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WEST STREET, WORSBROUGH DALE, BARNSELY,

CONSTRUCTION MANAGEMENT PLAN.

Prepared for: Mr R Oddie.

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CONSTRUCTION MANAGEMENT PLAN.

Report To: Mr R Oddie.

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Report Title: Construction Management Plan,
Dearne and Dove Works,
West Street,
Worsbrough Dale,
Barnsley,
S70 5PE.

Issue / Revision Date: 01 - DRAFT.

Originated By: **M Longden**..... Date:..16th May 2017.....

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Section 1. Introduction.

1. LDA has been requested to prepare a Construction Management Plan (CMP) for the re-development of the Dearne and Dove Works industrial site off West Street, Worsbrough Dale, Barnsley, S70 5DG. (application site). The application site is owned and operated by Longleys SASS (the client) for general steel fabrication purposes and as rental units for other companies and comprises of several industrial buildings, out buildings and paved operational/vehicular areas as shown on Fig 1 below.

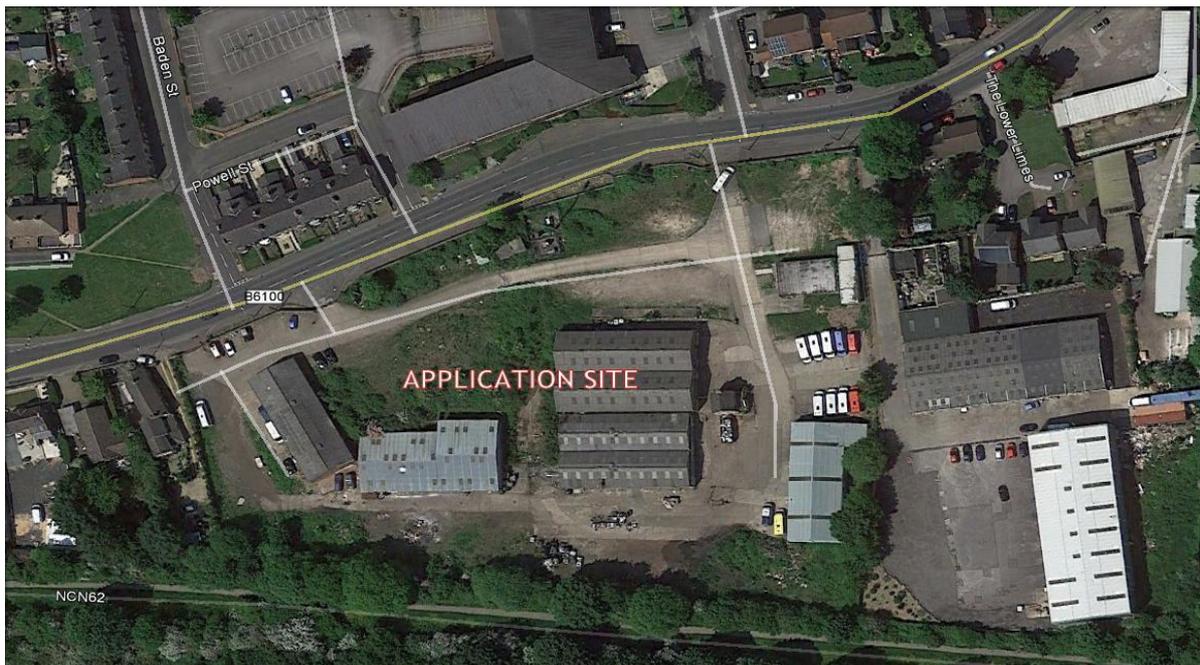


Fig 1: Aerial view of the application site and surrounds.

- 1.2 The local planning authority (LPA) have granted planning permission for the redevelopment of this industrial/employment site for residential land-use pursuant to Planning Decision Notice : 2015/1089, dated 23rd March 2017.
- 1.3 As a condition of the planning permission the LPA have specified that the following matters need to be addressed before any works commence on site:-
 - No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the Local Planning Authority.
 - The approved Statement shall be adhered to throughout the construction period.
 - The Statement shall provide for:
 - The parking of vehicles of site operatives and visitors.
 - Means of access for construction traffic.
 - Loading and unloading of plant and materials.

- Storage of plant and materials used in constructing the development.
- The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate.
- Wheel washing facilities.
- Measures to control the emission of dust and dirt during construction.
- Measures to control noise levels during construction.

- 1.4 It is the clients intention to proceed with the demolition of all the buildings and remove/grub up all floor slabs, foundations and paved areas and reinstate all affected areas and generally prepare the site for marketing as a residential development plot.
- 1.5 This report has been prepared to provide the LPA with sufficient information concerning the proposed demolition and reinstatement works to consent to the discharge of Condition 8 of the planning permission.
- 1.6 The LPA has also conditioned a requirement to undertake a dilapidation/condition survey and written report of the prevailing condition of West Street and the other approach roads to the application site. A report has been prepared by LDA in conjunction with Mr C Sanderson, Highways and Engineering, Barnsley Metropolitan Borough Council, PO Box 601, Barnsley, S70 9FA - as report ref: LDA/1000/CS/01.

Section 2. CMP General Guidance.

- 2.1 Barnsley Metropolitan Borough Council (BMBC) will expect to receive no complaints regarding the proposed demolition and reinstatement works to be carried out at the application site.
- 2.2 A Construction Management Plan (CMP) shall be kept on site of the proposed works readily available for inspection at the request of an Authorised Officer of the Council.
- 2.3 The CMP shall be reviewed as necessary and all revisions shall be signed and dated in an addendum format forming part of the original CMP.
- 2.4 The CMP must contain the following information:
- Name and address of the main contractors company.
 - Completion date/s.
 - Address where the main contractors company accept receipt of legal documents.
 - Full contact details of main office and of the site for the proposed works.
 - Full contact details including name and telephone number of the Site and Project Manager.
- 2.5 The Contents of the CMP shall provide full details on the:
- (i) How the various operations on the application site are intended to be carried out and the timescales from the starting date to completion.
 - (ii) Mitigation measures to be incorporated during the works to prevent noise and vibration, disturbances, creation of dust nuisance and prevention of rodent spreading out from the site.
 - (iii) Evidence regarding staff have been trained on BS 5228:2009.
 - (iv) Prediction of noise and vibration levels (including 3D modelling) throughout the proposed works action to be taken in case exceedances over the predicted levels.
 - (v) Monitoring of noise, vibration and dust levels.
 - (vi) Abatement techniques to prevent noise, vibration and dust nuisances.
 - (vii) Pest Control Job receipts
 - (viii) Community liaison.
 - (ix) Complaints Register, this should contain if possible complainant's details, date and time of complaint's made, causes of complaint, action taken to resolve the complaint, date and time of action taken to resolve the complaint, reasons for any unresolved complaint.
 - (x) An incident logbook shall be on site and all incidents shall be recorded stating date time and worker/s involved and action taken. (e.g. equipment operations started at 07:30 hours by and the action taken measures incorporated to prevent recurrence of similar event)
 - (xi) If the main contractor does not keep up to date with the CMP or fails to meet with the following specification or as a result of the failure to meet with the minimum

requirements and valid complaints are made to the Council during these works, then the main contractor could become liable to further legal action under the other various legislation that Council is empowered.

2.6 SPECIFICATION TO BE MET BY THE CONSTRUCTION MANAGEMENT PLAN (CMP) AT WEST STREET, WORSBROUGH DALE, BARNSELY.

2.6.1 TIME OF OPERATIONS: Time of operations and ancillary works which are audible at the site boundary shall normally be carried out between the following hours:

- Mondays to Fridays 08.00 - 18.00.
- Saturdays 08.00 - 13.00.
- And at no time Sundays and Bank Holidays.

2.6.2 The above is the Council's standard times. However, the times incorporated in the CMP should be specific to the site and related to the type of work being carried out. There are some occasions where the times have to be shorter and with break out schedules.

2.6.3 NOISE OPERATIONS: Any noisy operations outside the standard hours cannot be undertaken without prior written approval of the Local Authority. The permitted times of working may be reduced in the case of noisy schedules.

2.6.4 ABATEMENT NOISE TECHNIQUES: - The quietest and newest vehicles/plant machinery shall be used at all times. All vehicles and mechanical plant used for the purpose of the works shall be fitted with effective exhaust silencers, shall be maintained in good and efficient working order and operated in such a manner as to minimise noise emissions. - The Best Practicable Means (BPM), as defined in Section 72 of the Control of Pollution Act 1974, shall be employed at all times to reduce noise (including vibration) to a minimum, with reference to the general principles contained in British Standard BS5228: 2009 'Noise and Vibration Control on Construction and Open Sites'. When dealing with tall buildings, 3D modelling should be used to predict noise levels and Part 2 vibration (in the case of basement/underground works).

2.6.5 MONITORING NOISE LEVELS: - The main Contractor shall carry out prediction of noise and vibration levels before any work is carried out on site. These predicted noise and vibration levels shall be registered in the Construction/Demolition Management Plan. - Noise attenuation screening to be used if deemed appropriate and noise monitoring to be carried out at the start and at regular intervals during each task period. Any mobile screens shall have sufficient mass so as to be able to resist the passage of sound across the barrier and to be free of significant holes or gaps between or under any acoustic panels or board materials as far as reasonably practical.

- Noise monitoring shall be undertaken using a combination of semi-permanent (continuous) and attended monitoring methods. The locations of the semi-permanent (continuous) and attended

monitoring and the frequency of the sampling have previously been agreed with the Council in writing.

- Where the measured noise levels are more than 3 dB (A) above the predicted noise levels or in the event of a complaint of noise an investigation shall be carried out to ascertain the cause of the exceedance or the complaint and to check that Best Practicable Means are being used to control the noise in accordance with the steps set out in the application for 'prior consent'. Noise levels shall be reduced further if it is reasonably practicable to do so.

- 2.6.6 VIBRATION LEVELS: - In the case of vibration, measured vibration levels shall be compared with the criteria in BS 5228: 2009 part 2 (i.e. 1mms¹ PPV for potential disturbance in residential and using a suggested trigger criteria of 2mms¹ for commercial). Lower limits must be agreed with the Council if there is a risk that vibration levels may interfere with vibration sensitive equipment or other vibration sensitive objects.
- 2.6.7 DUST LEVELS: - Referring to visible dust, it is imperative to prevent statutory nuisance arising from the demolition, construction works or dusty activities. Therefore a philosophy of the prevention of dust formation in the first place shall be adopted. Dealing with dust should be in the following fashion:
1. Prevention
 2. Suppression
 3. Containment
- 2.6.8 The three principles stated above are well established and are central to the control strategies to control dust. The CMP shall identify all the dusty operations and establish the best available techniques required to control dust emissions. Fugitive dust emissions should be prevented whenever practicable. When this is not practicable emissions should be controlled at source.
- 2.6.9 Consideration should be given to the siting of aggregate stockpiles, based upon such factor as the prevailing winds, proximity of site boundary and proximity of neighbours. Minimisation of drop height is very important in stockpiling to reduce wind whipping of particulates. When designing storage bays, internal walls separating storage bays should be at least ½ metre lower than external walls of the bays.
- 2.6.10 Areas where there is vehicular movement should have a consolidated surface which should be kept in good repair.
- 2.6.11 As the main principles for preventing dust emissions are containment of dusty processes and suppression of dust using water or proprietary suppressants. Suppression techniques need to be properly designed, used and maintained, in order to be effective. For example, where water is used

for dust suppression, processes require an adequate supply of water and all water suppression systems need adequate frost protection.

2.6.12 Where there is evidence of airborne dust from the building construction/demolition activities the site, the contractor should make their own inspection and assessment, and where necessary undertake ambient monitoring with the aim of identifying those process operations giving rise to the dust. Once the source of the emission is known, corrective action should be taken without delay.

2.6.13 Effective preventative maintenance should be employed on all aspects of the control of emissions to air. Important management techniques for effective control of emissions include; proper management, supervision and training for process operations; proper use of equipment; effective preventative maintenance on all plant and equipment concerned with the control of emissions to the air; and it is good practice to ensure that spares and consumables are available at short notice in order to rectify breakdowns rapidly. This is important with respect to arrestment plant and other necessary environmental controls.

2.6.14 RODENT CONTROL.

- Regardless whether the site has been previously developed the contractors shall take the necessary measures to ensure proper control of rodents.
- 28 days prior any building works are being carried out the contractors shall submit a method statement on how the destruction/dispersion of rodents will be controlled during demolition works.
- The method statement shall demonstrate if / how the presence of rats and mice has been ascertained and how they will be destroyed if they have been/are found on site.
- At all times the site shall be kept free, so far as is reasonable practicable, from rats and mice. (Prevention of Damage by Pests Act 1949, part 'H' of the Building Regulations (Drainage & Waste Disposal). And we require method statement/s on how existing/new drainage will be sealed during the construction process.

2.6.15 COMMUNITY LIAISON.

- Contractors shall keep residents and others informed about unavoidable disturbance such as from unavoidable noise, dust, or disruption of traffic. Clear information shall be given well in advance and in writing.
- At all sites a Contact Board shall be displayed prominently; this is to ensure that problems can be rectified quickly, and that residents and others can channel their questions and complaints to a member of staff who has the authority to take action.
- All Contact Boards shall include the following materials: (a) The title 'Contact Board' (b) Name of the main contractor, address and person to whom correspondence should be addressed. (c)

Name of the site manager. (d) Month and year of completion of works. (e) Names and telephone numbers of staff who can take immediate action, so that contact can be made at any time.

- Occupiers in the vicinity who may be affected by noise from these works shall be notified of the nature of the works, a contact name, telephone number (including that to be used outside normal working hours), and address to which any enquiries should be directed. Such notification shall take place, where possible within, 2 weeks but, in any event, at least a week prior to the works commencing.
- Should noise/vibration/dust complaints arise from the building construction/building works, these complaints must be recorded in a complaint's register and made available to the Local Authority, if requested. The complaint register shall provide information on day, time, details of complaint, details of monitoring carried out and any additional mitigation works.
- Should complaints be received concerning works/activities, then all works/activities being the cause of complaint must cease (Tasks in progress accepted due to structural integrity issues), until such time as further agreement to work is negotiated.

Section 4. CMP Site Specific Data.

- 4.1 The application site is owned and operated by Messrs Longleys SASS.
- 4.2 The application site address is: Dearne and Dove Works, West Street, Worsbrough Dale, Barnsley, S70 5PE.
- 4.3 The prevailing use of the site is: Steel Fabrication and Industrial Rental Units.
- 4.4 The application site gained planning permission for residential land-use as Planning Decision Notice: 2015/1089 - dated 23rd March 2017.
- 4.5 The Main Contractor for the dismantling and demolition works will be: Messrs Albert Hirst and Sons, Snittlegate Farm, Hade Edge, Holmfirth, Huddersfield, HD9 2JF.
- 4.6 The Contract Manager for the above will be: Mr Albert Hirst, Tel: 01484 686504 & Mob: 07860 786579.
- 4.7 The above permission requires the following matters to be considered in detail before any works commence on site:-
- 4.7.1 The parking of vehicles of site operatives and visitors.
- The parking of cars and other light weight vehicles will be in the existing car park area to the Northwest of the site and adjacent to Gate No1.
- 4.7.2 Means of access for construction traffic.
- The means of access for all construction traffic will be Gates Nos 2 & 3. Both these gates are operational at the moment.
- 4.7.3 Loading and unloading of plant and materials.
- Loading and un-loading of plant and materials will be on the level area of the site adjacent to Gate No 2.
- 4.7.4 Storage of plant and materials used in constructing the development.
- The storage of plant and materials for the construction of the residential development will be subject to a future revision of this report.
 - For the demolition of the existing industrial units and the removal of all hard paved surfaces all storage of plant and materials will be in existing unit in the Southeast corner of the site.

- 4.7.5 The erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate.
- The site is completely fenced along the entire perimeter.
 - An substantial stone wall along the West Street frontage will remain in place until the residential development commences.
- 4.7.6 Wheel washing facilities.
- A commercial vehicle wheel washing unit will be installed adjacent to Gate No 2 - but as it is only anticipated that the demolition and recycling of the industrial units and surrounds will only generate approximately 25 to 30 commercial vehicle movements a wheel wash facility is not considered necessary at this time.
- 4.7.7 Measures to control the emission of dust and dirt during demolition.
- The crushing plant will be installed in the Southeast corner which is the lowest point in the topography of the site and most remote from existing residential properties.
 - Hoses and water spraying equipment will be maintained on site until the crushing operations are complete.
- 4.7.8 Measures to control noise levels during demolition.
- It is the intention to recycle as much as possible of the steel frames and cladding within the buildings - therefore dismantling will be mostly by hand employing only teleporters or scissor lifts and hand held cutting tools.
 - The use of mechanical breakers will be further reduced by using hydraulic shears and similarly cutting tools on reinforced foundations and concrete paved areas.