

Application Reference: 2026/0223.

Location: 6 Vicarage Lane, Royston, Barnsley, S71 4QY.

Introduction

This application follows a grant of planning permission under planning application 2025/0473 for the removal of garages, removal of a rear porch, re-roof, erection of a single storey side extension, the erection of a one and a half storey rear extension with recessed balcony, the installation of 4no. side dormer windows and rendering of the property.

This application seeks planning permission for the removal of garages, removal of a rear porch, re-roof, erection of a single storey side extension, the erection of a one and a half storey rear extension with recessed balcony, the installation of 3no. side and 1no. front dormer windows, rendering of the property, and cladding of the front gable of the existing dwellinghouse.

The proposed changes between 2025/0473 and this current planning application include the removal of one blank dormer window on the north-east side elevation, the installation of glazing to one blank dormer window on the south-west side elevation, the installation of a front dormer window to enclose an existing balcony, and the installation of cladding to the front gable.

It is the proposed changes that are under consideration as all other elements as approved under the application 2025/0473 remain unchanged.

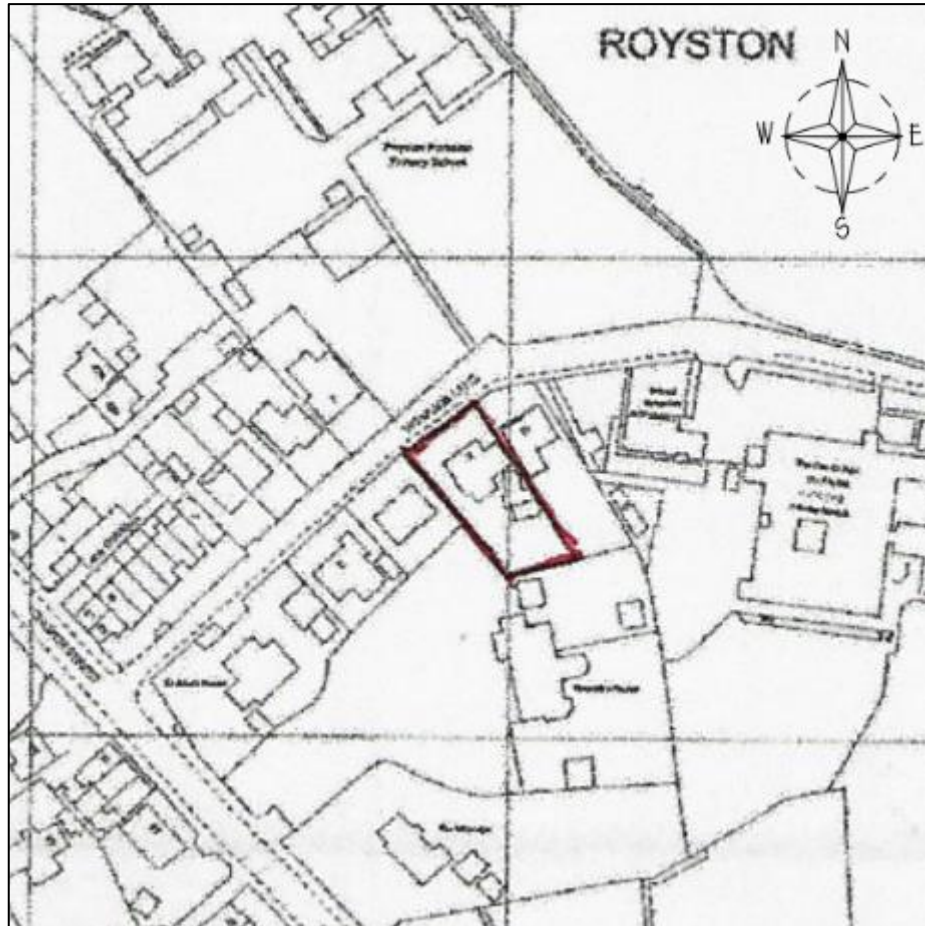
Relevant Site Characteristics

This application relates to a modest sized plot located on the south side of Vicarage Lane opposite the southern access to Royston Parkside Primary School. The Royston St John the Baptist Church of England Primary School is located to the east and St John the Baptist Parish Church – a grade I-listed building is located to the south-east. Vicarage Lane is also a public right of way (footpath 16) which provides routes through Royston Park to the north-east and a nearby residential estate to the south-east. The surrounding area is principally residential in nature and characterised by two-storey detached, semi-detached and terraced dwellings of varying scale and appearance. The two adjacent neighbouring properties feature flat roof dormer windows on their frontages.

The application property is a one and a half storey detached dwelling constructed of stone and brick largely painted white with a combination concrete tiled roof. The property is fronted by an enclosed garden bounded by a stone wall. The dwellinghouse benefits from an existing single storey pitched roof extension on the east elevation. There is a vehicular access and driveway to the west within the site which extends to the rear, and to the rear is an existing single storey porch extension, first floor balcony and a few detached outbuildings set within a garden that is a mix of grass and hardstanding areas. The rear garden is bounded by hedges and some mature tree specimens, some of which are within neighbouring curtilages and protected.

Some works have commenced to implement the development approved under 2025/0473.

Site



History

B/80/0590/RO	Erection of one dwelling.	Approved.
B/04/1835/RO	Erection of single storey side extension.	Approved.
2021/0804	Alterations to dwelling consisting of first floor extensions on both sides and rear, front and rear facing dormer window extensions, altered roof configuration, single storey rear and front porch extensions and changes to the external facing materials.	Refuse.
2022/0099	Alterations and extensions to the dwelling including first floor extensions to the front and side, single storey and 1.5 storey extensions to the rear, front and rear facing dormer window extensions, front porch extensions and changes to the external facing materials. (Amended Plans).	Approved.
2025/0473	Removal of garages, removal of rear porch, re-roof, erection of single storey side extension, erection of one and a half storey rear extension	Approved – 21/8/2025

with recessed balcony,
installation of 4no. side
dormer windows and
rendering of property
(Amended Description).

Detailed Description of Proposed Works

This application seeks planning permission for the removal of garages, removal of a rear porch, re-roof, erection of a single storey side extension, the erection of a one and a half storey rear extension with recessed balcony, the installation of 3no. side and 1no. front dormer windows, rendering of the property, and cladding of the front gable of the existing dwellinghouse.

The proposed changes between 2025/0473 and this current planning application include the removal of one blank dormer window on the north-east side elevation, the installation of glazing to one blank dormer window on the south-west side elevation, the installation of a front dormer window to enclose an existing balcony, and the installation of cladding to the front gable.

It is the proposed changes that are under consideration as all other elements as approved under the application 2025/0473 remain unchanged.

BALCONY
Flooring to be finished on 150mm bearing grade
columns on brick base, raised on per roof, with 100mm
insulation to be 1.1m high with max 100mm gap

STUD WALL CONSTRUCTION
stud walls to be 100x50 or walling with 100x50w
singles & 600mm c/c with 100x50w side &
lead plaster.
100mm insulation split between, with 125mm
p/s & 10mm air seal & 125mm ply over side

EXTENSION ROOF CONSTRUCTION
Main Roof to be Blue Stone Tiles, 15% to suit pitch, every 10' to be nailed on 25x25
or barrow or untreated, finished 60 to 80 747 on proprietary roof trusses
& 307 pitch & 600mm c/c with 25x100 or horizontal bracing & ceiling
joins, ridge & eave rafters, diagonal bracing from ridge to eaves in all sides.
Trusses fixed over existing flat roof in to 100x75 or walling but down
with no, battens over rafters & 150mm c/c, battens over rafters, battens
straps fixed over rafters & 300 rafters & ceiling joins & 150mm c/c in both sides wall.
All bracing to be 100x50, 400mm insulation split over 4' 10" & 200mm
between floor joins with 125mm p/s & 10mm air seal, with 200mm over
air gap required at eaves with 100mm ply to rafters, covered with 150mm
wood, full length of all eaves, 175x25 or fascia board, 100mm ply soffit board,
100mm ply per guttering, underlaid into 100mm ply per PAF.
Conditioned approval required, details & date to be approved prior to installation
on site.

METHEANICAL VENTILATION
All bathroom & w.c. to have mechanical extractor fans,
ducted to external air in place 15' from air change,
connected to approved duct. Check norms.
Kitchens to have 60' from air change,
sitting to have 30' from.

DORMER ROOF CONSTRUCTION
Main Roof to be Blue Stone Tiles, 15% to suit pitch, every 10' to be nailed on 25x25
or barrow or untreated, finished 60 to 80 747 on proprietary roof trusses
& 307 pitch & 600mm c/c with 25x100 or horizontal bracing & ceiling
joins, ridge & eave rafters, diagonal bracing from ridge to eaves in all sides.
Trusses fixed over existing flat roof in to 100x75 or walling but down
with no, battens over rafters & 150mm c/c, battens over rafters, battens
straps fixed over rafters & 300 rafters & ceiling joins & 150mm c/c in both sides wall.
All bracing to be 100x50, 400mm insulation split over 4' 10" & 200mm
between floor joins with 125mm p/s & 10mm air seal, with 200mm over
air gap required at eaves with 100mm ply to rafters, covered with 150mm
wood, full length of all eaves, 175x25 or fascia board, 100mm ply soffit board,
100mm ply per guttering, underlaid into 100mm ply per PAF.
Conditioned approval required, details & date to be approved prior to installation
on site.

WALL CONSTRUCTION
stud walls to be 100x50 or walling with 100x50w
singles & 600mm c/c with 100x50w side &
lead plaster.
100mm insulation split between, with 125mm
p/s & 10mm air seal & 125mm ply over side

EXTENSION FOUNDATIONS
as foundation to be exposed if required to check
adequacy of proposed foundation
600x750 conc. strip footing min 750mm deep
or below main level 700mm full length up to g/c
at excavation to satisfaction of BCC, with regard
to stability.
If existing foundation are strip footings, to be checked on site

ROOF CONSTRUCTION
Main Roof to be Blue Stone Tiles, 15% to suit pitch, every 10' to be nailed on 25x25
or barrow or untreated, finished 60 to 80 747 on proprietary roof trusses
& 307 pitch & 600mm c/c with 25x100 or horizontal bracing & ceiling
joins, ridge & eave rafters, diagonal bracing from ridge to eaves in all sides.
Trusses fixed over existing flat roof in to 100x75 or walling but down
with no, battens over rafters & 150mm c/c, battens over rafters, battens
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wood, full length of all eaves, 175x25 or fascia board, 100mm ply soffit board,
100mm ply per guttering, underlaid into 100mm ply per PAF.
Conditioned approval required, details & date to be approved prior to installation
on site.

GENERAL NOTES
All existing dimensions, if drawn to scale, to be checked on site prior to commencement.
All work to comply with current B. Reg. &
BS&C water or not specified on day.

PLANS, SECTION & ELEVATIONS
11/01/2024 SEPT 23 Rev. G
Peter Thompson
1, Linsford
Barnsley Road
Doncaster
S80 2JY, S. E. 01773 617170
e mail peter.thompson@aol.com

Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. The following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy D1: High quality design and place making.*
- *Policy HE1: The Historic Environment.*
- *Policy HE3: Developments affecting Historic Buildings.*
- *Policy GD1: General Development.*
- *Policy POLL1: Pollution Control and Protection.*
- *Policy T4: New Development and Transport Safety.*

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 2: Achieving sustainable development.*
- *Section 4: Decision-making.*
- *Section 12: Achieving well designed places.*
- *Section 16: Conserving and enhancing the historic environment.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *House extensions and other domestic alterations (Adopted March 2024).*
- *Parking (Adopted November 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Planning (Listed Buildings and Conservation Areas) Act 1990

- *Section 16: Decision on application.*
- *Section 66: General duty as respects listed buildings in exercise of planning functions.*

Representations

This planning application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 (as amended).

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No representations have been received.

Consultations

Forestry Officer – The submitted arboricultural assessment was reviewed as part of the previous permission. This development should be undertaken in accordance with that document.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale unless the NPPF establishes a specific weight:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Scale, Design and Impact on Character

The proposed changes between 2025/0473 and this current planning application include the removal of one blank dormer window on the north-east side elevation, the installation of glazing to one blank dormer window on the south-west side elevation, the installation of a front dormer window to enclose an existing balcony, and the installation of cladding to the front gable.

It is the proposed changes that are under consideration as all other elements as approved under the application 2025/0473 remain unchanged. The previous assessment made in relation to the potential impact on visual amenity established under application 2025/0473 remains valid, and the unchanged elements of the proposal continue to be considered acceptable.

The proposed installation of glazing to a blank dormer window that would be installed on the south-west side elevation as approved under application 2025/0473 would not materially alter its scale and appearance. This proposed change is therefore considered acceptable.

The proposed installation of a front dormer window to enclose an existing first-floor balcony located on the north-west elevation would reflect the Council's adopted design guidance in that the proposed dormer window would adopt a modest scale and a pitched roof and would be constructed with sympathetic materials. Moreover, it is not considered that the proposed dormer window would significantly alter or detract from the character of the street scene given that adjacent neighbouring properties to the north-east and south-west benefit from much larger, flat roofed dormer windows to the front. This proposed change is therefore considered acceptable.

The proposed cladding of the front gable on the north-west elevation of the dwellinghouse would not appear as an overtly dominant nor prominent feature when viewed in the context of the proposal as a whole and the existing street scene character where the existing material palette is varied. As such, the proposed cladding represents a minor element of the proposed scheme that is not considered to significantly alter nor detract from the character of the dwellinghouse or street scene. The cladding would also complement the proposed dormer windows which incorporate similar materials. As such, this proposed change is considered acceptable.

Considering the above in conjunction with the assessment undertaken under application 2025/0473, the proposal would retain some existing character whilst introducing additional sympathetic elements that would not appear overtly dominant or prominent and would not detract from the character of the existing property or street scene.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and Local Plan Policy HE1: The Historic Environment and is considered acceptable regarding visual amenity.

Impact on Neighbouring Amenity

The proposed changes between 2025/0473 and this current planning application include the removal of one blank dormer window on the north-east side elevation, the installation of glazing to one blank dormer window on the south-west side elevation, the installation of a front dormer window to enclose an existing balcony, and the installation of cladding to the front gable.

It is the proposed changes that are under consideration as all other elements as approved under the application 2025/0473 remain unchanged. The previous assessment made in relation to the potential impact on residential amenity set out under application 2025/0473 remains valid, and the unchanged elements of the proposal continue to be considered acceptable.

It is not considered that the proposal would contribute to significant overshadowing, overlooking and loss of privacy, or reduced outlook impacts which may otherwise adversely affect the amenity of the occupants of the application and neighbouring properties.

The proposed installation of glazing to a blank dormer window that would be installed on the south-west side elevation as approved under application 2025/0473 is not considered to lead to significant increased overlooking and loss of privacy or reduced outlook as the windows would face toward the blank gable elevation of 4 Vicarage Lane and the existing separation distance between the adjacent neighbouring dwellinghouse and the application dwellinghouse would be maintained. Moreover, the adjacent neighbouring properties were notified; and no objections were received.

The proposed installation of a front dormer window to enclose an existing first-floor balcony located on the north-west elevation would achieve a satisfactory separation distance (21 metres or more) to the neighbouring dwellinghouse opposite in accordance with adopted design guidance.

Considering the above in conjunction with the assessment undertaken under application 2025/0473, the proposal is considered acceptable regarding potential impact on residential amenity.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and Local Plan Policy POLL1: Pollution Control and Protection and is considered acceptable regarding residential amenity.

Impact on Highways

The proposed development is not considered to be prejudicial to highway safety as existing off-street parking arrangements would not be significantly impacted and at least two off-street parking spaces would be maintained within the development site.

Considering the above, this is considered to weigh modestly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.

Planning Balance and Conclusion

In accordance with the provision of paragraph 11 of the NPPF (2024), this proposal is considered in the context of the presumption in favour of sustainable development.

For the reasons given above, and taking all other matters into consideration, this proposal complies with the relevant local and national planning policies and guidance and planning permission should be granted subject to necessary conditions.

RECOMMENDATION: Approve subject to conditions.

Justification

Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of this application, as it was deemed acceptable.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions:

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.

2. The development hereby approved shall be carried out strictly in accordance with the amended plans:

Site and Location Plans.

Phase 2 Pre-development Arboricultural Report prepared by Wharnccliffe Trees and Woodland Consultancy dated 13th August 2025 (Submitted under application 2025/0473).
Plans, Section and Elevations Rev. G.

and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1: High Quality Design and Place Making.

3. The external materials shall match those specified by the approved documents listed above.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1: High Quality Design and Place Making.

4. Construction or demolition-related activity shall only take place between the hours of 08:00 to 18:00 Monday to Friday and 09:00 to 14:00 on Saturdays and at no time on Sundays or Bank Holidays.

Reason: To reduce or remove adverse impacts on health and the quality of life, especially for people living and/or working nearby, in accordance with Local Plan Policy POLL1: Pollution Control and Protection.

Informative(s):

5. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

6. A public right of way (Royston FP 16) runs along the road adjacent to the proposed development site. Safe public access on the right of way should remain available at all times, with no obstruction of or encroachment onto the width of the path and no building debris, storage of materials or parked vehicles limiting access at any time. Appropriate measures should be taken to protect the public, including fencing if necessary. If safe public access is not possible at any time, then a temporary closure should be arranged, providing at least 4 weeks' notice and details of how public access will be managed. For further information contact publicrightsofway@barnsley.gov.uk.
7. It is recommended that measures are taken to prevent a nuisance/ or effect the quality of life of local residents. Please note that the Council's Pollution Control Team have a legal duty to investigate any complaints about noise, smoke or dust. No waste should be burnt. If a statutory nuisance is found to exist, they must serve an Abatement Notice under the Environmental Protection Act 1990. Failure to comply with the requirements of an Abatement Notice may result in a fine of up to £20,000 upon conviction in Magistrates' Court. It is therefore recommended that you give serious consideration to the steps that may be required to prevent a noise, dust or smoke nuisance from being created.

8. The applicant/contractor should note that to deposit mud/debris on the public highway, or anything which may cause a nuisance or possible danger to road users, is an offence under provisions of the Highways Act 1980.