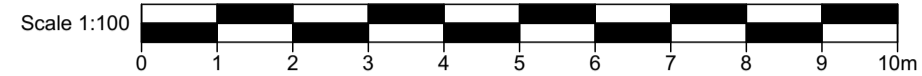
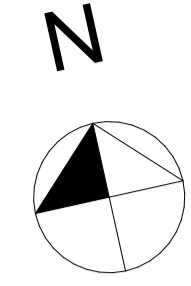


**NOTE**  
 Drawing use for status issued for only. Feasibility & Planning drawings are not intended for construction or manufacture. J Mahoney Architects Ltd cannot accept any responsibility for issues arising due to this.

All dimensions to be checked on site and any discrepancies to be notified prior to the commencement of work.

Do not scale from this drawing. If in doubt ask

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Approx Site Area as outlined in Red = 923.4 m<sup>2</sup> / 0.092 Ha

All areas estimated from land registry title SYK543328, OS data and subject to confirmation by land survey

Refer to Existing Utilities Site Plan (01)010 & Envirocheck Utilities Report for information about nearby utilities.

OS information shown purchased from Streetwise maps  
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Existing mature Ash tree. Refer to Tree Survey for details.  
 Existing red brick outhouses.  
 Existing raised flagged access route to High Street via rear of No.101

New external stepped access.  
 New flagged raised terrace. Colour: Buff  
 New perimeter stone flagged access route. Colour: Buff  
 New two storey extension with access & garage under.

Existing lawn area  
 Existing natural stone flagged walkway. Colour: Buff  
 Existing natural stone flagged patio. Colour: Buff  
 Existing ornamental pond  
 Existing part stone wall, part timber fence. Height approx. 1.8m  
 Existing natural stone retaining wall. Height varies 0.8-2.4m  
 Existing block paved driveway. Colour: Brindle  
 Existing double detached garage

Rev	Revision Notes	Date	Initial
D	Scheme amended following pre-application advice and client comments. Materials and notes added.	14/03/24	JFM
C	Rooflight added to proposed ensuite bathroom	05/11/23	JFM
B	External stair added to rear of extension to maintain access route via No. 103/105	04/12/23	JFM
A	Initial issue	02/11/23	JFM

status **PLANNING**

**J Mahoney Architects**  
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drg title  
**Proposed Site Plan**

date **November 2023** drawn **JFM**

scale **1:100** sheet **A1**

drwg no & revision  
**PNM-JMA-ZZ-00-DR-A-(01)101D**