

Naylor Concrete Products

NCBG-MWA-XX-XX-RP-A-0002

Planning Statement

Proposed Enclosure for Manufacturing of
Concrete Products

Whaley Road

Barugh Green

Barnsley



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I. Introduction

This statement has been prepared by Martin Walsh Architectural in support of an application for the erection of an industrial unit by Naylor Concrete Products. This statement will identify relevant planning policy, describe the proposal, and conclude on the acceptability of the proposals.

2. Application Documents

In addition to this statement, also submitted:

- Complete set of drawings including Location Plan
- Flood Risk Assessment
- Drainage Strategy
- Phase 1 & 2 Reports (combined)
- Transport Statement
- Preliminary Ecological Appraisal
- Biodiversity Assessment (and associated information)
- Design & Access Statement

3. Site Location & Description

The approximate site is highlighted on the image below:

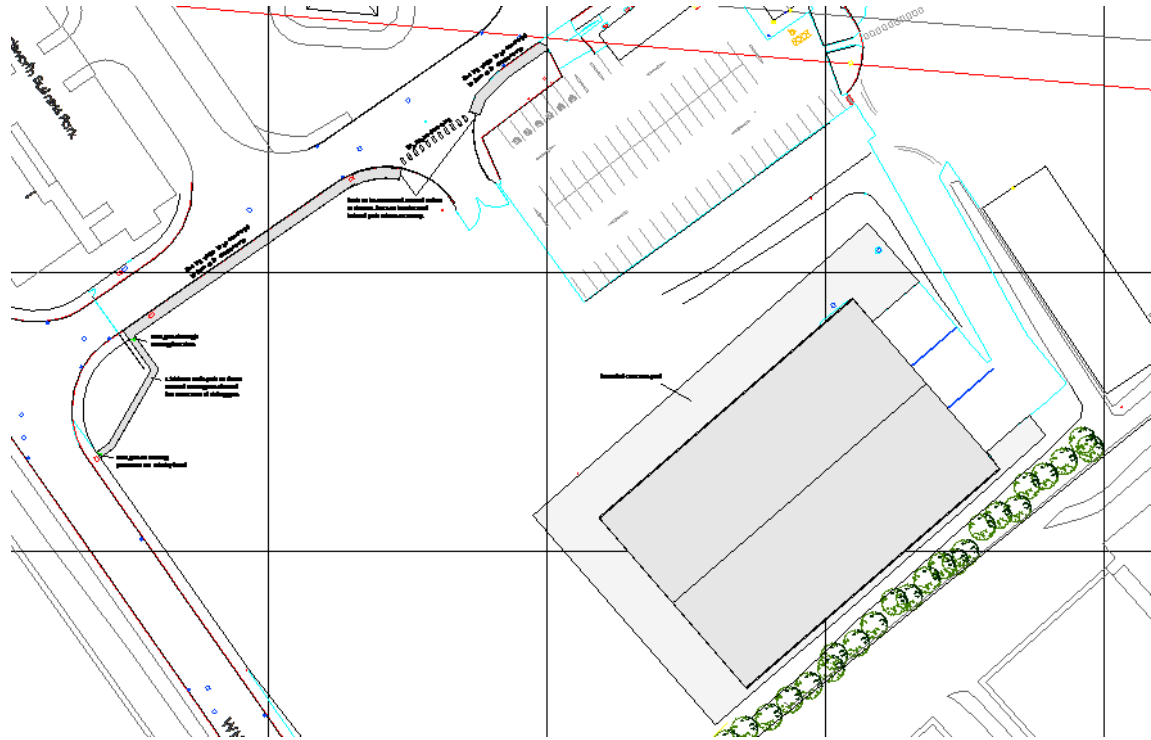


The main application site is to the south-east of the wider site and currently houses older structures used for manufacture of concrete products using moulds, in the same way the proposed unit will do, but the building is not fit-for-purpose.

The additional red lined area to the north-west of site traces a new safe access pathway into site from Whaley Road.

4. The Application

It is proposed to demolish the existing 3no. 'Nissen hut' type structures and erect a stand-alone purpose-built unit as per images below.



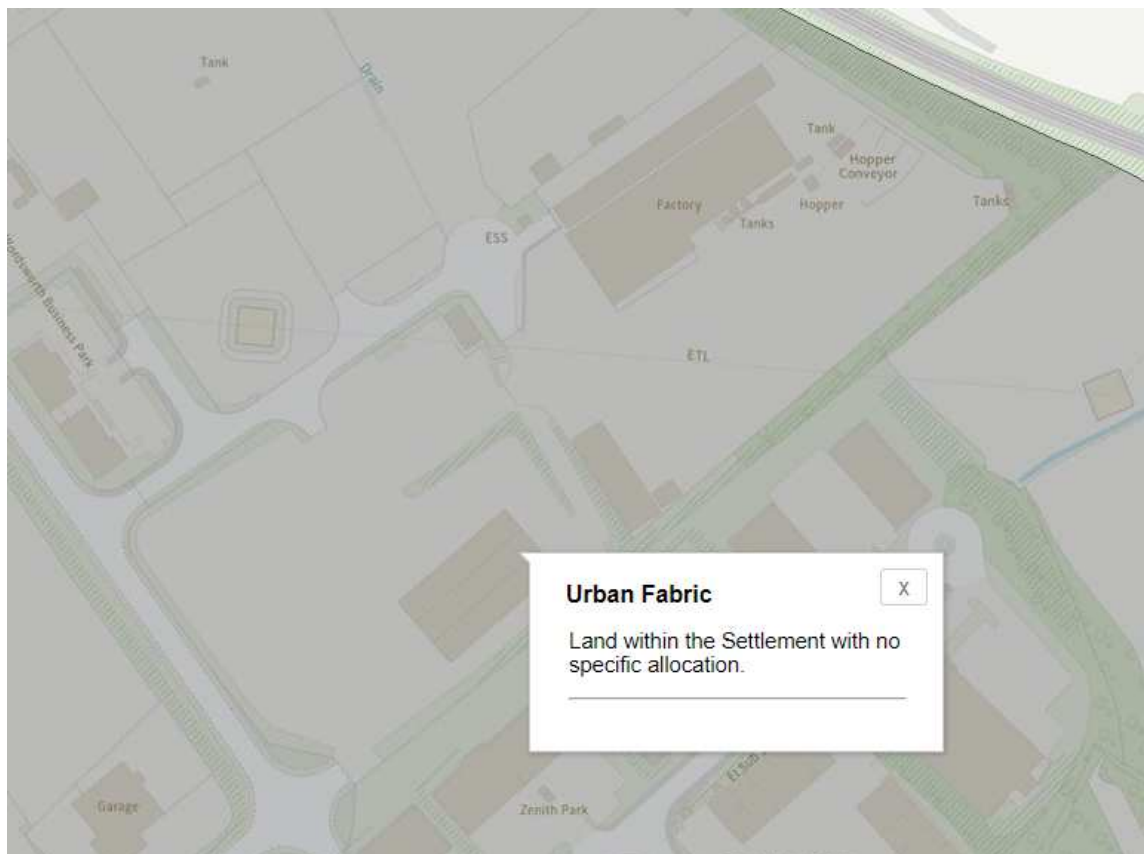
5. Relevant Planning Policy

Areas of National and Local Planning Policy have been identified as relevant to this development.

5.1. Principle of Development

5.1.1. Local Plan

Barnsley Local Plan shows the site as washed over in grey representing 'Urban Fabric - Land within the Settlement (*Urban Barnsley*) with no specific allocation' as shown on the extract below:



The site has a long-established industrial use and is located within South Yorkshire (*Redbrook*) Industrial Estate. Therefore, in principle, the proposed development is considered acceptable.

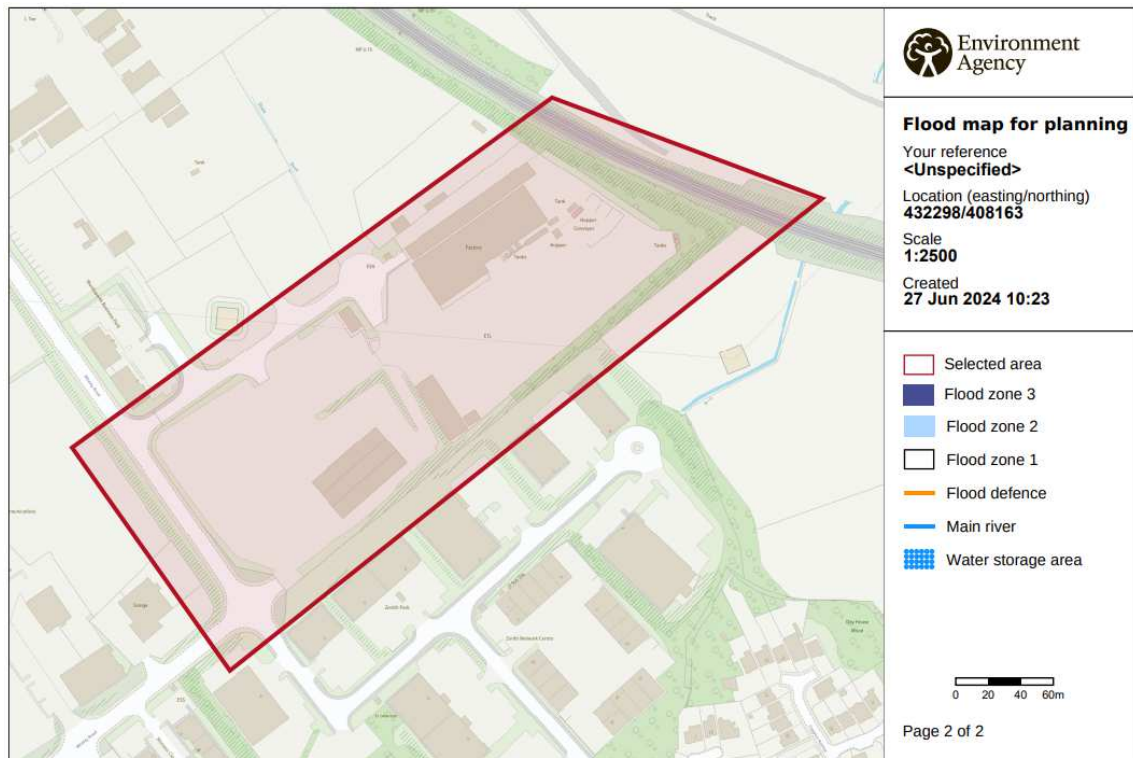
5.1.2. National Planning Policy Framework

Paragraph 85 (Section 6 – *Building a strong, competitive economy*) of the NPPF supports the above in stating:

85. *Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.*

6. Flood Risk

The site lies within Flood Zone 1 and therefore has a low probability of flooding. Nevertheless, a Flood Risk Assessment has been prepared and is submitted as part of this application.



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Flood map for planning

Your reference
<Unspecified>

Location (easting/northing)
432298/408163

Created
27 Jun 2024 10:23

Your selected location is in flood zone 1, an area with a low probability of flooding.

7. Highways

A Transport Assessment & Travel Plan has been prepared. This is a specialist area and so it is not intended to cover this in any detail within this Planning Statement.

8. Heritage

There are no heritage issues to consider in association with this application.

9. Design

A separate Design & Access Statement has been submitted. It is the opinion of MWA that the design, scale and layout of the new unit is acceptable in the context of this site and its surroundings.

10. Ecology

An Ecological Assessment has been carried out and submitted with this application.

II. Drainage

A Drainage Strategy has been submitted with this application.

12. Conclusion

The basis of this application is to create a fit-for-purpose unit which will allow the business to continue manufacturing concrete product using moulds efficiently and safely at Whaley Road. The investment into this unit will support and sustain employment and the wider business at this location.

Submitted alongside the application are detailed reports on drainage, flooding, ecology, transport and other technical matters, all of which support the application.

Policy is complied with. As such, it is MWA's conclusion that planning permission should be granted.