

Copyright and Obligations:

Copyright for this drawing is vested in INK Architectural Design LTD from who written consent must be obtained prior to copying or reproducing. All work to comply with Planning and Building Regulations approved plans. Do not scale drawing, use dimensions and levels shown in metric and check all dimensions on site prior to commencing or ordering materials. IF IN DOUBT ASK. Any discrepancies should be reported immediately before proceeding. All materials to be used in strict accordance with manufacturer's instructions. Should a public sewer be found within 3m of the development it will be necessary to carry out works as requested by the Local Authority under the requirements of Section 25 of the Public Health Act 1936. The contractor should also agree the requirements for lighting, power, decorations and fittings with the client prior to tendering. Whilst every care is taken during the site survey, no responsibility is to be borne by INK Architectural Design LTD as to any expense incurred. Furthermore, the builder should estimate an allowance for such unknown operations. These works may need the involvement of a planning supervisor and a principal contractor under the Construction Design and Management Regulations. It is the responsibility of the owner/client to serve a notice on the adjoining or adjacent neighbours (if required) for the proposed works under the party wall act 1996 explanatory booklets can be obtained free of charge from the D.O.E. publications despatch centre, Blackhorse Road, London, SE9 6TT. Tel 01816919191 or fax 01816940099

House Type Schedule:

- PLOT 1 - 2 Bed semi-detached bungalow 59.2 m² / 637.22 ft²
- PLOT 2 - 2 Bed semi-detached bungalow 59.2 m² / 637.22 ft²
- PLOT 3 - 2 Bed detached bungalow 70.18 / 755.41 ft²
- PLOT 4 - 2 Bed detached bungalow 70.18 / 755.41 ft²

Private Driveway:

Private driveway to be 4m wide minimum

Carriageway to be finished in tarmacadam with charcoal colour kerb edging to either side

Driveways to individual dwellings to be finished in block paving (colour TBA)

Boundary Treatments:

--- 1.8m high vertical timber boarded fence

Landscaping:

All front and rear garden areas to be turfed. Select individual low level shrubs to be planted to each garden.

External Materials:

PLOT 1&2 External walls to be facing brick to match existing dwellings to surrounding area. Final specification TBC

PLOT 3,4 & GARAGE External walls to be course grit sandstone to match traditional walling to Monk Bretton Priory. Final specification TBC

New roof covering to be good quality artificial riven slates with matching ridges bed in mortar

Pointing to external walls to be recessed 2 to 3mm to gently concave (not strap pointed) to Plots 3,4 & Garage

Gutters to be ogee profile on rise and fall brackets with circular fall pipes to Plots 3,4 & Garage. PVC fascias and soffits to Plots 1&2. Rainwater goods to be black

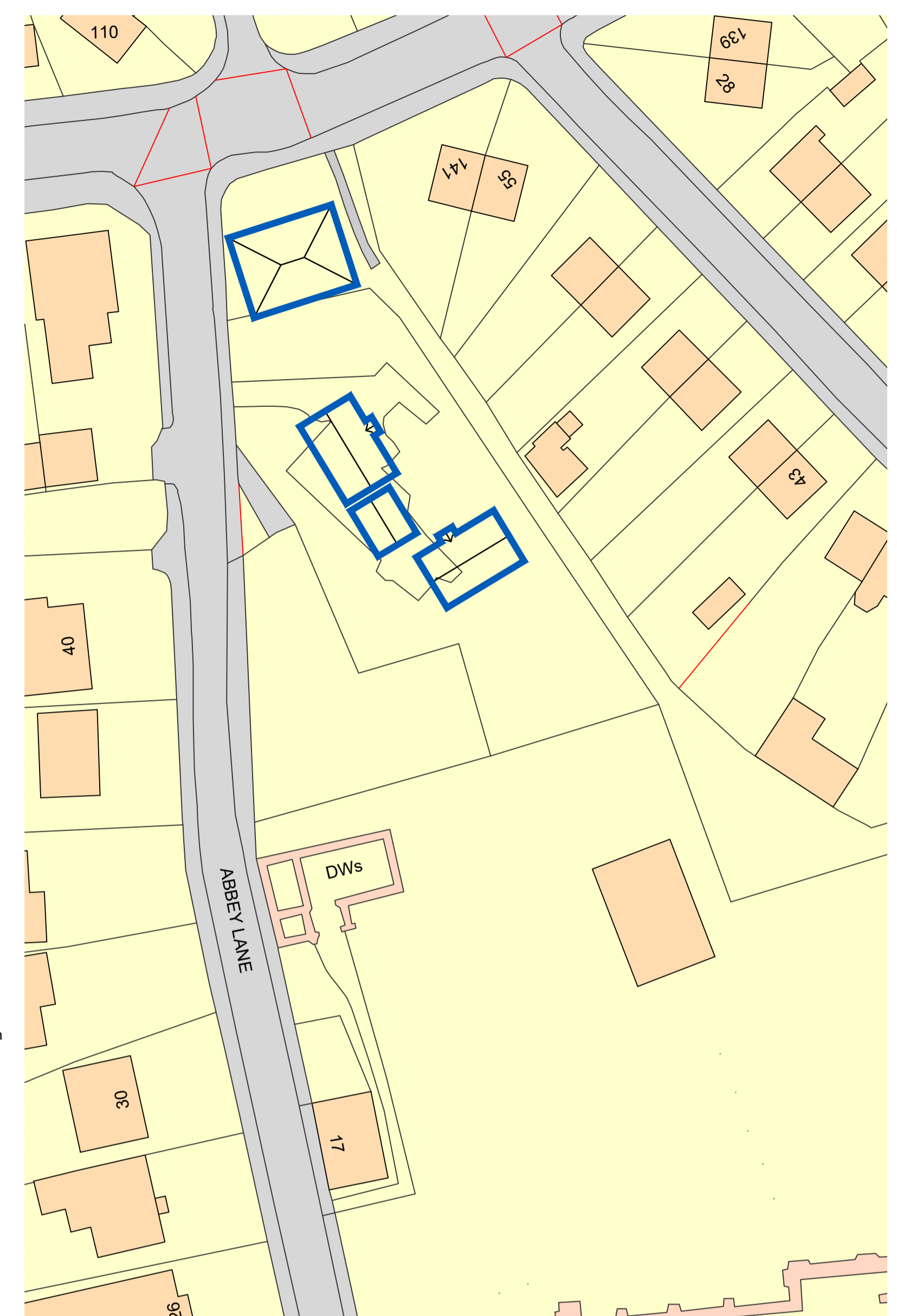
Windows, doors and frames to be mounted 75mm into the reveal and finished in RAL 7016 (anthracite) to plots 3,4 and Garage. Windows to Plots 1 & 2 to be white uPVC.

Drainage:

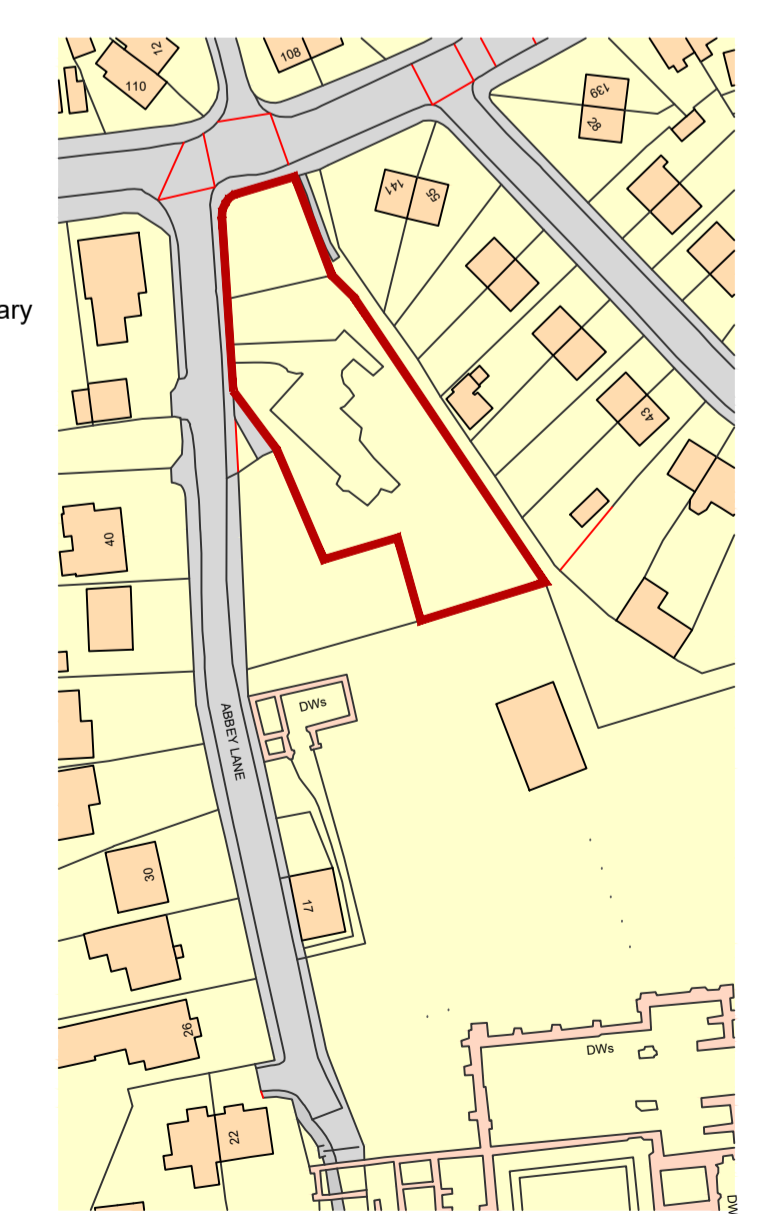
Foul water drainage is to discharge into the existing public foul sewers located in Abbey Lane
Surface water drainage to discharge into new soakaway construction within private driveway as shown.



Schematic Site Plan 1:200



Proposed Location Plan 1:500



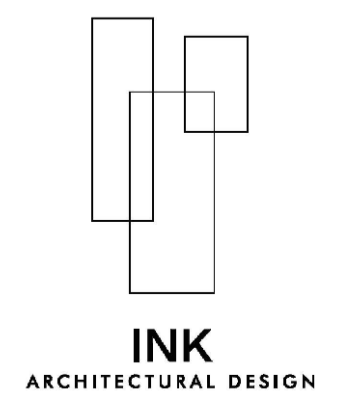
Existing Location Plan 1:1250

Rev	Note	Date
A	Amendment to provide 4no units in lieu of 5no	Aug 19

Project:	Proposed Residential Development Former Burton Grange Nursery Site Abbey Lane, Lundwood	
The Client:	A Shade Greener	
Drawing Title:	Scheme Site Layout Plan	
Drawing No / Rev:	19012-002	Rev A
Drawing Scale & Date:	As Shown	May 2019

John Mason
T: 07717 783828
E: inkarchitectural@gmail.com

24 Lower Pasture
Blaxton
Doncaster
DN9 3RF



PLANNING ISSUE