

Application Reference: 2025/0348

Location: 50 Granville Street, Old Town, Barnsley, S75 2TQ

Introduction

This application seeks planning permission for the erection of a two-storey extension to the side and the erection of a single storey replacement porch to the rear.

Relevant Site Characteristics

This application relates to a large narrow plot located on the south side of Granville Street and in an area that is principally residential characterised by mixed two-storey dwelling types of varying scale and appearance.

The application property is a two-storey semi-detached dwelling constructed of red brick with a stone frontage and a pitched slate roof. The property benefits from an existing two-storey hipped and pitch roof projection and single storey pitch roof garage extension on its east side elevation which extends beyond the rear elevation of the dwelling into the rear garden. The property also benefits from a rear porch which is single storey with a pitch gable roof and constructed of brick and UPVC. The property is fronted by at least one off-street parking space. The site is bounded by stone and brick walls and timber fencing and vegetation.

Site History

Application Reference	Description	Status (Approve/Refuse)
B/03/1036/BA	Erection of a garage.	Approved.

Detailed Description of Proposed Works

The applicant is seeking planning permission for the erection of a two-storey side extension on the east elevation of the dwelling which would measure approximately 3.2 metres (L) x 1.8 metres (W) x 7.2 metres (H). This extension would adopt a slate hipped roof and would be constructed of closely matching brickwork.

The applicant is also seeking permission for the erection of a single storey replacement porch on the south elevation of the dwelling which would measure approximately 1.2 metres (L) x 2.7 metres (W) x 3.4 metres (H). This extension would adopt a moulded natural stone coping flat roof and would be constructed of closely matching brickwork.



GROUND FLOOR PLAN

GENERAL-

PLANNING:
 All proposed extensions and alterations are in accordance with the Planning Permission granted on 14/03/2023 for the proposed extensions and alterations to the existing building at 50 GRAMMIE STREET, OLD TOWN, BURGLEY, STS 27G.

MEASUREMENTS:
 All measurements are in millimetres unless otherwise stated.

LEVELS:
 All levels are in millimetres unless otherwise stated.

FINISHES:
 All finishes are to be as shown on the drawings unless otherwise stated.

CONSTRUCTION:
 All construction is to be in accordance with the Building Regulations and the relevant parts of the Building Code of Australia.

NOTES:
 1. All proposed extensions and alterations are to be constructed in accordance with the Building Regulations and the relevant parts of the Building Code of Australia.

FOUNDATION AND RETENTION:
 All foundations and retaining walls are to be constructed in accordance with the relevant parts of the Building Code of Australia.

ROOFING:
 All roofing is to be in accordance with the relevant parts of the Building Code of Australia.

CLADDING:
 All cladding is to be in accordance with the relevant parts of the Building Code of Australia.

GLAZING:
 All glazing is to be in accordance with the relevant parts of the Building Code of Australia.

MECHANICAL AND ELECTRICAL:
 All mechanical and electrical services are to be installed in accordance with the relevant parts of the Building Code of Australia.

HEATING AND COOLING:
 All heating and cooling systems are to be installed in accordance with the relevant parts of the Building Code of Australia.

WATER AND WASTE:
 All water and waste services are to be installed in accordance with the relevant parts of the Building Code of Australia.

SAFETY:
 All safety measures are to be in accordance with the relevant parts of the Building Code of Australia.

STRUCTURAL:
 All structural elements are to be designed and constructed in accordance with the relevant parts of the Building Code of Australia.

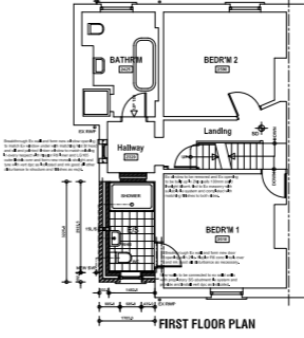
CONCRETE:
 All concrete is to be in accordance with the relevant parts of the Building Code of Australia.

STEEL:
 All steel is to be in accordance with the relevant parts of the Building Code of Australia.

WOOD:
 All wood is to be in accordance with the relevant parts of the Building Code of Australia.

GLASS:
 All glass is to be in accordance with the relevant parts of the Building Code of Australia.

OTHER:
 All other materials and finishes are to be in accordance with the relevant parts of the Building Code of Australia.



SIDE (W) ELEV

PROPOSED EXTENSIONS & ALTERATIONS
 50 GRAMMIE STREET, OLD TOWN,
 BURGLEY, STS 27G.

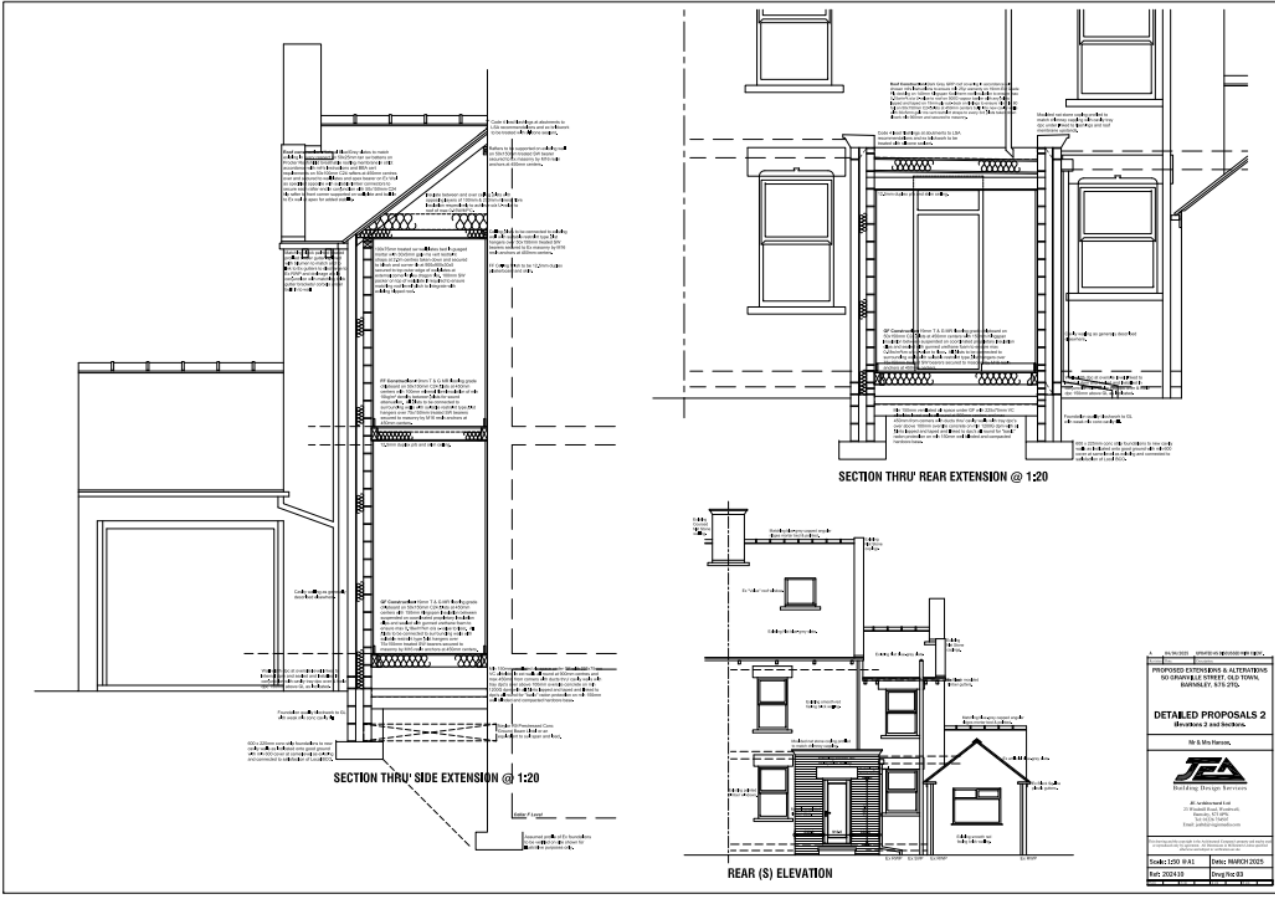
DETAILED PROPOSALS 1
 Plans & Elevations 1.

Mr & Mrs Horner.

TEA
 Technical Engineering Architects

14 Ashford Road
 14 Forest Road, Burwood
 Sydney, NSW
 2159

Scale: 1:50 (P.A.1) Date: MARCH 2023
 Ref: 2024/03 Drawing: 03



PROPOSED EXTENSIONS & ALTERATIONS
 50 GRAMMIE STREET, OLD TOWN,
 BURGLEY, STS 27G.

DETAILED PROPOSALS 2
 Sections 2 and Sections.

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Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. The following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy GD1: General Development.*
- *Policy D1: High quality design and place making.*
- *Policy T4: New Development and Transport Safety.*

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 2: Achieving sustainable development.*
- *Section 4: Decision-making.*
- *Section 12: Achieving well designed places.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *House extensions and other domestic alterations (Adopted March 2024).*
- *Parking (Adopted November 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

This planning application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 (as amended).

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. No representations have been received.

No statutory or non-statutory consultees were consulted on this application.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Impact on Neighbouring Amenity

The proposed two-storey extension would be erected on the east elevation of the dwelling and would be located to the west of the blank gable elevation of 48 Granville Street. This extension would adjoin an existing two-storey side projection and maintain its eaves and ridge height.

The proposed single storey porch would be erected on the south elevation of the dwelling and would be located to the west of 52 Granville Street. This extension would replace an existing porch with a similar rearward projection and height. Existing good quality boundary treatments would also provide some mitigation lessening the extent of any potential overshadowing impact to the west. An existing garage within the application curtilage would provide mitigation and lessen the extent of any potential impact to the east. As such, the proposal is not considered to contribute to a significantly increased level of overshadowing impact.

New windows would be located on the north elevation of the proposed two-storey extension and the east and west elevations of the proposed porch. Less than 21 metres would be maintained between the two-storey extension and the neighbouring properties opposite. However, the existing separation distance between dwellings would be maintained. Nevertheless, the ground and first floor windows to the proposed extension would serve a toilet and bathroom and therefore, to ensure the privacy of the occupant(s) of the application dwelling, the windows could be conditioned to be obscure glazed. A new first-floor hallway window would be located on the east elevation of the existing dwelling and would face the blank gable elevation of the adjacent neighbouring property. This window would serve a secondary purpose and would not affect the amenity of the occupants of the application dwelling. Views from the windows to the rear porch would be screened by an existing garage in the application curtilage and existing boundary fencing, therefore maintain privacy to a reasonable degree. As such,

the proposal is not considered to contribute to significant increased overlooking, loss of privacy or reduced outlook.

Adjacent neighbouring properties were notified, and no representations were received. Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and is considered acceptable regarding residential amenity.

Scale, Design and Impact on Character

The proposed extensions would adopt a modest scale and sympathetic form and features. The two-storey extension would adopt a width that would not be more than two thirds the width of the original dwelling and would maintain the eaves and ridge height of an existing two-storey projection which it would adjoin. It would also be set back from the main front wall of the dwelling and would adopt a hipped roof. The rear porch would adopt a scale similar to the existing porch and whilst a flat roof is not preferred, the rear porch is not visible from the surrounding public realm and would not impact the character of the street scene. Both extensions would be constructed of closely matching external materials.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and is considered acceptable regarding visual amenity.

Impact on Highways

The proposed development is not considered to be prejudicial to highway safety; existing off-street parking arrangements would not be impacted and would be maintained, and the proposal would not result in a requirement to provide additional spaces.

Considering the above, this is considered to weigh modestly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.

Planning Balance and Conclusion

In accordance with the provisions of paragraph 11 of the NPPF(2024), the proposal is considered in the context of the presumption in favour of sustainable development and therefore, for the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant local and national planning policies and guidance and planning permission should be granted subject to necessary conditions.

RECOMMENDATION: Approve subject to conditions.

Justification

Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of this application, as it was deemed acceptable.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and

the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.