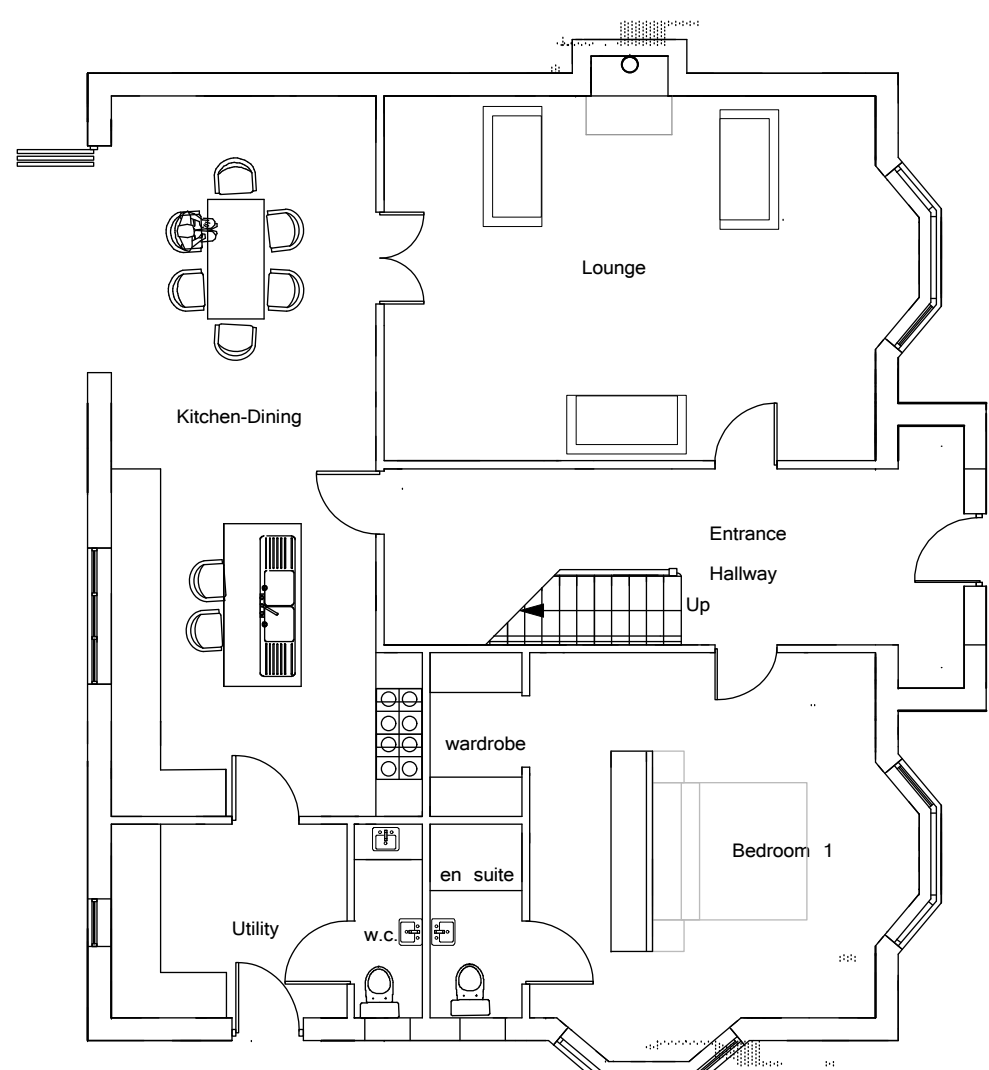
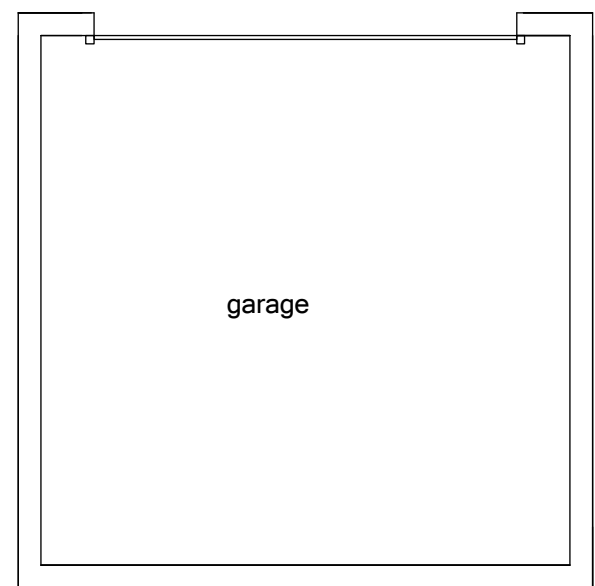


House Type H - Plot 7

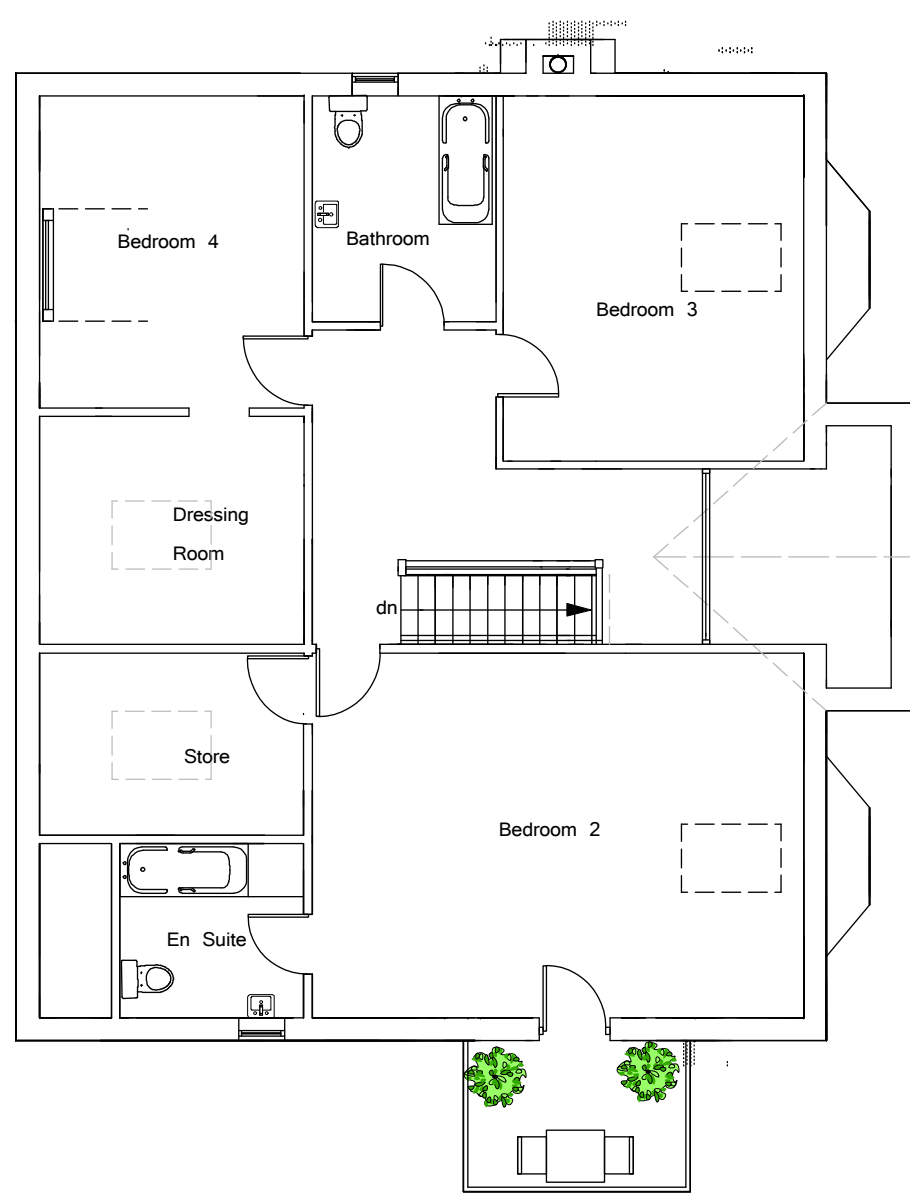
219 m2 + GARAGE 49m2



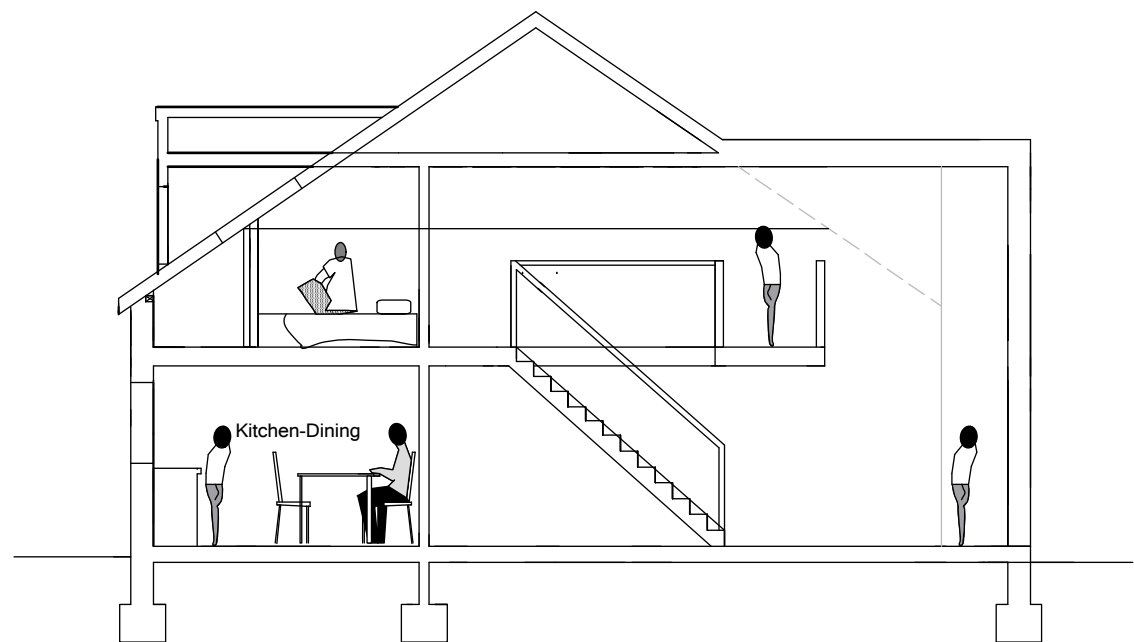
ground



garage



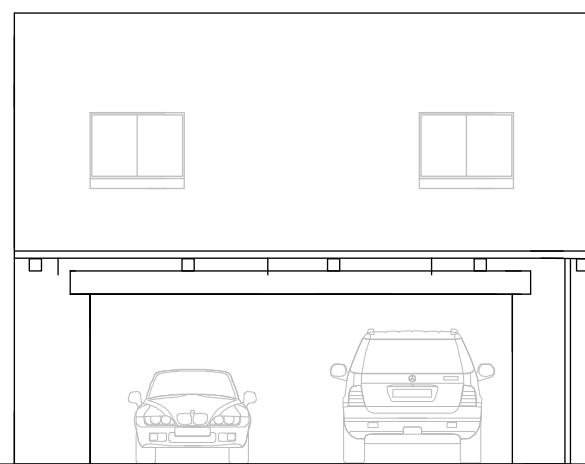
first



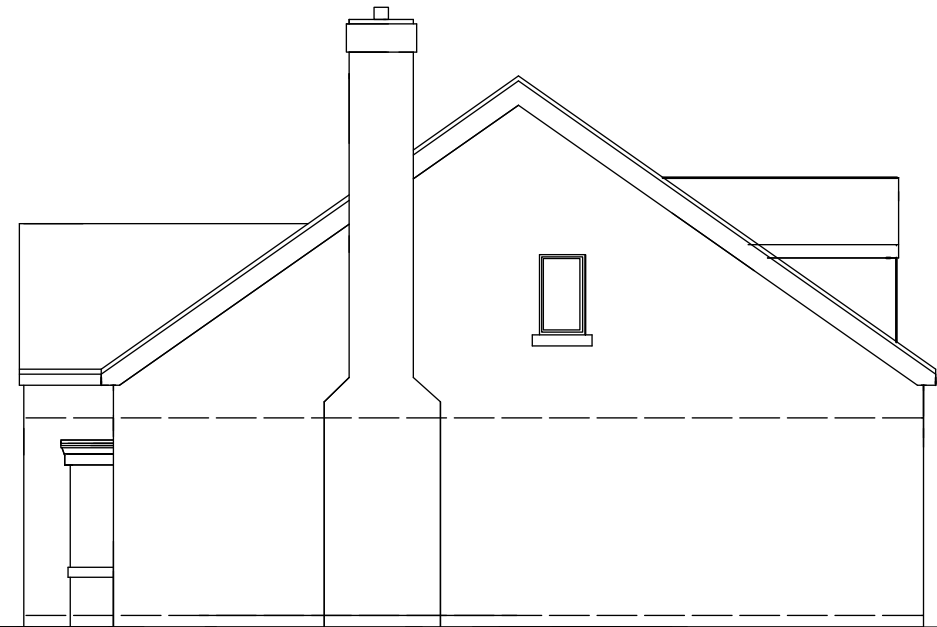
section



south elevation



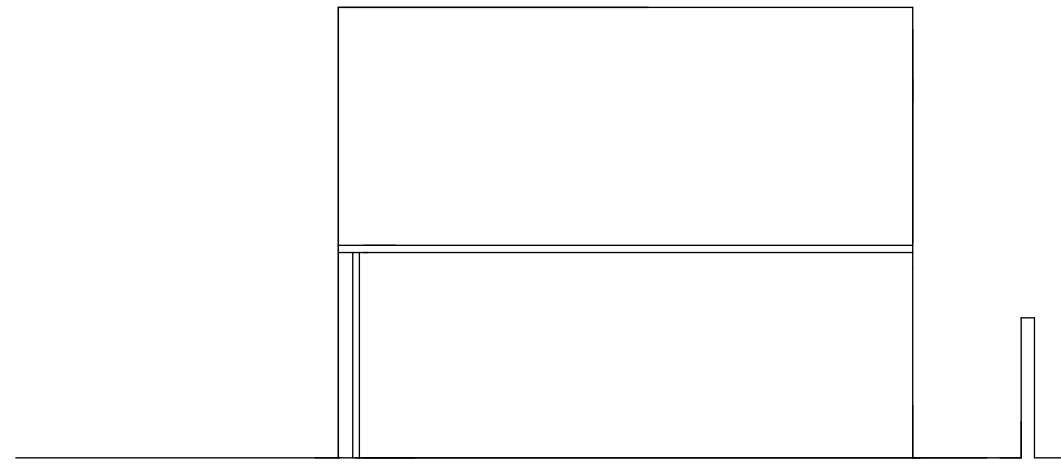
north elevation



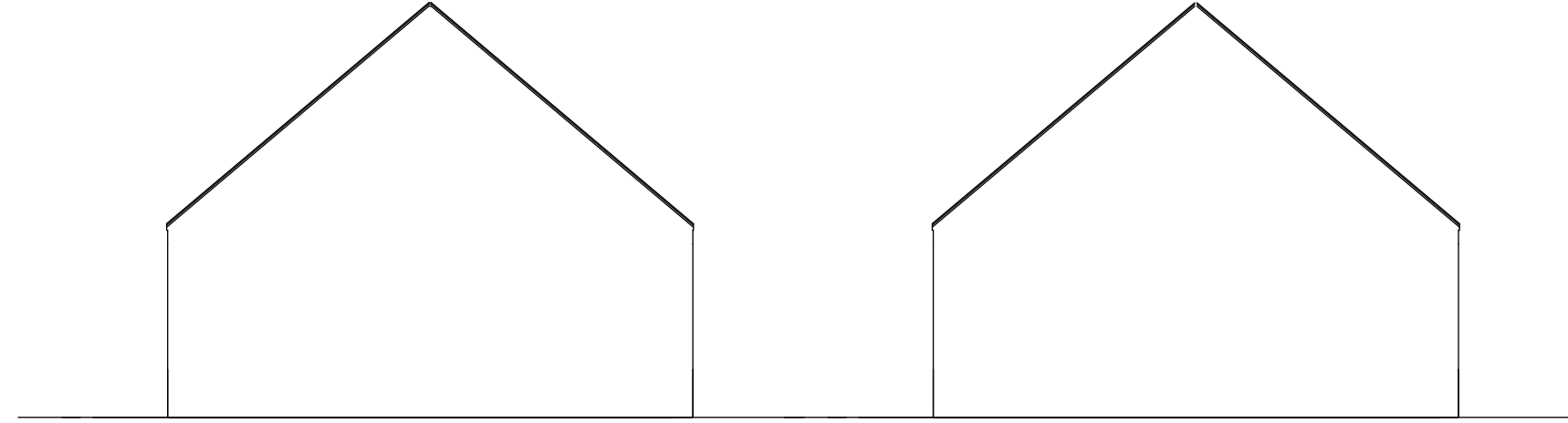
front (east)



rear (west)



garage south elevation



garage side elevations

Notes

- Walls  
Stonefacing brick To Be Agreed With Planning Officer  
stone heads  
projecting stone cill
- Roof  
Birkdale or ThruStone  
conservation rooflight  
Brett Metal Cast Or Stormguard Aluminium  
Half Round Gutter
- Windows  
Residence Collection Or Similar  
Upvc Flush Fitting Casements  
Detailing To Be Repeated Across Window Types.  
Windows Set Back 50mm In Reveal  
RAL Number To Be Agreed
- All Soil And Vent Pipes To Be Internal

Notes/Advisories

No Dimensions To Be Scaled From This Drawing Which Is The Property Of The Company AND LTD. It Is Not To Be Used Or Disposed Of In Any Way Except As Authorized By The Company	The Drawing Will Not Be Assigned To Any Third Party. The Client Is Responsible For Providing The Architect With The Correct Site Boundary/Ownership Definitions And Any Consents Or Easements Relating To The Site. AND LTD Will Assume No Responsibility As Clearly Defined/Indicated Unless Otherwise Informed By The Client.	Principal Contractor/contract manager Is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control.	It Is The Responsibility Of The Principal Contractor To Notify The Architect Of Any Discrepancies On The Drawing Prior To Commencement. All Dimensions To Be Checked On Site If In Doubt Ask!!
The Architect AND LTD Owns All Intellectual Property Rights Including The Copyright In The Drawings And Documents Produced In Performing The Services And Clearly Displays The Architects Initial Signatures To Be Identified As The Author of Such Work. No Part Of Any Design By The Architect May Be Reproduced Or Used In Any Manner Without The Written Consent Of AND LTD.	No Work To Be Carried Out Without Planning Permission. Until All The Best Planning Conditions Have Been Discharged And Until A Building Regulations Application Has Been Submitted. Any Work Carried Out Before Building Regulations Approval Has Been Granted and any conditions discharged will be strictly At Clients Own Risk.	Any Building Works Within Six Of A Neighbouring House's Foundation May Require You To Notify The Owner Of That Property Of Your Intention At Least One Month Before You Start Work. Work To An Existing Party Wall Requires You To Give At Least Two Months Notice Of Your Intention. If Consent To Carry Out Work Cannot Be Reached Prior/Before Starting Work A Dispute Should Be Followed (See Party Wall Act 1996).	<b>ALL WORKS MUST COMPLY WITH CDM 2015</b>  <b>NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!</b>

A		S-10-22	ABD
REV	REVISION NOTE	DATE	DRAWN BY
<b>Andrew Bailey</b> Paddock Road			
Architect		CLIENT RIBB PROPERTIES LTD	JOB NO. 1000000000
		DATE 10/10/2022	SCALE 1:100 AND 1:50
		DRAWING TITLE PLANS SECTION AND ELEVATIONS	REV 01
RIBA 404		DRAWN BY ABD	CHECKED MD
WORK STAGE 3 - DEVELOPED DESIGN			