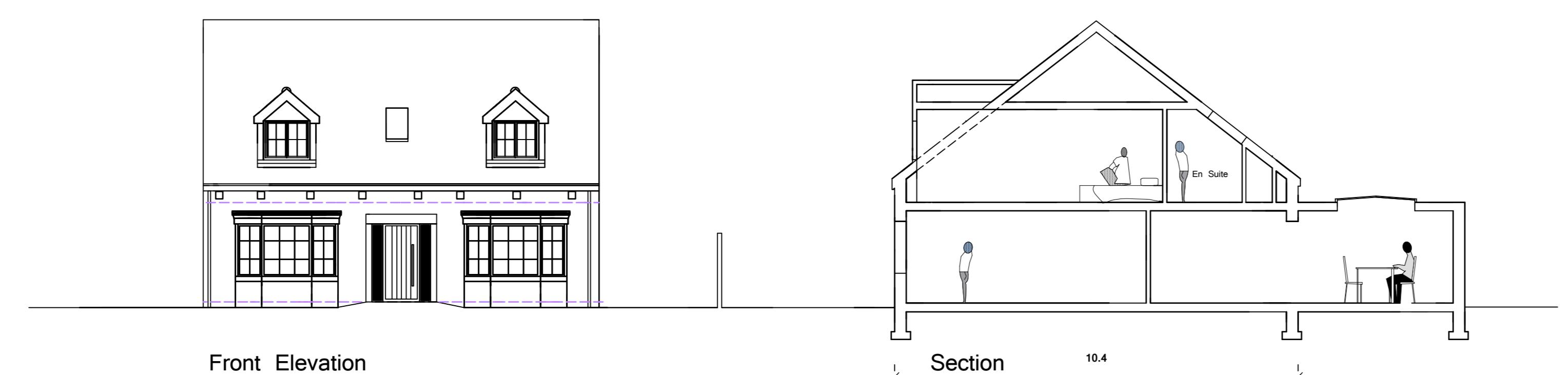


House Type D - Plot 18

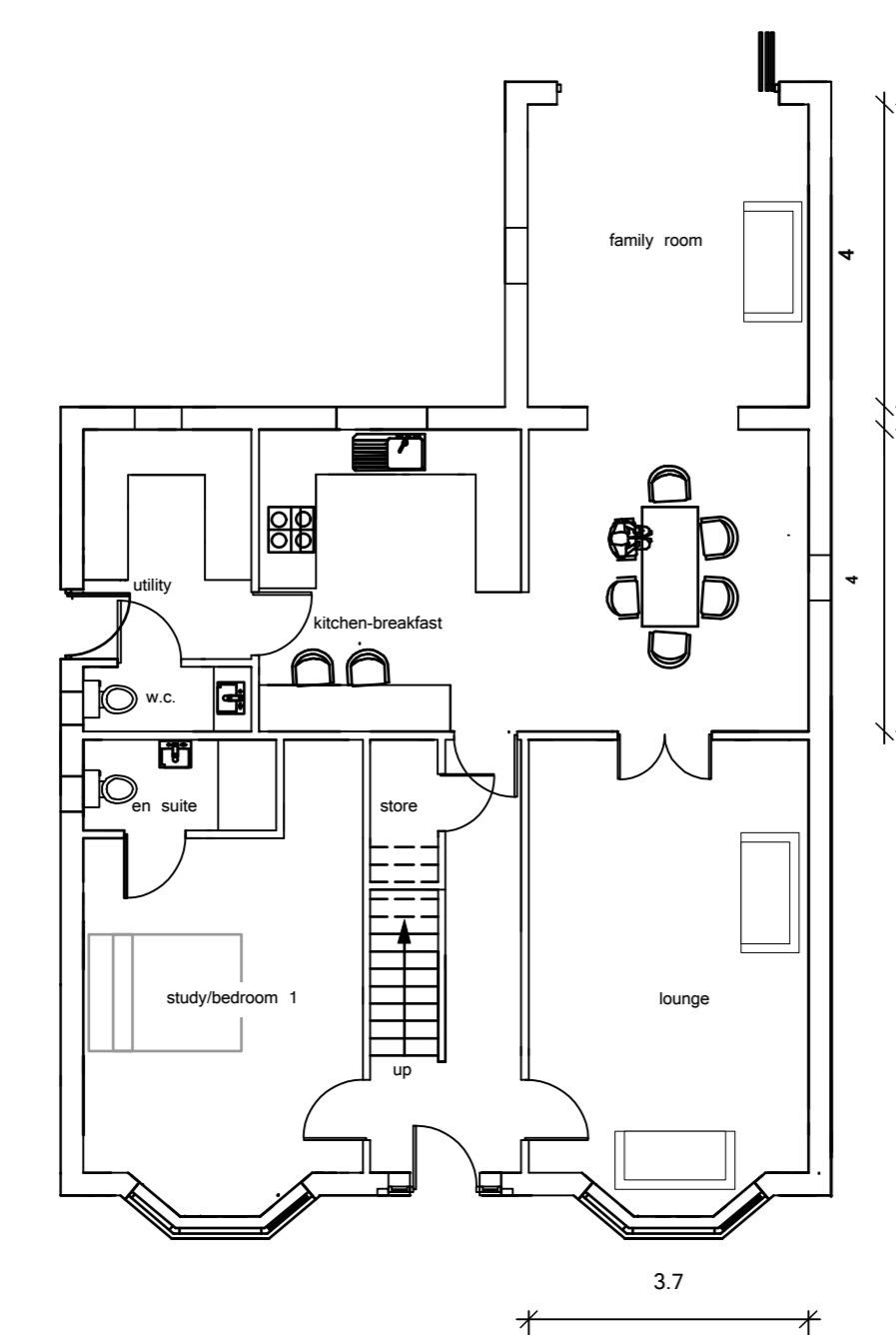
185 m² + Garage 18m²

0 2m

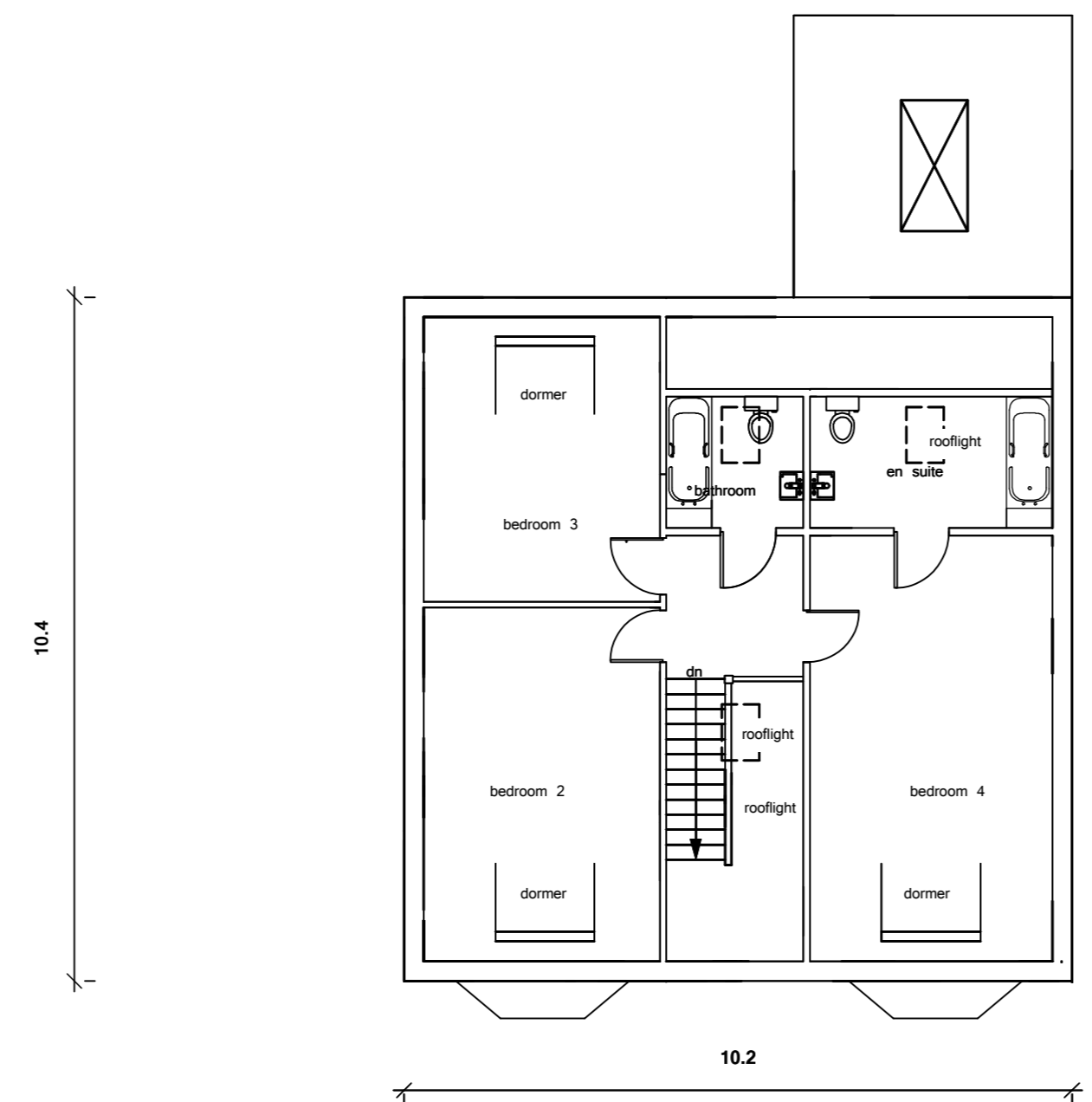


Front Elevation

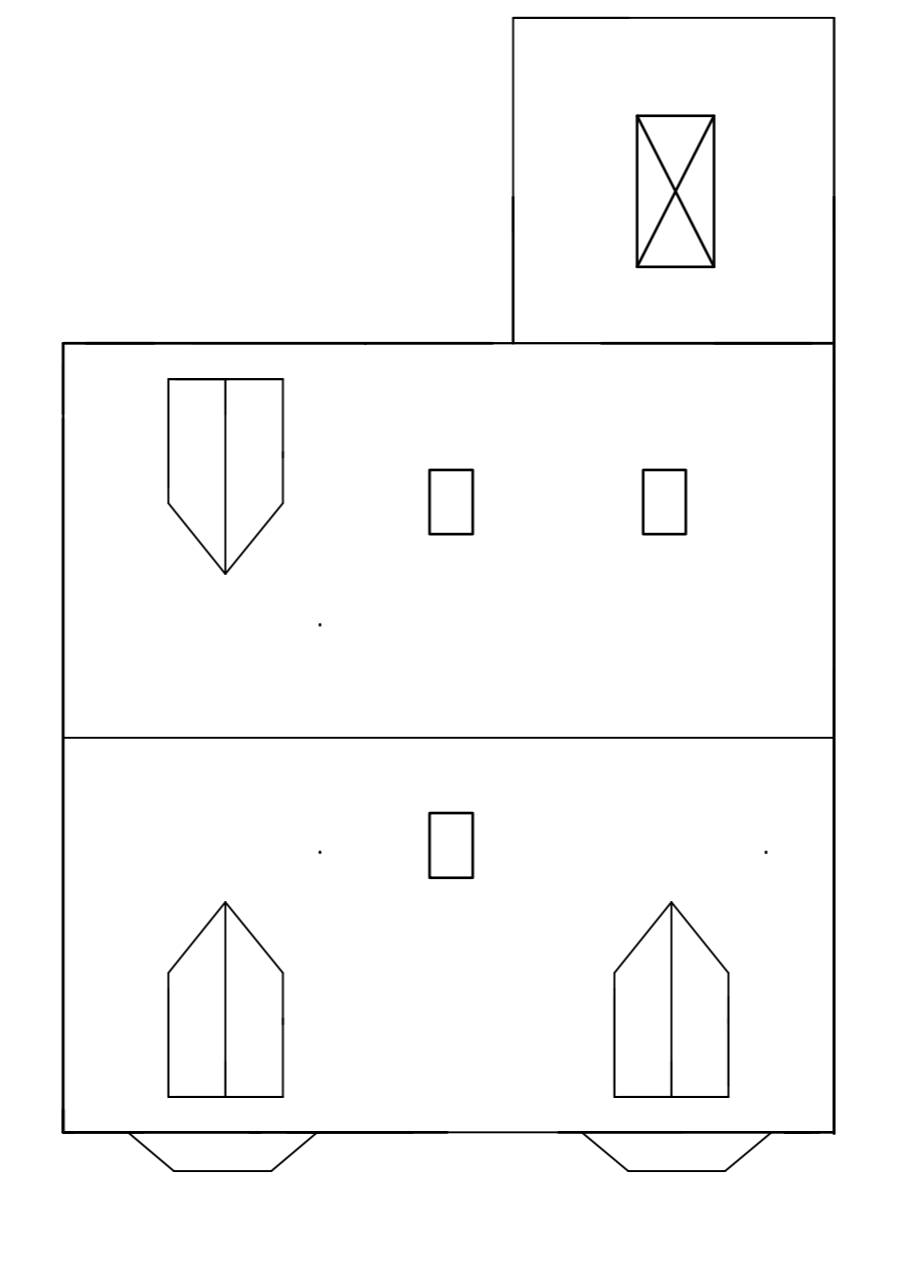
Section 10.4



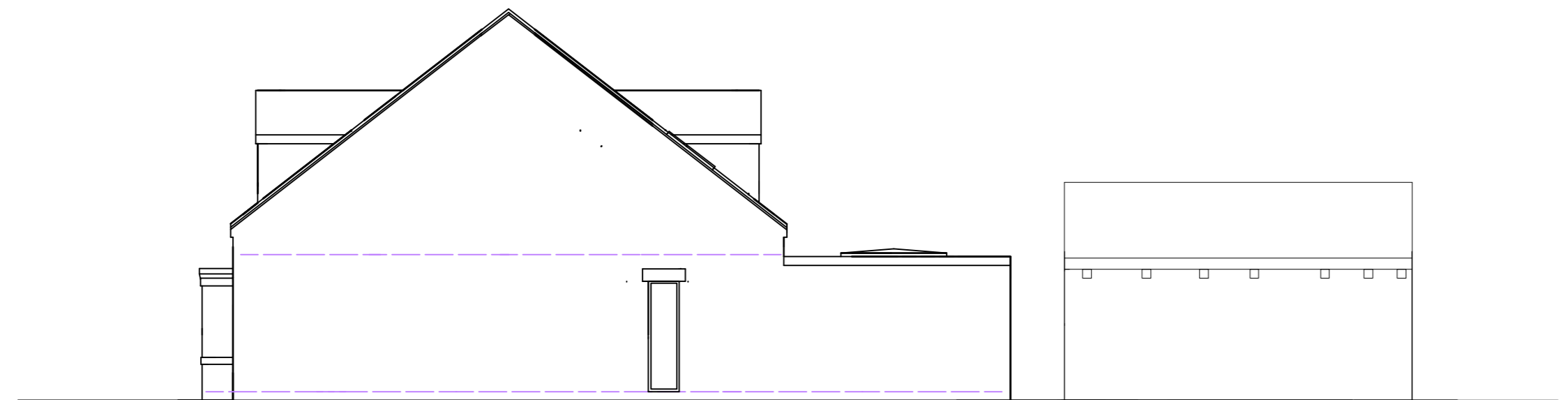
Ground



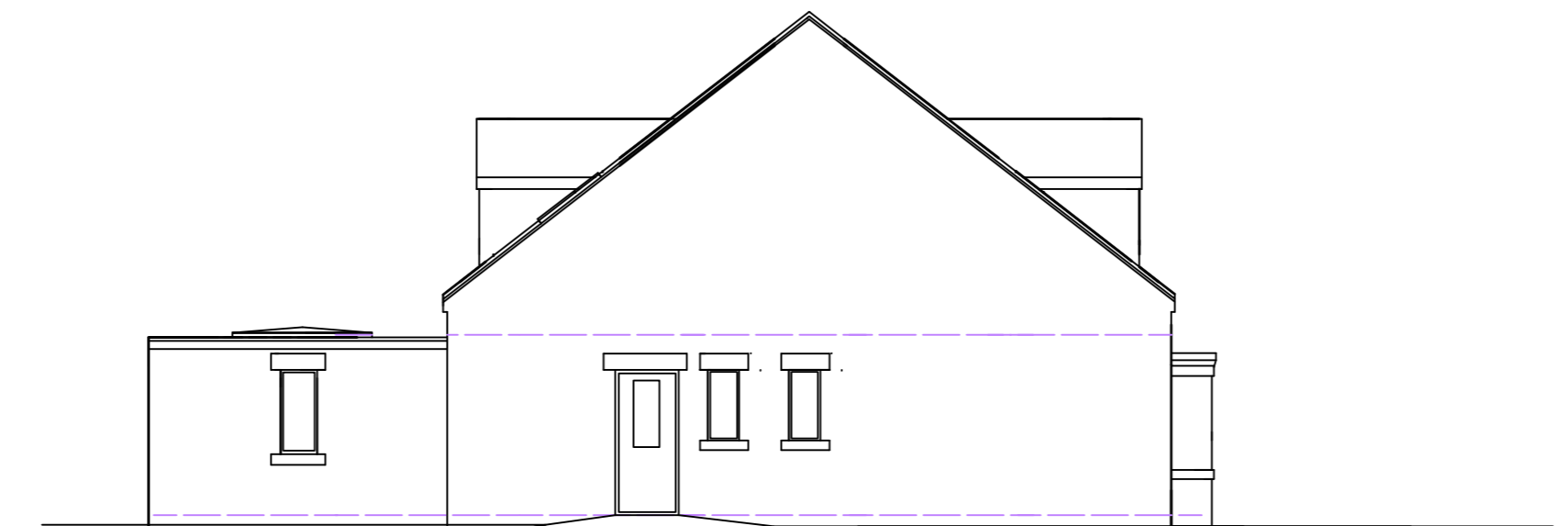
first



Roof



Side Elevation 1



Side Elevation (West)



Rear Elevation

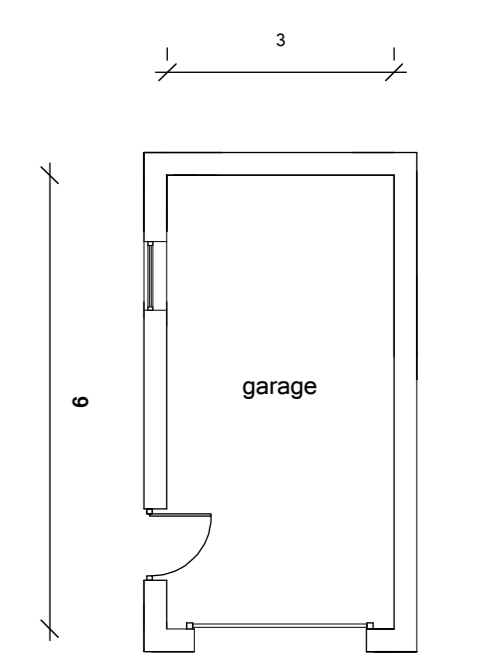
Notes

Walls
Stonefacing brick To Be Agreed With Planning Officer
stone heads
projecting stone sill

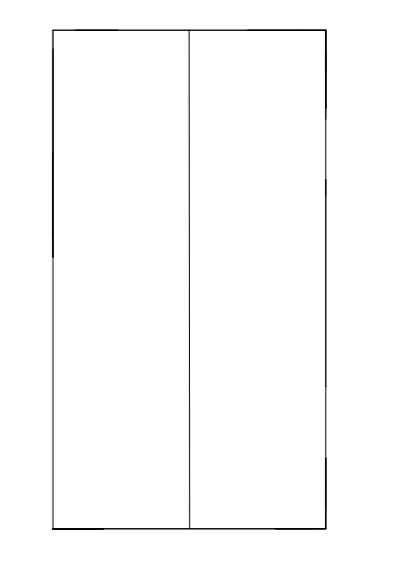
Roof
Birkdale or Thrusone
conservation rooflight
Steel Metal Cans Or Stormguard Aluminium
Half Round Gutter

Windows
Residence Collection Or Similar
Upsc Flush Fitting Casements
Detailing To Be Repeated Across Window Types.
Windows Set Back 50mm In Reveal
RAL Number To Be Agreed

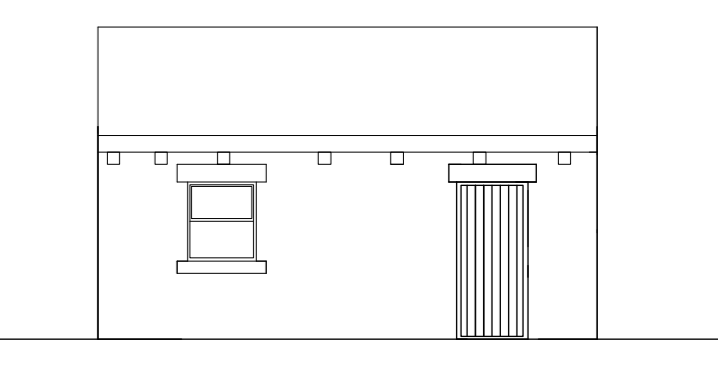
All Soil And Vent Pipes To Be Internal



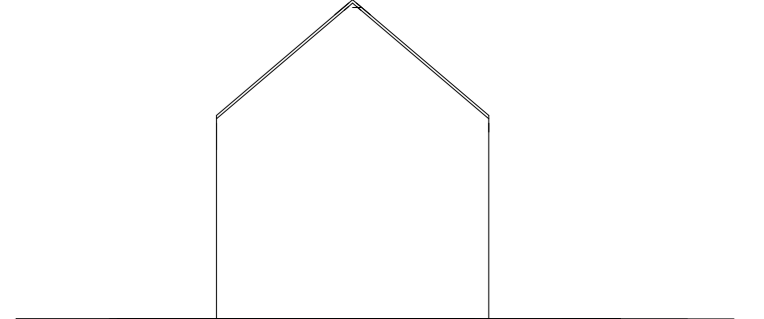
plan



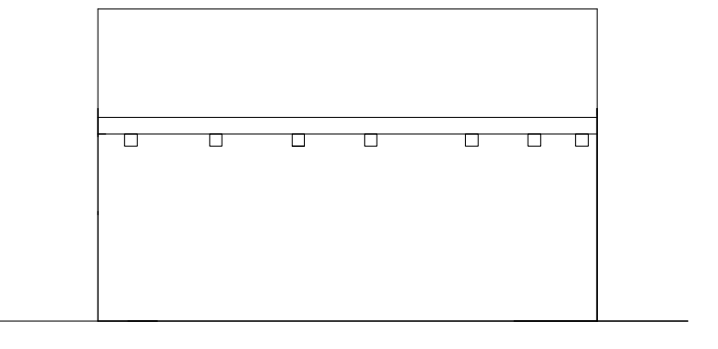
roof



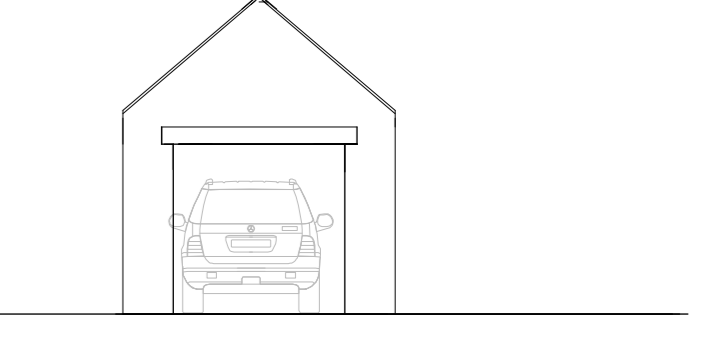
garage side (West) elevation



garage rear elevation



garage side elevation



garage front elevation

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The Drawing Will Not Be Assigned To Any Third Party.

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No Work To Be Carried Out Without Planning Permission, Use Of The Site Without Conditions Has Been Granted AND USE A Building Regulations Application Has Been Submitted. Any Work Carried Out Before Building Regulations Approval Has Been Granted Will Be Treated As Cloned Over Risk.

Principal Contractor/Contract Manager Is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control.

Any Building Works Within Six (6) Neighbouring Hours Foundations May Require You To Notify The Owner Of That Property Of Your Intention. At Least One Month Before The Start Date.

Work To An Existing Party Wall Requires You To Give At Least Two Months Notice Of Your Intention. If Consent To Carry Out Work Cannot Be Reached Provisions Governing This A Dispute Should Be Followed (The Party Wall Act 1999).

It Is The Responsibility Of The Principal Contractor To Notify The Architect Of Any Discrepancies On The Drawing Prior To Construction.

All Drawings To Be Checked On Site If It Shows Any.

NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY'S

REV	REVISION NOTE	DATE	LAB
		2017-03	

Andrew Bailey Architect	PADDOCK ROAD PHASE 2-3	JOB NO. CLIENT: RHM PROPERTIES LTD	DATE JULY 2022	SCALE 1:100 AT A
	DRAWING TITLE: PLANS SECTION AND ELEVATIONS	DRAWN BY: JMS	CHECKED BY: JMS	RHM PROPERTIES LTD
RIBA #	WORK STAGE: 4 - DEVELOPED DESIGN	DRAWN BY: JMS	CHECKED BY: JMS	DATE:

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