis, the group of existing barns, #7 to #14, comprise a footprint area of 980 sqm, floor area of 945 sqm and volume of 2451 cum.

Removing those buildings no longer required reduces these to a footprint area of 168 sqm, floor area of 169 sqm and volume of 813 cum.

The proposed layout, shown in Figures 44 and 45 below, comprises extensions to the historic barns, gives a proposed footprint area of 346 sqm, floor area of 417 sqm and volume of 2204 cum, (excluding the garage etc of 86 sqm footprint)

This represents a difference in footprint area of - 634 sqm, floor area -528 sum and volume of -247 cum.

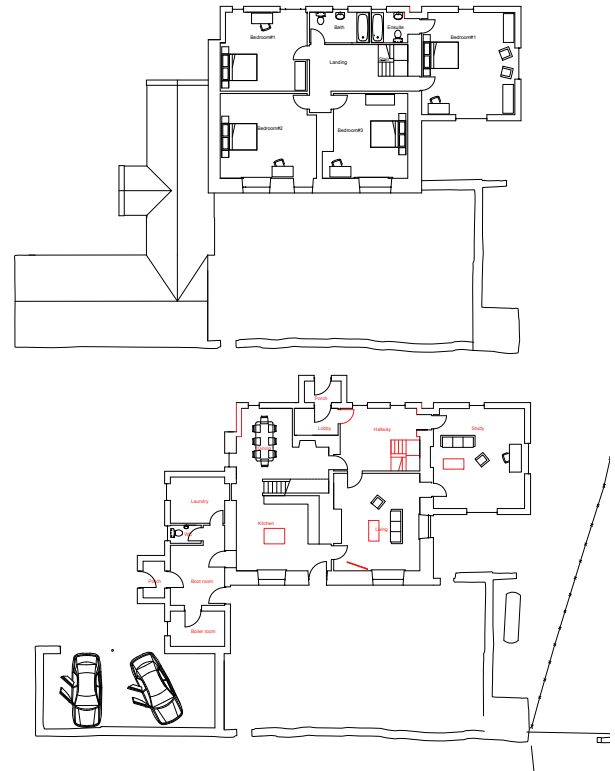
Overall, the difference in amount of development on the site comprises proposed footprint area of -605 sqm, floor area of -425 sqm and volume of 93 cum.

Layout:

On the scale of the whole farm, and also considering the agricultural land beyond the boundary of the application site, the intention of the project is to maintain and reinforce the existing arrangement. So all the new and existing built form will be kept close to the same central area where the existing buildings are grouped.

Within the application boundary, the intention is to maintain and reinforce the group of original buildings centred on the yard. Hence, much of the recent development will be removed, and the proposed extensions will reinforce the layout, without avoid conflicting with it.

To the west side of the central space, the cottage will retain both the walled garden and the existing shed #3, which will provide garaging for 2 cars.



Replacing the existing extensions with new, which are more sympathetic to the character of the group, will allow the layout to provide good quality accommodation for a four bedroom home of 305 sqm floor area.

Both residential uses will comply with the spatial requirements of the South Yorkshire Residential Design Guide for internal accommodation.

Figure 41 (left) - the relative location of the Cottage (#1) and Historic Barns (#7 + #8)

Figure 42 (right top) - Cottage - proposed layout at first floor

Figure 43 (right bottom) - Cottage - proposed layout at ground floor

On the facing of the yard the historic barns form the west side of the central yard space. The original footprint will be preserved and reinforced, with the extension at the north extremity leading away to west. The conversion will form good quality residential space of four bedrooms, garaging for three cars and an 8m pool.

Each of the two dwellings faces onto the open space between them, which is at the centre of the group of buildings. Vehicular circulation is lead away from the central area, for the cottage to the east and the shed used for garaging, and to the barns, around the west side to a free standing garage + store to the north west corner of the site, which is out of the sight from the yard but reinforces the group.

It is important to retain the visual openness of the space at the heart of the farm, so the boundary between the two homes must be well below eye level and achieved by a mix of textures, materials and contrasts.

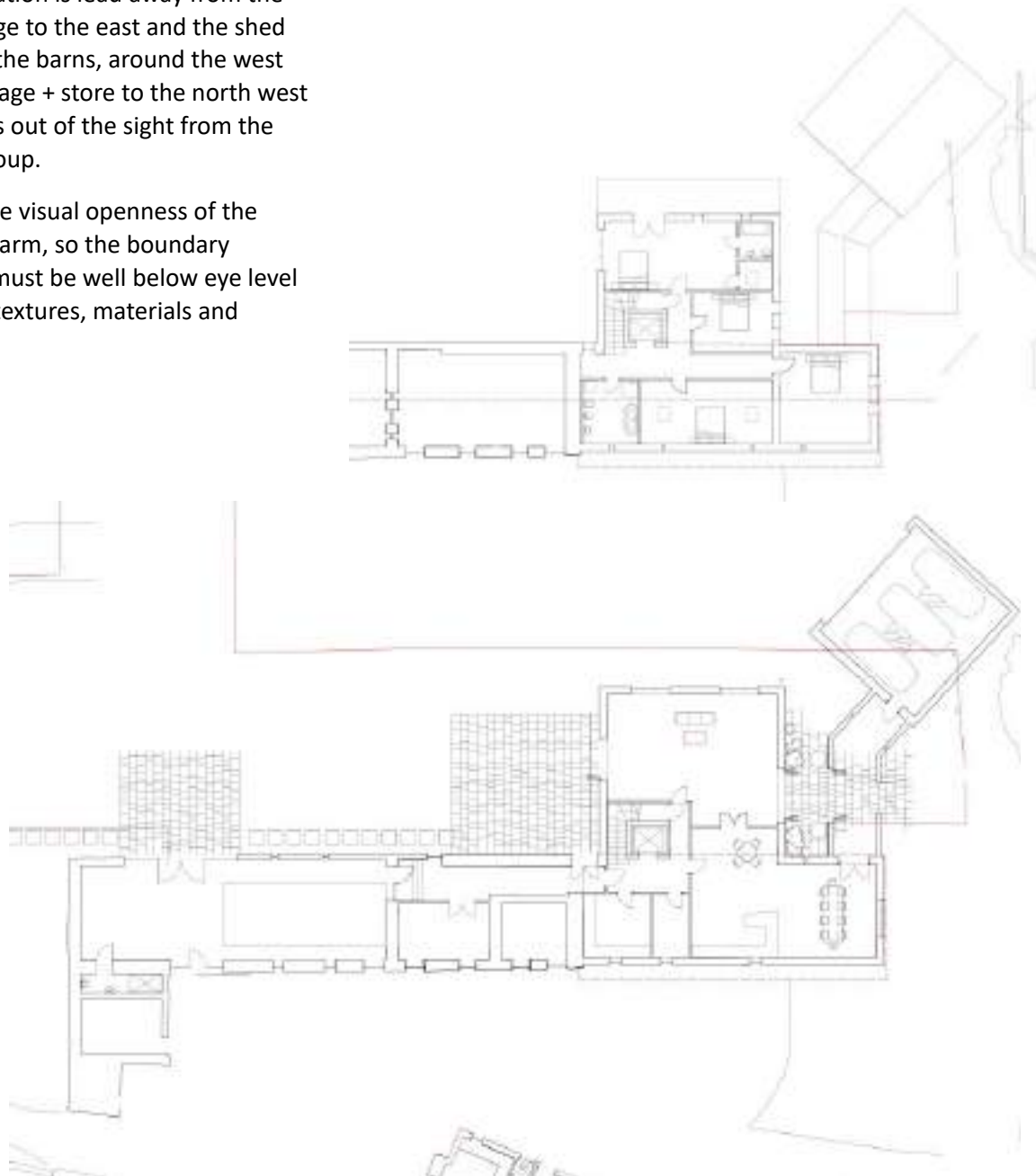


Figure 44 (right top) - Conversion of historic barns (#7 + 8) - proposed layout at first floor

Figure 45 (right bottom) - Conversion of historic barns (#7 + 8) - proposed layout at ground floor

Scale:

Scale is one of the most important aspects of the original buildings which defines the character of the group.

This largely comprises:

Overall height of around 2 domestic storeys with a pitched roof

Window and door openings of a domestic scale - but contrasting with the double height barn doors.

Coursing height of the stone walling.

The removal of the more recent buildings, some of which were of a casual nature, exposes and reinforces the scale.

The new buildings will follow the lead of the original buildings, in the height of the eaves and ridge, human scale of doors and windows and the visual texture of the walling stone.



Figure 46 (right top):

- proposed elevations of the Cottage (#1):
- south elevation
- west
- north
- east



Figure 47 (right bottom):

- proposed elevations of the Historic Barns (#7 + #8):
- east elevation
- west
- south
- north



Landscape:

Open yard between the cottage and the barns is the most important external space in the group of buildings. Although it forms the interface between the residential uses in the cottage and in the barns, it is important to keep the visual openness, but also provide a definition of the boundary between the two.

This could be achieved through the use of contrast between textures, materials and hard and softscape, but would need to be close to ground level and well below eye level so to be visually unobtrusive.

The spatial separation between the two residential uses is rather less than the 21m envisaged by the South Yorkshire Residential Design Guide, but the angle between the building compensates to some extent, will the restricted openings in the Historic Barns and the quality of space

Vehicular circulation no longer leads in to the central space but heads away from it: for the cottage to the east and towards the shed used for garaging; and to the barns, around the west side to a free standing garage + store to the north west, out of the sight of the yard but reinforcing the group.

A key part of the proposals is the removal of a significant area currently occupied by recent barns (#10, #11, #12, #13 and #14) much of which space will be returned to soft landscape. The small sites metric (SSM) has been used to assess the amount of biodiversity nett gain required, in line with current national and local policy. A paginated version of the SSM spreadsheet is incorporated into Appendix Three below and the functional spreadsheet is submitted separately. The analysis showed that the removal of the large area of poor quality barns of recent construction made a quantitative nett gain of 10%, and the loss of the are bramble scrub was balanced by a replacement area of hawthorn planting.

It is suggest that it would be appropriate for a comprehensive hard and soft landscape plan - including the apace between the residential uses, is to approved by discharge of condition, when all other aspects of the submission are fixed.

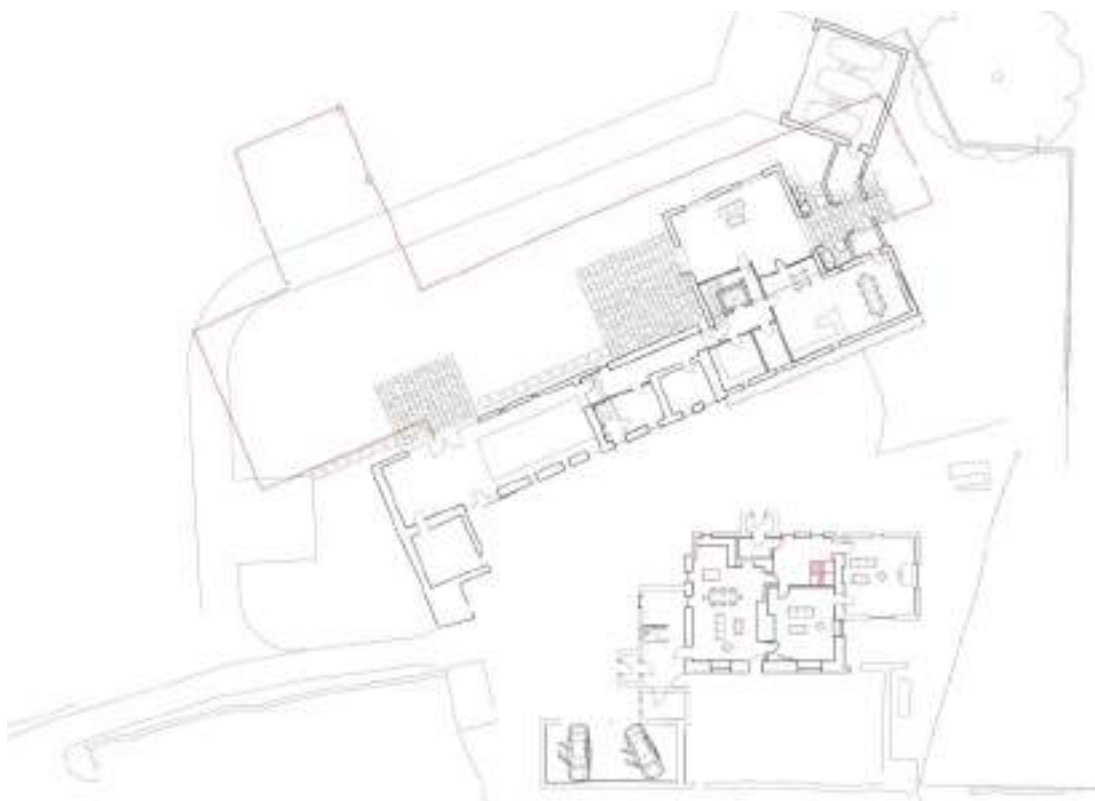


Figure 48 - retaining the openness of the central space is key to preserving the significance of the group of buildings .

Appearance:

The intention is to enhance the setting of the original buildings at the heart of the proposals as far as can be achieved. The original farm buildings will be retained and the recent, poor quality extensions will be removed, which will make the original massing and form more apparent and the detail easier to identify.

Following the roof forms, so that so the eaves, pitch and ridge of the new parts are the same as the old buildings, will reinforce the appearance of the group of buildings. Door and window openings follow the existing precedent both in size, for example personnel doors and barn doors, and detail, with stone lintels, jambs and cills.

New external materials will chosen to match the existing palette, and include:

- pitch faced walling in matching courses
- cast stone ashlar lintels, jambs, cills, kneelers + copings
- painted timber windows and doors
- slate roof covering with terracotta ridges etc
- cast iron rain water goods

The original form of the cottage was for a relatively small dwelling house, with kitchen and parlour downstairs and two bedrooms upstairs. The more recent extensions were intended to improve the layout and upgrade the accommodation to a more modern standard, for example with a first floor bathroom and wc by the new front door. However, both the layout and construction of the extensions were poor, obscuring some of the original form and, in some places, misappropriating features such as window casings into an alien background. Whilst the imperative remains to improve the quality and amount of accommodation to a modern standard, the proposals allow the cottage to be self standing and the extensions either to follow the principles above or use a palette of materials and details which are complement the quality but are neutral appearance. These would include:

- coursed rubble stone walling
- painted timber windows and doors
- weltd sheet lead roofing



Figure 49 (top) - Proposed south elevation of the Cottage (#1)

Figure 50 (bottom) - Proposed north elevation of the Cottage (#1)

Despite their age, and generally competent condition, the historic barns have suffered from two pressing problems for which listed building consent has already been sought in order to prevent any further deterioration:

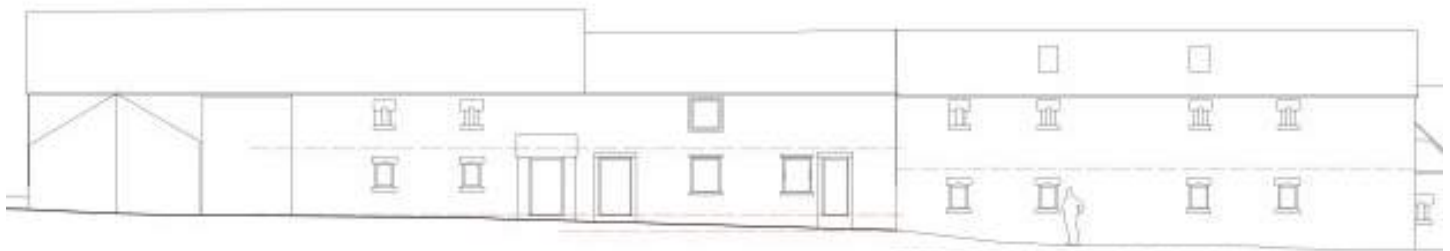
Although the existing trusses and purlins may well be in serviceable condition many of the rafters have deteriorated and would certainly not be suitable to support a more appropriate roof covering than corrugated cement sheets, such as the natural slate included in that application.

There is an area in the south west corner of the barn #7 which has been identified in the structural report as failing structurally, the remedy to which is careful dismantling and re-building using the same materials.

Without any significant change to the layout, both of the historic barns are combined in to one to form a new dwelling, extended to the north and west. The extension will accommodate all the spaces which would be uncomfortable to fit into the existing space, but follows the principles set out above:



The extension has been carefully designed to reinforce the west side of the group of buildings around the central space. To the north end of the barns, it is less important for the extension to contribute to the character of the group, so although the identified materials forms and details will be largely incorporated, it will include the first floor terrace area in a complementary style.



The eaves, pitch and ridge of the roof comply with the precedent

The size and detail of openings follow the precedent from the barns and the cottage.

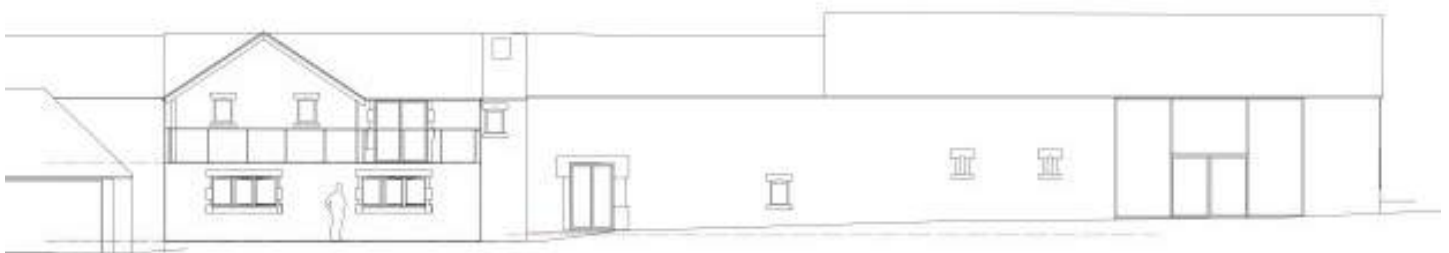


Figure 51 (top) - Proposed south elevation of the historic barns (#7 + #8)

Figure 52 (bottom) - Proposed north elevation of the historic barns (#7 + #8)

Access:

Vehicular and transport links:

The established use of the farm was for agricultural purposes of the land outside the application boundary, but including also residential uses with the application boundary.

The agricultural uses will continue for the land outside the application boundary and there will effectively be no change to the amount or type of the vehicular trips this generates.

Within the application boundary, there is one existing residential use and one proposed residential use so the increase in vehicular trips, deliveries and collections will not be a significant increase for the capacity of the access road of the junction to the A629 Halifax Road to which it connects.

As existing there is covered parking for four vehicles and many others on the hard scape outside - certainly totalling at least 10. The proposals provide covered parking for 5 vehicles with at least 2 more parked externally.

There is adequate space on site for parking and turning for vehicles associated with the residential uses, and collections / deliveries.

Although passenger car use has been the customary mode of transport for the established residential use on the application site, Stagecoach Bus Service 20 serves Well House Land on an hourly basis during the day, which is around 1 mile from the site. There is similar access to the railway service in Penistone with services Barnsley and Sheffield.

Inclusive access:

Vehicular access is provided up to both residential uses, where there is level access to the internal spaces

The alterations to the cottage layout meet at least the requirements of Volume 1 of Approved Document M for a visitable dwelling.

The design of the barn extension exceeds this, as it is intended to accommodate any mobility difficulties the Applicant may encounter in later life, so have been provided with a passenger lift to provide level access to all levels.

Appendices:

Appendix One: Planning statement

19 pages inserted

**Proposed Alterations and Extensions to Cottage and Conversion
and Extension of Existing Barns to Form a Dwellinghouse,
At Far Westhorpe Farm, Well House Lane, Penistone.**

Applicants: Mr & Mrs D Pearson.

This report has been prepared by Simon M Elliott - Dip. URP. The purpose of this report is to highlight the planning merits of the proposed alterations and extensions to the existing cottage and the conversion and extension to the existing stone barn to form a dwellinghouse at the above-mentioned property. The proposed development also involves the refurbishment of other buildings within the curtilage of this property and the removal of a significant volume of neighbouring former agricultural buildings, as detailed below in this report. The plans and associated supporting documents have been prepared on behalf of the applicants by Robin Ashley Architects.

1. Introduction

- 1.1 The purpose of this report is to identify and highlight the relevant planning considerations for the submission of a formal Planning Application and Listed Building Consent, as necessary, to the Local Planning Authority (LPA) for the development as outlined above. A more detailed description of the proposed development is set out below. The LPA that is responsible for planning matters relating to the site in question is Barnsley MBC.
- 1.2 This report takes account of the current relevant planning policies that are included in the Council's current Local Plan and associated documents for the area surrounding the site in question. The report also takes account of the Council's Supplementary Planning Guidance Notes (SPG's) where they are relevant to the proposed development. The report also acknowledges relevant Central Government Planning Guidance as included in the National Planning Policy Framework (NPPF) and also any relevant planning history of the site.
- 1.3 This report also takes account of any other material planning considerations that are believed to be relevant to the proposed development or may have some influence on the LPA's decisions on the planning proposals for this site.

2. Site & Surrounding Area

- 2.1 The site of the proposed development is located at Far Westthorpe Farm, Well House Lane, which is off Halifax Road in Penistone. It is understood that the application site is not within a Conservation Area, but there are Listed Buildings on the site, as detailed below. The original Farmhouse is a traditional stone built building, as are some of the neighbouring 'curtilage' buildings. There are also a number of large agricultural buildings on the site that are built from a variety of external materials, including timber, corrugated sheeting, brickwork and blockwork. The application site is to the north of Halifax Road and is accessed via a long private access road that also serves other residential properties.
- 2.2 The application site is located at the top of a ridge of land and apart from another residential property immediately to the south, it is surrounded by open agricultural land. As mentioned above, there are various building types and sizes across the site of Far Westthorpe Farm, however, as an integral part of the proposed development a significant floorspace and overall volume of the existing buildings are to be removed, as shown on the submitted plans. The buildings on the farm include a number of reasonably modern portal frame and similar structures that are covered externally with corrugated sheeting and timber cladding as well as corrugated sheeting to the roofs. The main traditional stone buildings on this site are all to be retained, renovated and also extended in a variety of ways.
- 2.3 In terms of the appearance of the farm as a whole it is predominantly characterised by the old traditional stone buildings that are set around a hard surfaced farmyard. The farmhouse itself is currently the only residential property on this site, which comprises a total of 45 acres of farmland (approximately 18 hectares) and buildings, with the farm buildings being generally central to the surrounding land. A total of 14 'separate' buildings have been identified across this site, including the existing cottage/farmhouse, together with a number of outbuildings and garages that are separate from the cottage. There are also two historic barns on the opposite side of the farmyard, behind which are a number of more modern barns and animal stalls. The farmland around this site is still being used for mixed agricultural purposes but the buildings have not been used in connection with this use over recent years and have fallen into varying levels of disrepair, which would require different levels of rebuilding or repairs if they were to be reused.

2.4 As mentioned above, there is a long established access track - Well House Lane, which serves the whole of this site and joins the local highway network onto Halifax Road, the A629. The means of access which will serve the new development also provides access to two adjacent properties and has also served the farming activities on this site for somewhere between 200 and 300 years. The level of traffic associated with the proposed development, where there will be just two dwelling units, will be no greater than that associated with the existing house and farming activities over recent years. It is therefore considered that the access and visibility at the junction with Halifax Road (which is very good) will not need to be upgraded as part of this development.

2.5 In terms of the general topography of the area the access rises up from Halifax Road to the farm buildings and then generally slopes down from the entrance to the rear of the site. The slope across the site can be clearly seen on the submitted plans and the design of the proposed development takes account of the topography of the site and respects it with every element of the alterations and extensions to the buildings. With regard to the landscape boundary treatment, the majority of the fields are enclosed with dry stone walls, which will be retained unless required to be altered as part of the proposed development. There is just one mature tree within close proximity to the proposed development (to the north of the buildings on site). However, this tree will be retained as it does not affect the proposed development and in turn it is sufficiently distant from the buildings to ensure that it will not be affected by the proposed works.

2.6 With regard to the older buildings on this site it is noted that two of them are identified as Listed Buildings, although it is acknowledged that the same level of protection is also afforded to the other buildings attached to and within the curtilage of these buildings.

2.7 The Listed Buildings on this site are both Grade II and they are identified as follows:

Listing Number 1192110 - Far Westhorpe Farmhouse.

Listing Number 1151797 - Barn - west of Far Westhorpe Farmhouse.

2.8 These buildings are both identified on the official list entry as dating from the early 18th Century (C18). The cottage or farmhouse was listed in 1988 and is described as a Farmhouse. Early C18. Coursed, square rubble, rendered sides and rear. Concrete tile roof. Two storeys. continuous single-storey rear outshut. Three bays. Quoins. Near-central original door(part blocked) with chamfered surround and deep, shaped lintel, with one 4-light double-chamfered window to each side, both floors, each with central mullion only remaining. Continuous ground floor hoodmould over windows and door. Inserted C19 doorway with plain surrounds to left. C19 window in keeping, above central door. Hollow chamfered gable copings on moulded kneelers. Rear: outshut has two 2-light double-chamfered windows; C20 single-storey addition not of special interest.

The interior is noted to have an arched, chamfered fireplace in the right room.

2.9 With regard to the Listed barns they are noted to be Coursed squared rubble, part rendered. Asbestos roof. 4 internal bays. Square-headed cart entry to bay 2. Chamfered entrance to right. Two small round-arched lights as high level. Similar lights below altered with larger casements. Bay may be rebuilt. Rear: opposing square-headed cart entry. Interior: 3 principal rafter trusses with queen struts and large-scantling tie-beams. Included for group value.

3. Outline of Proposals & Site History.

- 3.1 In basic terms, the proposed development involves alterations and extensions to the existing residential cottage by removing what are considered to be unsympathetic extensions with more attractive replacements. In addition to this, the existing Listed barns are to be retained, repaired, refurbished and extended to create a new residential property. The overall development also involves the retention of the other traditional sheds, garage and the walled garden and the removal of the more recent 20th Century barns and animal stalls, which are predominantly in a poor condition and unsightly. The buildings that are proposed for removal clearly detract from the visual amenity of the overall site and the setting of the Listed Buildings on the site. Their removal is therefore a positive step towards enhancing the setting of the original buildings that are set around the traditional farmyard.
- 3.2 In terms of the extent of the new development on this site it should be noted that it is significantly less than the floor area and volume of the buildings that are to be removed as part of this development. The exact details of the volumes and floor areas being retained, removed and built are all set out in the Design and Access Statement (D&AS) produced by Robin Ashley Architects and will not be replicated here but will be referred to as necessary. It is rather ironic that the buildings that have been on this site for somewhere in the region of 300 years are the ones that are in the best structural repair and are also the ones that the applicants want to retain and bring back to their former glory, with alterations and extensions to bring them into the 21st Century.
- 3.3 The removal of the corrugated sheeting and timber buildings will represent a considerable improvement in the overall appearance of the site and the proposed development is in a form which will complement the vernacular architecture of the area, and in particular the buildings being retained. The proposed development will match the detailing and external facing materials that are in place on the stone buildings on the site and all materials will obviously be to the satisfaction of the LPA. Samples of the proposed external facing materials will be made available for the LPA's approval prior to the commencement of the development if this is deemed necessary.

- 3.4 In terms of the planning history of this site and the adjacent land the Council's website does not show any planning submissions for the development that has taken place on this site. However, looking at the condition and age of the buildings on the site it is likely that the agricultural buildings were built without permission, probably under the Agricultural permitted development rights that were in place at the time. A large number of the other buildings on site clearly pre-date planning legislation and more recent alterations and extensions to the older buildings could also have been built under permitted development rights.
- 3.5 With regard to more recent interaction with the Council's Planning Department, a pre-application submission was sent into the local authority on behalf of the applicants in early 2025. The proposed development that was set out in the pre-application submission generally replicated that shown on this planning application. The enquiry sought to obtain some level of agreement with the Council's Planning and Conservation officers relating to the principle of the proposed development, the retention and extension of the historic buildings on the site and the creation of an additional residential property on the site.
- 3.6 The discussions with the Council's officers throughout 2025 has including exchanges of emails as well as site meetings and it is considered that the overall aims of the proposed development were welcomed and the broad aims of the application(s) were deemed to be acceptable by the Council's officers. Once again, a more detailed description of the pre-application process and conclusions is set out in the D&AS and is not reproduced here to avoid unnecessary repetition. In addition to the above, a Heritage Statement has also been produced which considers historic interest and the significance of the heritage assets in a great deal of detail. It has been concluded that the grouping of buildings which formed the original farm, including the walled garden has the greatest significance. Even though the cottage has been quite significantly altered and extended over the years it is still deemed to have greater significance in heritage terms than the neighbouring barns. The significance of the original barns is deemed to be because of their importance as part of the group as a whole, together with their age and the details of the old small arched windows.

Front Elevation of the Existing Listed Farmhouse



Internal Image of part of the Roof Structure in one of the Listed Barns



Internal Image of one of the agricultural Buildings to be demolished



Image of part of the application site from the west showing the buildings to be removed with the barns to be converted behind



Another image showing the type of buildings that are to be demolished as part of the proposed development



4. Planning Policies & Other Material Considerations

4.1 In terms of the current Barnsley Local Plan and its policies, it was adopted by the Council in January 2019 and this forms part of the Local Plan along with other documents including Supplementary Planning Guidance. The application site and its surroundings are within the Green Belt, as defined by the Local Plan. The site is not within a Conservation Area but there are Listed Buildings on the site and the Council's policies relating to development within the Green Belt and the Historic Environment are relevant to this proposal. The guidance included within the Council's 'Barn Conversions' Supplementary Planning Document (SPD) is also relevant to the proposed extension and conversion of the Listed Barns into a dwelling. The current Planning Policies that are considered to be relevant to the proposed development are as follows:

4.2 Local Plan Policies that are relevant to these proposals -

Policy GB1 - Protection of Green Belt

Policy GB2 - Replacement, extension and alteration of existing buildings in the Green Belt

Policy GB3 - Changes of use in the Green Belt

Policy D1 - High Quality Design and Place Making

Policy HE1 - The Historic Environment

Policy HE2 - Heritage Statements and general application procedures

Policy HE3 - Developments affecting Historic Buildings

Other relevant planning guidance:

The National Planning Policy Framework (NPPF) came into effect in March 2012 and has been revised several times since, with the most recent version being dated 12 December 2024. Section 13 of the NPPF relates to Protecting Green Belt Land and Section 16 relates to Conserving and Enhancing the Historic Environment.

4.3 With regard to the principle of the proposed development as a whole it is considered that it will accord with the above-mentioned planning policies, SPD and the NPPF. Also that it will have a positive impact on the visual amenity and openness of the Green Belt and on the character and setting of the Listed Buildings on the site. Even though this development will involve alterations and extensions to the existing buildings, the development will result in an overall reduction in the footprint of buildings on the site by 605 square metres. The overall floor area of buildings on the site will be reduced by 425 square metres and the volume of buildings on this site will be reduced by 93 cubic metres.

4.4 In addition to the above, this development will represent a significant improvement to the appearance, character and setting of the Listed Buildings and other traditional stone buildings on the site which is considered to accord with the Council's Policies relating to the Historic Environment.

4.5 **Policy HE1** advises amongst other things that:

We will positively encourage developments which will help in the management, conservation, understanding and enjoyment of Barnsley's historic environment, especially for those assets which are at risk. This will be achieved by :-

a. Supporting proposals which conserve and enhance the significance and setting of the borough's heritage assets, paying particular attention to those elements which contribute most to the borough's distinctive character and sense of place.

These elements and assets include:-

The Borough's more rural western and Pennine fringe characterised by upland and (often) isolated settlements or farmsteads surrounded by agricultural land and dominated by historic and vernacular buildings built from local gritstone.

b. By ensuring that proposals affecting a designated heritage asset (or archaeological site of national importance such as a Scheduled Ancient Monument) conserve those elements which contribute to its significance. Harm to such elements will be permitted only where this is outweighed by the public benefits of the proposal. Substantial harm or total loss to the significance of a designated heritage asset (or an archaeological site of national importance) will be permitted only in exceptional circumstances where there is a clearly defined public benefit.

4.6 **Policy HE2** relates to Heritage Statements and general application procedures. A heritage statement has been prepared and will form part of the formal submission to the LPA along with the planning application and accompanying plans.

4.7 **Policy HE3** relates to Developments affecting Historic Buildings and advises that:

Proposals involving additional or alterations to listed buildings or buildings of evident historic significance such as locally listed buildings (or their setting) should seek to conserve and where appropriate enhance that building's significance. In such circumstances proposals will be expected to:

Respect historic precedents of scale, form, massing, architectural detail and the use of appropriate materials that contribute to the special interest of a building.

Capitalise on opportunities to better reveal the significance of a building where elements exist that detract from its special interest.

4.8 **Policy GB1** - This policy relates to the Protection of Green Belt and advises that:

The general extent of the Green Belt is set out on the key diagram. The detailed boundaries are defined on the policies map. Green Belt will be protected from inappropriate development in accordance with national planning policy.

4.9 **Policy GB2** - Relates to the replacement, extension and alteration of existing buildings in the Green Belt and advises that:

Provided it will not have a harmful impact on the appearance or character and will preserve the openness of the Green Belt, we will allow the following development in the Green Belt:

- * Replacement buildings where the new building is in the same use and is not materially larger than that which it replaces.

- * Extension or alteration of a building where the total size of the proposed and previous extensions does not exceed the size of the original building.

- * Dividing an existing house to form smaller units of accommodation.

- *

All such developments will be expected to:

- * Be of a high standard of design and respect the character of the existing building and its surroundings, in its footprint, scale and massing, elevation design and materials; and

- * Have no adverse effect on the amenity of local residents, the visual amenity of the area, or highway safety.

4.10 **Policy GB3** This policy relates to Changes of use in the Green Belt and advises us that:

* We will allow the change of use or conversion of buildings in the Green Belt provided that:

* The existing building is of a form, scale and design that is in keeping with its surroundings;

* The existing building is of a permanent and substantial construction and a structural survey demonstrates that the building does not need major or complete reconstruction for the proposed new use;

* The proposed new use is in keeping with the local character and the appearance of the building; and

* The loss of any building from agricultural use will not give rise to the need for a replacement agricultural building, except in cases where the existing building is no longer capable of agricultural use.

All such development will be expected to:

* Be of a high standard of design and respect the character of the existing building and its surroundings, in its footprint, scale and massing, elevation design and materials.;

* Have no adverse effect on the amenity of local residents, the visual amenity of the area, or highway safety; and

* Preserve the openness of the Green Belt.

4.11 In addition to the above, when a residential use is proposed, we will allow the change of use provided that:

* There are not strong economic reasons why such development would be inappropriate; and

* Residential use would be a more appropriate way of maintaining and improving the character and appearance of the building than any other use.

4.12 The final policy that is considered to be particularly relevant to this development is **Policy D1** - High Quality Design and Place Making. This policy advises that:

Development is expected to be of high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley, including:

- * Landscape character, topography, green infrastructure assets, important habitats, woodlands and other natural features;
- * Views and vistas to key buildings, landmarks, skylines and gateways; and
- * Heritage and townscape character including the scale, layout, building styles and materials of the built form in the locality.

4.13 Through its layout and design development should:

- * Contribute to place making and be of high quality, that contributes to a healthy, safe and sustainable environment;
- * Complement & enhance the character and setting of distinctive places, including Barnsley town centre, Penistone rural villages & Conservation Areas;
- * Help to transform the character of physical environments that have become run down and are lacking in distinctiveness;
- * Provide an accessible and inclusive environment for the users of individual buildings and surrounding spaces;
- * Provide clear and obvious connections to the surrounding street and pedestrian network;
- * Ensure ease of movement and legibility for all users, ensure overlooking of streets, spaces and pedestrian routes through the arrangement and orientation of buildings and the location of entrances;
- * Promote safe, secure environments and access routes with priority for pedestrians and cyclists;
- * Create clear distinctions between public and private spaces;
- * Display architectural quality and express proposed uses through its composition, scale, form, proportions and arrangement of materials, colours and details;
- * Make the best use of high quality materials;
- * Include a comprehensive and high quality scheme for hard and soft landscaping; and
- * Provide high quality public realm.

- 4.14 With regard to the NPPF it is acknowledged that within the Green Belt there are a number of forms of development that are deemed to be acceptable and others that are not. Paragraphs 142 to 160 of the NPPF provide the appropriate guidance relating to development within the Green Belt under the headings of 'Protecting Green Belt Land' and 'Proposals Affecting the Green Belt'. Paragraph 142 advises that: "The Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence".
- 4.15 Paragraph 143 goes on to advise that: "Green Belts serve 5 purposes:
- a) to check the unrestricted sprawl of large built-up areas;
 - b) to prevent neighbouring towns merging into one another;
 - c) to assist in safeguarding the countryside from encroachment;
 - d) to preserve the setting and special character of historic towns; and
 - e) to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.
- 4.16 Paragraph 145 then states that: "Once established, Green Belt boundaries should only be altered where exceptional circumstances are fully evidenced and justified through the preparation or updating of plans. Strategic policies should establish the need for changes to Green Belt boundaries, having regard to their intended permanence in the long term, so they can endure beyond the plan period. Where a need for changes to Green Belt boundaries has been established through strategic policies, detailed amendments to those boundaries may be made through non-strategic policies, including neighbourhood plans".
- 4.17 Paragraph 146 identifies that: "Exceptional circumstances in this context include, but are not limited to, instances where an authority cannot meet its identified need for homes, commercial or other development through other means. If that is the case, authorities should review Green Belt boundaries in accordance with this Framework and propose alterations to meet these needs in full, unless the review provides clear evidence that doing so would fundamentally undermine the purposes (taken together) of the remaining Green Belt, when considered across the area of the plan".

4.18 Paragraph 154 of the Framework then advises that "Development in the Green Belt is inappropriate unless one of the following exceptions applies:

- a) buildings for agriculture and forestry;
- b) the provision of appropriate facilities (in connection with the existing use of or a change of use) including buildings for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it;
- c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- e) limited infilling in villages;
- f) limited affordable housing for community needs under policies set out in the development plan (including policies for rural exception sites); and
- g) limited infilling or the partial or complete redevelopment of previously developed land (including a material change of use to residential or mixed use, including residential) whether redundant or in continuing use (excluding temporary buildings), which would not cause substantial harm to the openness of the Green Belt.
- h) Other forms of development provided they preserve its openness and do not conflict with the purposes of including land within it. These are:
 - i) mineral extraction;
 - ii) engineering operations;
 - iii) local transport infrastructure which can demonstrate a requirement for a Green Belt location;
 - iv) the re-use of buildings provided that the buildings are of permanent and substantial construction;
 - v) material changes in the use of land (such as changes of use for outdoor sport or recreation, or for cemeteries and burial grounds); and
 - vi) development including buildings, brought forward under a Community Right to Build Order or Neighbourhood Development Order.

- 4.19 After considering all of the above-mentioned Planning Policies and Government guidelines, it is argued that the proposed development will comply with both the letter and overall aims of them all. The redevelopment of this site represents a significant improvement to both the openness and visual amenity of the Green Belt, through the improvements that are being made to the existing traditional buildings as well as the removal of the vast array of more modern and unsightly structures. In addition to this it is also considered that this development will protect and enhance the character and setting of the Listed Buildings on the site, again for the reasons set out above.
- 4.20 The proposed alterations and extensions to the Listed Buildings on site have been thoughtfully and extremely well designed to protect their importance as heritage assets and also to renovate them so that their 'history' will be retained and protected for many years to come. Features such as the walled garden will also be restored to its former glory and where other areas of the site and buildings have been neglected over the years by former owners these will also be repaired, as necessary, to retain and improve the appearance of the whole site.
- 4.21 In terms of the principles of the proposed development it is clear that the renovation and extension of the existing farmhouse is acceptable in line with the LPA's current policies and guidelines. A structural report has been prepared for the buildings on this site and with regard to the Cottage as it is described, it confirms that the masonry is in very good order and the walls are all good for their age and do not exhibit any excessive cracking or bulging. With regard to the roof, the roof timbers all appear to be in fair to good order and it has flat planes and straight lines and a very level ridge. Internally, some relatively minor improvement works are required, including the replacement of one non-loadbearing wall with a new one and some beams and first floor joists need to be replaced because of woodworm and several of the joist ends appear to fail and need replacing.
- 4.22 A number of other minor works are also recommended and these are set out in the structural report. With regard to the proposed extensions to replace the existing ones, it is not considered that they are excessive and have been extremely well designed and will be built in materials to match the existing building, as set out in the planning submission.

- 4.23 With regard to the proposed conversion of the traditional stone barns to form a dwellinghouse those works are also considered to be in line with current Government guidance and Local Plan Policies. The Listed barns and the adjacent more modern garage building are all substantial and permanent buildings and can be converted into a dwellinghouse without being substantially rebuilt or extended. However, there is some rebuilding and renovation work that is required in any event, and again this is recommended in the Engineer's Structural Report. Areas of work to the Listed barns that have been identified in the Structural Report includes the following:
- 4.24 The south gable of the 'large' barn (the closest one to the site entrance) has a severe outward bulge and a 'serious' crack in the wall and it is recommended that a small amount of dismantling and rebuilding work is required. However, the walls are generally in good condition considering their construction and age. With regard to the roof, the rafters are generally in a poor condition, having been eaten away by woodworm. The purlins have also probably been affected by woodworm as well but because these are larger timbers they may be able to be treated and retained. The same applies to the king post trusses. However, the purlins and trusses may be suitable for retention subject to strengthening and refurbishment but the rafters are considered as end of life service.
- 4.25 With regard to the foundations for the larger barn there is a small area of local settlement under the roof truss and the foundation may need strengthening with an area of local underpinning.
- 4.26 Turning to the adjacent smaller barn both of the flank walls are severely leaning out, which has 'released' the timber first floor joist ends. No tying exists to these walls and it is suggested that these areas of leaning walls are taken down and rebuilt. The courtyard side wall is considered to be close to collapse. The first floor construction also has woodworm damage and the main beam is broken and currently supported on a acrow prop. As mentioned above, the leaning walls have released the end bearing of the first floor joists and these are supported on temporary timber propping. It is therefore recommended that the first floor is also replaced as part of the refurbishment works. With regard to the roof structure it is considered that this may also require replacement as the current purlins only carry lightweight corrugated sheeting.

- 4.27 The fact that this submission proposes an extension to the Listed barns is considered to be a secondary consideration, and does not alter the fact that the principle of creating an additional dwelling unit on this site is acceptable. Once again the new works will complement the facing materials of the existing buildings. The vast areas of corrugated roofing sheets on the Listed barns and the neighbouring buildings will be replaced with natural slates, as set out in the schedule of building materials that accompanies this application and represents another significant improvement to the existing situation.
- 4.28 One final material consideration relating to the consideration of the proposed development, as referred to above, is the significant improvement that will be made to the overall site through the removal of a large floor area and volume of unsightly modern (ish) farm buildings. The openness of the Green Belt will be improved. The character and visual amenity of the Green Belt will be improved. The character, setting and appearance of the Listed Buildings and their immediate surroundings will also be massively improved and preserved for years to come.

5. Conclusions

- 5.1 The conclusions of this report are that the proposed development, as detailed in the attached planning application, is acceptable in terms of its whole and also in terms of each individual element. As such, it is considered that this proposal should be supported by the Council's officers. The proposed development has been discussed with Council officers throughout 2025 and it appears that a general consensus has been reached regarding the overall development and its benefits. The Council has been furnished with all relevant supporting details, showing that the barns are capable of conversion without having to be substantially altered or re-built, and it is clear that the existing dwellinghouse is also structurally sound but in need of improving and modernising.
- 5.2 It is argued that the main considerations relating to the proposed development revolve around the principle of the proposed development and its impact on the openness and visual amenity of the Green Belt and also the fact that the development will clearly preserve and enhance the character and setting of the Grade II Listed Buildings on the site. The significant benefits that this development will bring forward should provide the LPA with sufficient justification and comfort to support this proposal. However, it is considered that the principle of all of the individual elements of the development are also acceptable and will result in benefits to the area rather than having any detrimental impact on any interests of acknowledged importance in planning terms.
- 5.3 It is likely that the Council's determination of this application will not be based solely on clear and definite policy matters but also on subjective judgements regarding the impact of the development on the character of the area and the character and setting of the Listed Buildings. Any new development within such areas must be seen to either preserve or enhance the character of the area and the setting of the Listed Buildings and it is considered that this development will do both. The proposed development will be of the highest quality and I trust that the LPA's planning officers will recommend that permission should be granted.

Appendix Two: Structural report

48 pages inserted

Far Westhopre Farm
Penistone
S10 2FX



Structural inspection
9 September 2025

Introduction

This report was commissioned by Mr David Pearson, the owner of the property and is required as a planning condition to assess the existing buildings to be retained and refurbished.

Scope of report

The assessment is a structural one and focusses on the condition of the cottage and the two historic barns with a view to refurbishment as part of the development that will include some new buildings around them.

The Cottage

This property is a two-story stone building with traditional timber floors and a stone covered roof and is thought to date back to the early 18th Century



Garden elevation

Cottage externally

In the garden elevation above it can be seen that the masonry is in very good order as is the roof with flat planes and straight lines and a very level ridge.



Left end of garden elevation. Extension on left to be replaced



Centre section



Right hand garden elevation



Northeast gable. Tired and peeling paint/render but no major cracks or bulging apparent.



Farmyard side, single storey extension.



Farmyard side, single storey extension. First floor extension proposed on top



Farmyard side, single storey extension, no signs of distress.



Southwest gable. Brickwork revealed under render to extension



Single storey extension in yard, to be replaced.



Single storey extension in yard. Cottage gable in good order



Gable to shed/garage in good order



Garage/shed in good order

Cottage internally

Ground floor



Kitchen. Non load bearing walls unstable under beam on right a touch unstable as they are loosely constructed and have informal head restraint. Take down and rebuild in blockwork as required.



Kitchen: Trial pit revealing foundation to single storey extension



Trial pit showing foundation as concrete with 150mm projection at 300mm below slab. Foundation approx. 500mm – 600mm wide overall and therefore has capacity to support another proposed storey.



First floor (bathroom) joists over kitchen require replacement



Beam with woodworm on kitchen/dining wall line. Unstable non load bearing wall (see comments under top photo page 9)



Close up



Joist end about to fail (several joists in this state)



Timber mass losses due to insect attack.



Roof over OK but to be replaced with new storey



Dining room



Dining room



Dining room ceiling. First floor joists and beams in good order (subject to specialist inspection for rot/insect attack). Acceptable bounce under drop heel test.



Living room fireplace. Cracked mantel stone with acrow prop. Right cheek wall has yielded out to the right following bending failure of mantel.



Dining room rear wall looking southwest.



Hallway. Joists over to be replaced in new first floor works

First floor



Roof over existing first floor bedrooms. Dry and weathertight. Specialist inspection recommended to check for fungal and insect attack.



Inside southwest gable



Stone flue from living room below (with cracked mantle). Terminates at ceiling and goes sideways into original chimney



Stone flue left side not bonded into wall



Stone flue right hand side. No bonding into wall



Northeast bedroom gable end. Good.



Garden side bedroom wall. Loose stones at head need looking at. Replace timber lintel.



Fireplace in bedroom party wall. Good

The Barns

There are three stone walled barns forming the opposite side of the farmyard



South gable large barn



Severe outward bulge in same wall. Take down and rebuild



Low level shed under repair receiving new roof. Large barn in background.



Large barn at south end of yard



East wall of large barn facing courtyard



North end of large barn with smaller barn adjoining on the right.



Smaller barn to the north



Small barn, yard elevation



Smaller barn north gable. Brick barn on left to be demolished



Small barn back wall



Large barn back wall looking south



Large barn and small barn back wall back wall looking north

Barn Internals



Large barn southeast corner



Large barn south gable. Bulge and crack arrowed where flank wall has released. Local dismantling and rebuilding recommended. Add this to the 'take down and rebuild' recommendation of the outward bulging gable (page 22). This picture is the inside face of the south gable



Flank wall (gable on left) entrance to barn to be demolished.



As above to the right



Back wall large barn looking west.



Party wall to large/small barn looking north.



Northeast corner large barn



Courtyard wall



Courtyard wall and main door. Local settlement under truss left of large door. Foundation may need strengthening with local underpinning



Roof southeast corner, rotting rafters: fairly typical of entire roof. New roof recommended for conversion into habitable building. Purlins and trusses may be suitable for strengthening and refurbishment, but rafters should be considered as end of service life.

Small barn



Small barn ground floor party wall with large barn



As above



Small barn. Acrow prop to failed 1st floor timber beam



Outward leaning wall has released 1st floor joist ends which are now only supported on a makeshift timber bearer and acrows. Failed/absent wall internal wall buttress bonding full height (far right side of picture)



Large gap where courtyard wall is leaning away from internal buttress wall. Failed bonding/tying



Wall has drifted out circa 75-100 mm completely releasing and abandoning first floor joist ends.



Small barn courtyard (east) wall leaning into yard abandoned first floor joist bearings (previous page)



Corridor small barn. Secondary timber propping rescuing reduced bearings from outward leaning west wall.



Gable end small barn



1st floor small barn. Pronounced lean of gable wall of large barn. Take down and rebuild



1st floor small barn intermediate wall



Roof. New rafters, purlins and covering required if being converted for habitation



Inner wall first floor. Light repair required at head of arch



Gable end 1st floor



Corner cracking in wall junction indicating outward wall lean and lack of tying in



1st floor intermediate wall small barn (same wall as previous pic)



Small barn 1st floor west wall leaning out no bonding/tying to cross wall (large gap)

Summary

Generally

As with all properties of this type and vintage, it is recommended that the timber elements (floors and roofs) be inspected by a specialist for insect and fungal attack, even those that appear to be structurally sound. Where timber has been found to be obviously defective, notes have been made under the photographs.

Masonry on the whole is good for its age, but areas of spot repair are required and noted in the photographs. Naturally the cottage has superior masonry, straighter and more refined than the barns.

Cottage

All structural timber members should be inspected by a timber specialist with respect to insect and fungal attack. There is evidence of woodworm areas and so the spread needs to be established and dealt with.

Roof

The roof timbers all appear to be in fair to good order and from the outside, the profile of the roof: Straight ridge and no sags or dips in the roof planes would back this up.

Walls

The walls are all good for their age and do not exhibit any excessive cracking or bulging.

The flue in the bedroom on the back of the original fireplace is not bonded into the bedroom party wall (photos on p17 – 19inc) and as it is redundant and reduces the bedroom floor footprint, we would recommend that it be removed to take out future repair liability.

The non loadbearing wall between kitchen and dining room (top photo page 9) is in fragile and fairly unstable condition. It is built hard up to a large timber floor beam and is taking a little head restraint from it. It is our recommendation that it be taken down and rebuilt in blockwork with better masonry ties at the wall abutments and underside of beam.

Repairs required to ground floor fireplace with cracked mantle stone and out of plumb right hand fireplace cheek (photo top of page 15)

Some horizontal lengths of timber are built into the walls. These should be removed and replaced with masonry. Likewise, all timber lintels should be considered a liability and replace with precast concrete lintels.

Floors

The bathroom floor over the single storey extension has extensive woodworm (photos on pages 10 -12 inc) and so all beams and joists in that bay should be replaced with new floor joists as part of the first-floor extension works.

The floors over the dining and lounge feel and look robust and perform well under a 'drop heel' test.

Foundations

One trial pit was dug in the single storey extension to reveal the foundations (photos on pages 9 and 10) confirming the foundation as concrete with 150mm projection at 300mm below slab level. Foundation is therefore approx. 500mm – 600mm wide overall and so has capacity to support another proposed storey.

For the rest of the cottage there is no evidence at all that the foundations have suffered any distress.

Large barn

All structural timber members should be inspected by a timber specialist with respect to insect and fungal attack. There is evidence of woodworm areas and so the spread needs to be established and dealt with.

Roof (inspected from the ground)

Rafters are in generally poor condition and eaten away by wood worm. Purlins have most likely suffered from worm but as they are thicker larger timbers, they may be retained if treated by a specialist. The same goes for the timber king post trusses.

New roof construction for habitation will be heavier and require higher spec rafters. Purlins and trusses will need to be checked for capacity assuming successful treatment for worm /fungus.

Walls

Generally, the walls are in good condition considering their construction and age.

There is an outward bulge and serious crack mid height in the south gable wall (arrowed in photo on page 30) where the flank wall has released the gable. A small amount of dismantling and rebuilding will be required. The bulge is too large to lock in place by masonry stitching (Helifix or the like).

The gable has a pronounced outwards belly in it which at first was thought to perhaps be blown render. Removal of that render confirms that it is the wall that bulges.

Foundations

Will be fairly rudimentary stone footings close to the surface. Any movement will have been absorbed by the flexible dry stone wall construction they support but there is no evidence that they have suffered distress.

One exception is left of the of the main door (photo on page 34) where some local settlement may have occurred at the truss position. Some local underpinning might be needed if it is shown to be recent movement. Closer inspection to be undertaken during the building works/refurb.

Small barn

All structural timber members should be inspected by a timber specialist with respect to insect and fungal attack. There is evidence of woodworm areas and so the spread needs to be established and dealt with.

Roof

New roof build up for habitation may require replacement of the existing purlins which currently only carry lightweight corrugated sheeting.

Walls

Rudimentary stone but with bedded with mortar on this side. Both flank walls severely leaning out and have released timber floor joist end bearings. No tying exists to cross walls. Suggest taking down and rebuilding. Courtyard wall not far off collapse.

Floor

The first/mezzanine floor is worn out, has woodworm and a main beam is broken and currently supported on an acrow prop (photo page 37). Leaning walls have removed end bearings which are now on temporary timber propping. Considering its poor condition and support plus the very low headroom provided at ground floor, we recommend the floor be replaced in the refurbishment/remodelling.

Foundations

Will be fairly rudimentary stone footings close to the surface. No evidence of settlement except they may have allowed the walls to rotate outwards. The drooping gutter in the courtyard (photos page 24) draws the eye but that is all it is – a drooping gutter.



S L White Bsc CEng MStructE
Director

19 September 2025

Appendix Three: Bio-diversity Nett Gain

8 pages inserted

Sheet Name	Site Details
1. Planning authority:	Barnsely Metroolitan Borough Council
2. Site name:	Far Westhorpe Farm
3. Applicant:	Mr and Mrs Pearson
4. Planning application type:	Full planning consent
5. Planning application reference:	
6. Metric completed by (name & job title):	David Uhlar - Partner
7. Date of metric completion:	Thursday, 6 November 2025
8. Revision number:	No revision
9. Masterplan document title / drawing number:	24-001-33

Net Gain Targets

10. Targeted % increase in Units	10a. Habitat	10.00
	10b. Hedgerow	10.00
	10c. Watercourses	10.00

11. Optional target increase in units if baseline value is zero	11a. Habitat units	0.00
	11b. Hedgerow units	0.00
	11c. Watercourse units	0.00

For planning authority use only

12. Planning authority reviewer:	
13. Date of planning authority review:	

Site Name:	Far Westhorpe Farm
Sheet Name	Desktop Assessment

Development

14. Select the type of proposed development. If Other provide details at Q.25 below	Residential	Site area must be less than 10,000 m2
15. Site area (m ²)	3371	
N/A		
17. Number of dwellings proposed within the development site	Between 1 - 9 dwellings	

Designated sites and priority habitats

18. Any designated sites on or within 500m of the site?		
19. Any priority habitats on or within 500m of the site?		
20. List the designated sites and/or priority habitats		
21. Information sources used for assessment of designated sites and priority habitats (See guidance)		

European protected species

22. Any european protected species present on site	No	
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Site walkover

23. Site walkover completed?	Walkover completed by competent person	A competent person should be able to confidently identify the habitats onsite
24. Date of site walkover - DD/MM/YY	16/09/2025	Site walkover data valid until 16/03/26
25. Who completed the walkover? (Name and job title)	David Uhlar RIBA	

Additional details

26. Any additional information or notes		
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Site Name	Far Westhorpe Farm
Sheet Name	5. Area Habitats

Instructions:
 1. Enter data into 1a. Baseline habitats table
 2. Enter data on habitats to be created into 1b. Habitats to be created
 3. Enter data on habitats to be enhanced into 1c. Habitats to be enhanced
 4. Enter data on individual trees into 1d. Tree area calculator

All Key Rules Satisfied ✓

Lost Units	0.0308
Created Units	0.2928
Enhancement Units	0.0000
Net Change	0.2620

1a. Baseline habitats

Ref	Habitat		C. Strategic significance	Areas (m ²)			Baseline results			Comments	
	A. Broad Habitat	B. Habitat type		D. Total Area	E. Area retained	F. Area enhanced	Total habitat units onsite	Area Lost	Units lost	User comments	LPA comments
1	Urban	Developed land, sealed surface	Area/compensation not in local strategy/ no local strategy	228.00	203.00		0.00	23.80	0.000	Existing house + sheds	
2	Urban	Developed land, sealed surface	Area/compensation not in local strategy/ no local strategy	1046.00	200.00		0.00	846.00	0.000	Existing barns + sheds	
3	Urban	Developed land, sealed surface	Area/compensation not in local strategy/ no local strategy	624.40	594.70		0.00	29.70	0.000	Existing yards and access road etc	
4	Heathland and shrub	Bramble scrub	Area/compensation not in local strategy/ no local strategy	457.00	380.00		0.18	77.00	0.031	Area of bramble to the west of the barns	
5	Grassland	Other neutral grassland	Area/compensation not in local strategy/ no local strategy	1014.80	1014.80		0.81	0.00	0.000	Balance of soft scape	
6											
7											
8											
9											
10											
11											
12											
13											
14											
15											
16											
17											
18											
19											
20											
Trees	Individual trees	Urban/rural tree	Formally identified in local strategy	0.00	0.00		0.0000	0.00	0.0000		
Totals (areas excl trees, green walls and intertidal hard structures)				3371.00	2392.50	0.00	0.9946	978.50	0.0308		
Error Check 1				Area Acceptable ✓							
Error Check 2				Area Acceptable ✓							
Error Check 3				Area Acceptable ✓							

1b. Habitats to be created

Ref	A. Broad Habitat	B. Habitat type	Condition Assessment		D. Strategic significance	E. Total Area (m ²)	Habitat units created onsite	Comments			
			Acceptable condition options	C. Targeted condition				User comments	LPA comments		
1	Urban	Developed land, sealed surface	N/A- Other	N/A- Other	Area/compensation not in local strategy/ no local strategy	71.50	0.0000	Extension to the house			
2	Urban	Developed land, sealed surface	N/A- Other	N/A- Other	Area/compensation not in local strategy/ no local strategy	258.10	0.0000	Extension to the barns			
3	Urban	Developed land, sealed surface	N/A- Other	N/A- Other	Area/compensation not in local strategy/ no local strategy	0.00	0.0000	Yards + access road etc			
4	Urban	Built linear features	N/A- Other	N/A- Other	Area/compensation not in local strategy/ no local strategy	300.50	0.0000	Access to new garage			
5	Heathland and shrub	Blackthorn scrub	Moderate, Good	Good	Area/compensation not in local strategy/ no local strategy	348.40	0.2928	New coarse grass and to be created			
6											
7											
8											
9											
10											
11											
12											
13											
14											
15											
16											
17											
18											
19											
20											
Trees	Individual trees	Urban/rural tree	Moderate	Moderate	Area/compensation not in local strategy/ no local strategy	0.00	0.0000				
Totals (areas excl trees, green walls and intertidal hard structures)						978.50	0.2928				
Error Check 4				Area Acceptable ✓							

1c. Habitats to be enhanced

Baseline ref	Existing Habitat Type		Enhanced Habitat type		B. Strategic significance	Area Enhanced	Enhanced Condition	Total Units	Net Improvement	Comments	
	Broad habitat type	Existing habitat type	Enhancement Type	A. Enhanced habitat type						User comments	LPA comments
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											
11											
12											
13											
14											
15											
16											
17											
18											
19											
20											
Totals (areas excl trees, green walls and intertidal hard structures)						0.00		0.0000	0.0000		

1d. - Tree area calculator

Tree size (Diameter at breast height)	A. Total number of trees pre development	B. Number of trees retained (but not enhanced)	C. Number of new trees planted post development	Areas		
				Area pre development	Area retained	Area of new trees planted post development
Small - DBH ≤ 30cm	0	0	0	0	0	0
Medium - DBH > 30 to ≤ 60cm						
Large - DBH > 60 to ≤ 90cm						
Very Large - DBH > 90cm						
Total	0	0	0	0	0	0

Data beyond this row is automated

1e. Trading Summary

Broad Habitat Type - Medium Distinctiveness Habitats	Trading Rules Satisfied ✓
Medium and Low Distinctiveness Band	Trading Rules Satisfied ✓

1f. Habitat trading assessment

Broad habitat types	Distinctiveness band	Baseline units	Onsite provision	Net change	Trading satisfied?
Cropland	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Grassland	Low	0.0000	0.0000	0.0000	
	Medium	0.8118	0.8118	0.0000	Yes ✓
Heathland and shrub	Low	0.0000	0.0000	0.0000	
	Medium	0.1828	0.4448	0.2620	Yes ✓
Intertidal hard structures	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Intertidal sediment	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Lakes	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Sparsely vegetated land	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Urban	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Woodland and forest	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Coastal saltmarsh	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Individual trees	Low	0.0000	0.0000	0.0000	
	Medium	0.0000	0.0000	0.0000	N/A
Distinctiveness band		Baseline units	Onsite provision	Net change	Trading satisfied?
Medium distinctiveness		0.9946	1.257	0.2620	Yes ✓
Low distinctiveness		0.0000	0.000	0.0000	Yes ✓
Surplus area habitat biodiversity units after offsetting low distinctiveness units			0.2620		Yes ✓

Site Name:	Far Westhorpe Farm
Sheet Name	Supporting Information

Baseline Habitat Photos Insert photographs to support assumptions made in the metric

Ref	Habitat type	Photo 1	Photo 2
1	Developed land; sealed surface		
	Date taken	Friday, 7 March 2025	Friday, 7 March 2025
2	Developed land; sealed surface		
	Date taken		
3	Developed land; sealed surface		
	Date taken		
4	Bramble scrub		
	Date taken	Saturday, 19 April 2025	Friday, 25 April 2025
5	Other neutral grassland		
	Date taken	Friday, 7 March 2025	Friday, 25 April 2025
6			
	Date taken	Friday, 25 April 2025	Friday, 25 April 2025
7			
	Date taken		

Site Name	Far Westhorpe Farm
Sheet Name	Headline Results

Headline Results

Headline	BNG Targets Met ✓
Trading Rules	Trading Rules Satisfied ✓
Next steps	Check for input errors/rule breaks present in the metric ⚠

Baseline Units	Habitat units	0.9946
	Hedgerow units	Zero Units Baseline
	Watercourse units	Zero Units Baseline

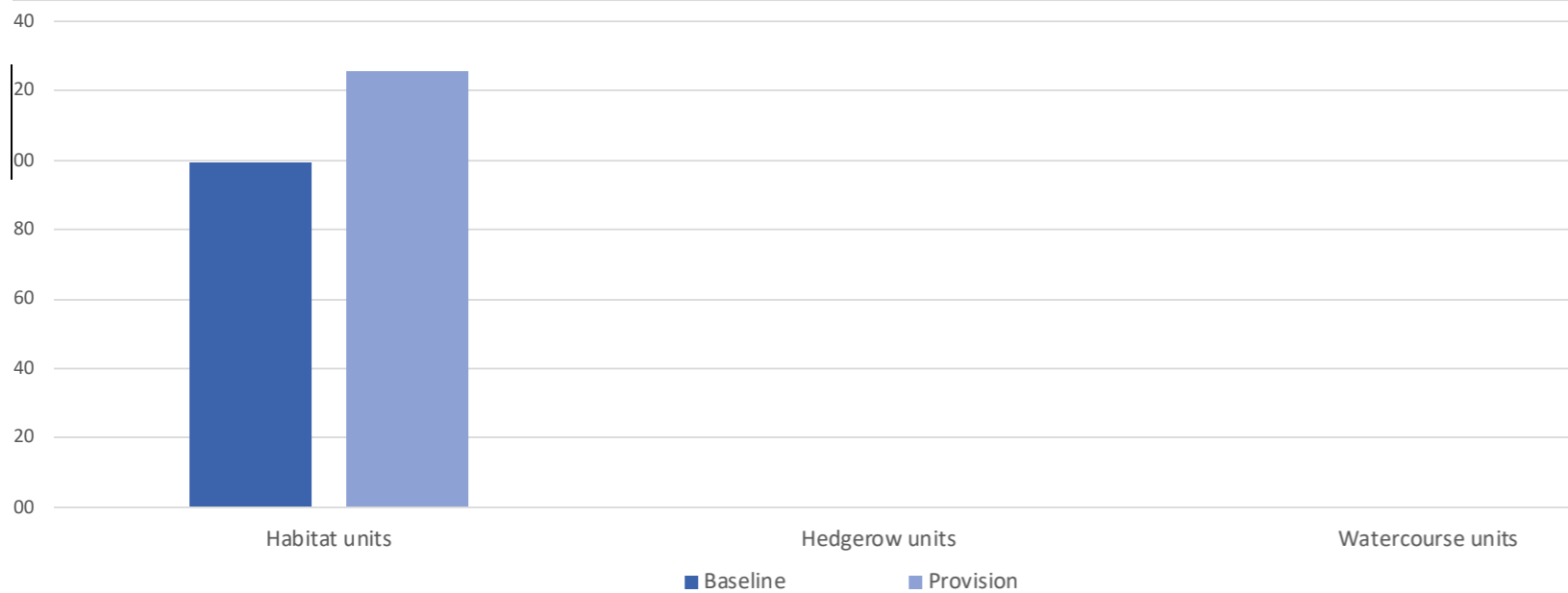
Post-development Units	Habitat units	1.2566
	Hedgerow units	0.0000
	Watercourse units	0.0000

Total net unit change	Habitat units	0.2620
	Hedgerow units	0.0000
	Watercourse units	0.0000

Total net % change	Habitat units	26.34%
	Hedgerow units	% target not appropriate
	Watercourse units	% target not appropriate

Habitats units required to meet target	0.0000
Hedgerow units required to meet target	0.0000
Watercourse units required to meet target	0.0000

Chart 1 - Unit change by habitat group



Far Westhorpe Farm
Design
+
Access Statement

24-001-030



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