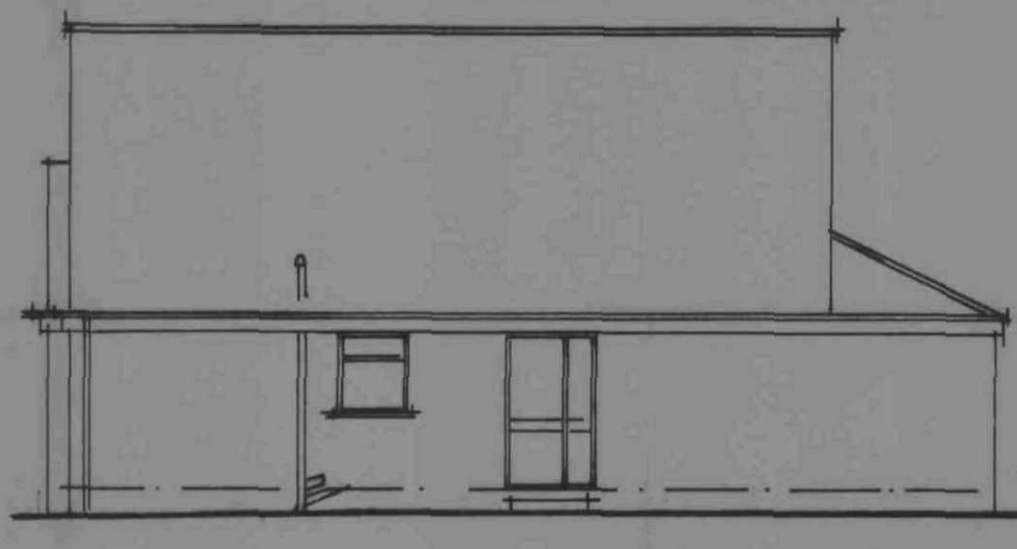
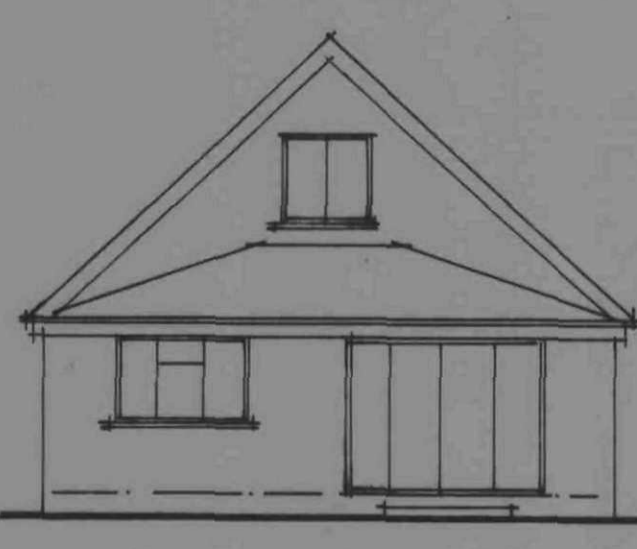




Existing Front Elevation



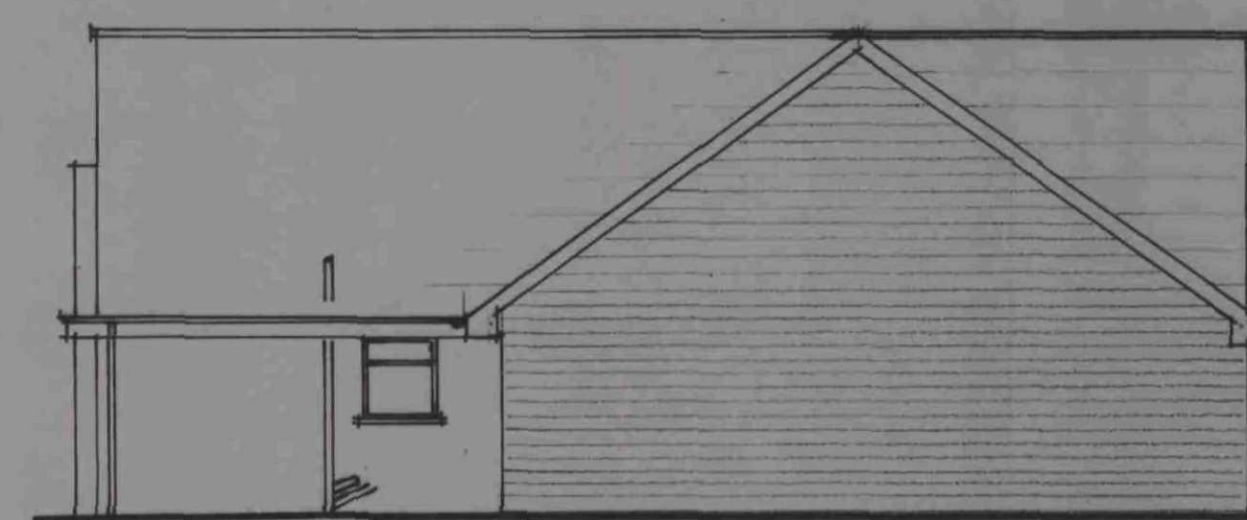
Existing Side Elevation



Existing Rear Elevation



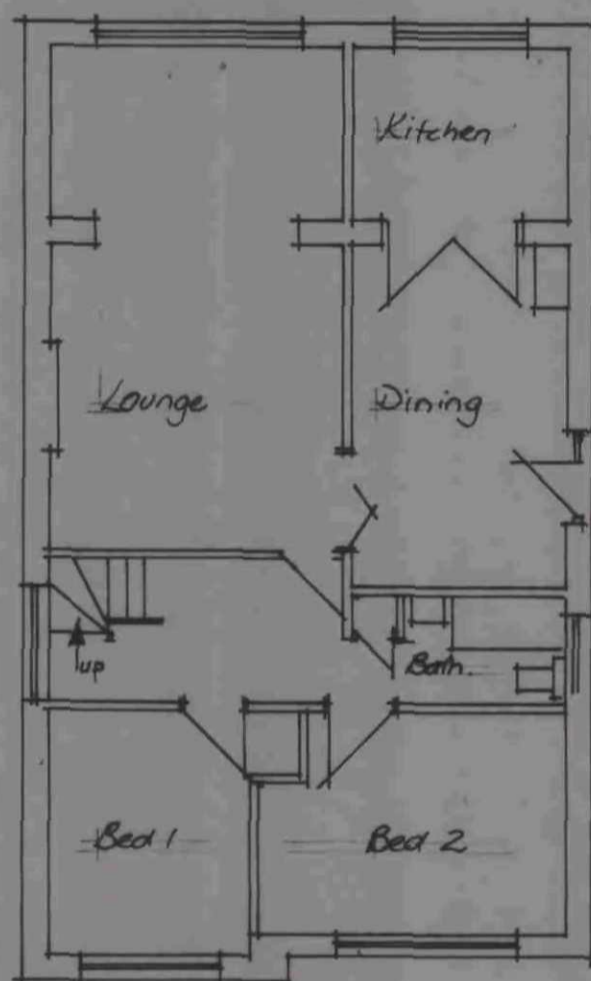
Proposed Front Elevation



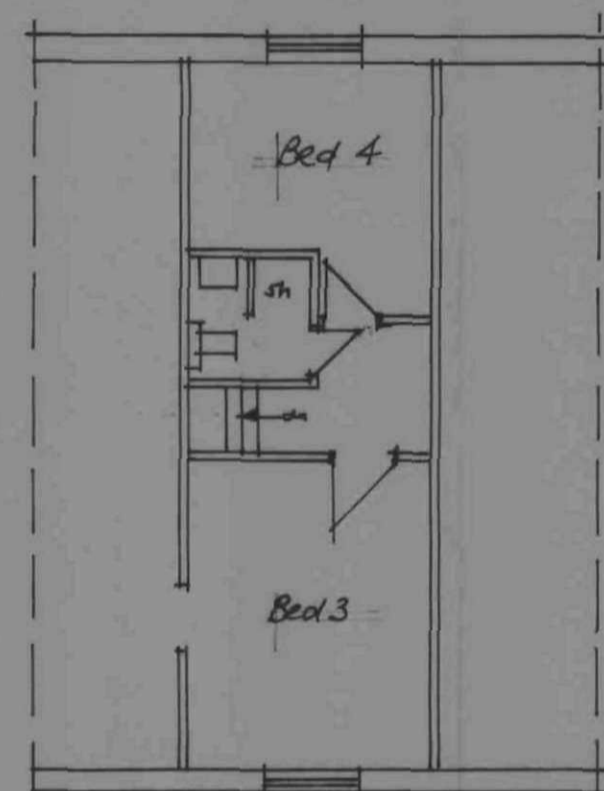
Proposed Side Elevation



Proposed Rear Elevation



Existing Ground Floor Plan



Existing First Floor Plan

Roof Construction:-

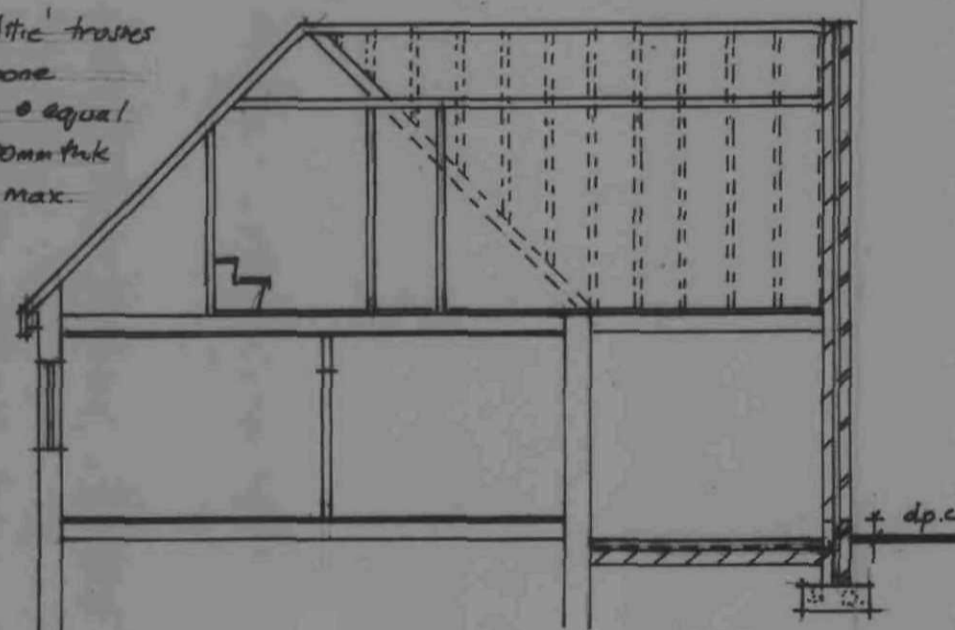
Concrete interlocking roof tiles to match existing on 38x25mm softwood tile battens with 1 layer Tyvek breathable heavy duty felt or similar onto gongnaited treated 'Attic' style roof trusses @ 600mm centres. Incorporate 100mm thick fibreglass insulation laid between ceiling joists with 50mm thick fibreglass insulation laid on top in opposite direction. Ceilings to be 12mm plaster board & skim. Insulation to sloping ceilings to be Celotex 50mm thick TS1 boarding or similar approved insulation to satisfaction of District Building Surveyor. Every 2nd joist/truss to be tied down with 32mm x 6mm galv. mild steel straps 450mm long. All timbers to be preservative impregnated with preservative. Calculations for roof trusses to be supplied & submitted by Truss Manufacturer & approved by L.A. prior to work commencing on site. All new rainwater pipes & gutters to be up.v.c.

First Floor:-

25mm thick weyroc flooring on 'Attic' trusses @ 600cts with 50x50 hemmingbone strutting to trusses @ mid span & equal to 3/8 rtdr depth of truss. Lay 100mm thick insulation between trusses with max. density of 10kg/m<sup>3</sup>

All floor levels to remain continuous

No work whatsoever to encroach on neighboring property.



Section A-A

Drainage:-

Below ground drainage to be 100mm dia. flexible jointed pipes, bedded on & surrounded in 150mm pea-gravel with min 1:40 fall. New manhole to be G.R.P. preformed on concrete base. All drainage work to be carried out to the satisfaction of District Building Surveyor. All new drains passing under new walls to be intol'd over.

Surface water (where shown) to discharge into new soakaway 5 metres from building and to be 1m<sup>3</sup> of clean limestone & satisfy to District Building Surveyor

Foundations

New foundations to be 600 x 225 concrete with min 450mm frost cover & if within 1 metre of drains to be taken down to invert level of drain & all foundations to satisfy District Building Surveyor. Excavations to be taken down min 900mm if in clay subsoil.

Heating Work:-

Any heating work required will require insulated pipework under-floor or in roof-space & radiator will need Thermostatic Radiator Valves fitting.

Electrical Work:-

All electrical work is to meet requirements of Part P (Electrical Safety) 2005 Edition. Building Regulations require the design, installation, inspection & testing to be carried out by a person competent to do so. Authority to be satisfied that Part P is fully complied with. This will normally require that an appropriate BS 7671 Electrical Installation Certificate be issued on completion.

Windows & Doors:-

All windows & doors to be double glazed PVC coated units with a 16mm air gap & K-glass by Pilkington with Soft-Low-E coating to the inner pane, to give a U-value of 2.0 w/m<sup>2</sup>c & to have opening lights equal to 1/20th floor area & incorporate trickle vents with min 8000mm<sup>3</sup> ventilation. All glazing to be in accordance with Part N Building Regulations i.e. to be toughened /annealed to any window or door with sills below 800mm from floor level. All lintols to be insulated & cast in to concrete with min 150mm end bearing & to have proprietary weep holes @ 450mm cts.

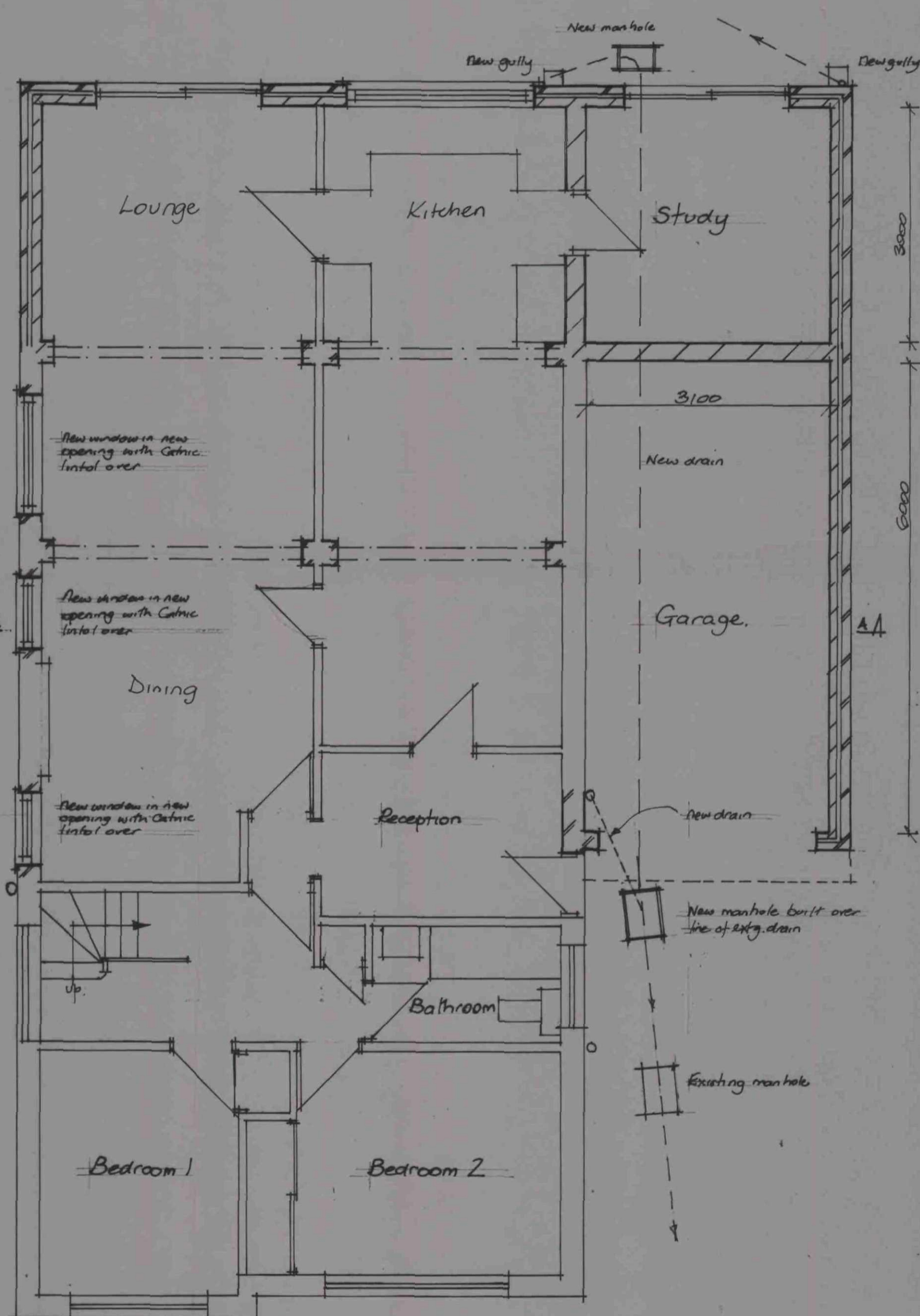
Brickwork:-

All external walls to have min U-value of 0.30 w/m<sup>2</sup>c using 100mm thick facing bricks to match existing with 100mm wide cavity filled with 100mm Rockwool cavity batts & 100mm Thermalite Shielo 2000 blockwork with 13mm lightweight plaster & skim internally. Walls to have 5N stainless steel wall ties per m<sup>2</sup> & at 225mm centres vertically to all reveals & to have dpc min 150mm above ground level. Wall reveals to have U-value of 0.30 w/m<sup>2</sup>c using Dancer approved insulation. D.p.c. to all external walls at heads, sills & jambs & all cavities to be sealed at root level & at openings. All brickwork cavities to remain continuous & all new brickwork to be fully bonded to existing.

Ground Floor:-

Garage - 75mm sand & cement screed on 125mm concrete on 1200g ungreen d.p.m. 1m ked to d.p.c. in ext. walls incorporating 100mm thick job-lite insulation on 150mm hardcore. Sable to have U value of 0.25 w/m<sup>2</sup>K (min).

Study/Kitchen etc. 25mm weyroc + 9g boarding on 150x50 s.w. joists @ 400 cts & to have 50x50 hemmingbone strutting @ mid span equal to 3/8 rtdr depth of joists. Provide 150mm Celotex insulation between joists on netting. Oversite concrete to be 100mm thick on 150mm well consolidated hardcore with 2000g ungreen d.p.m.

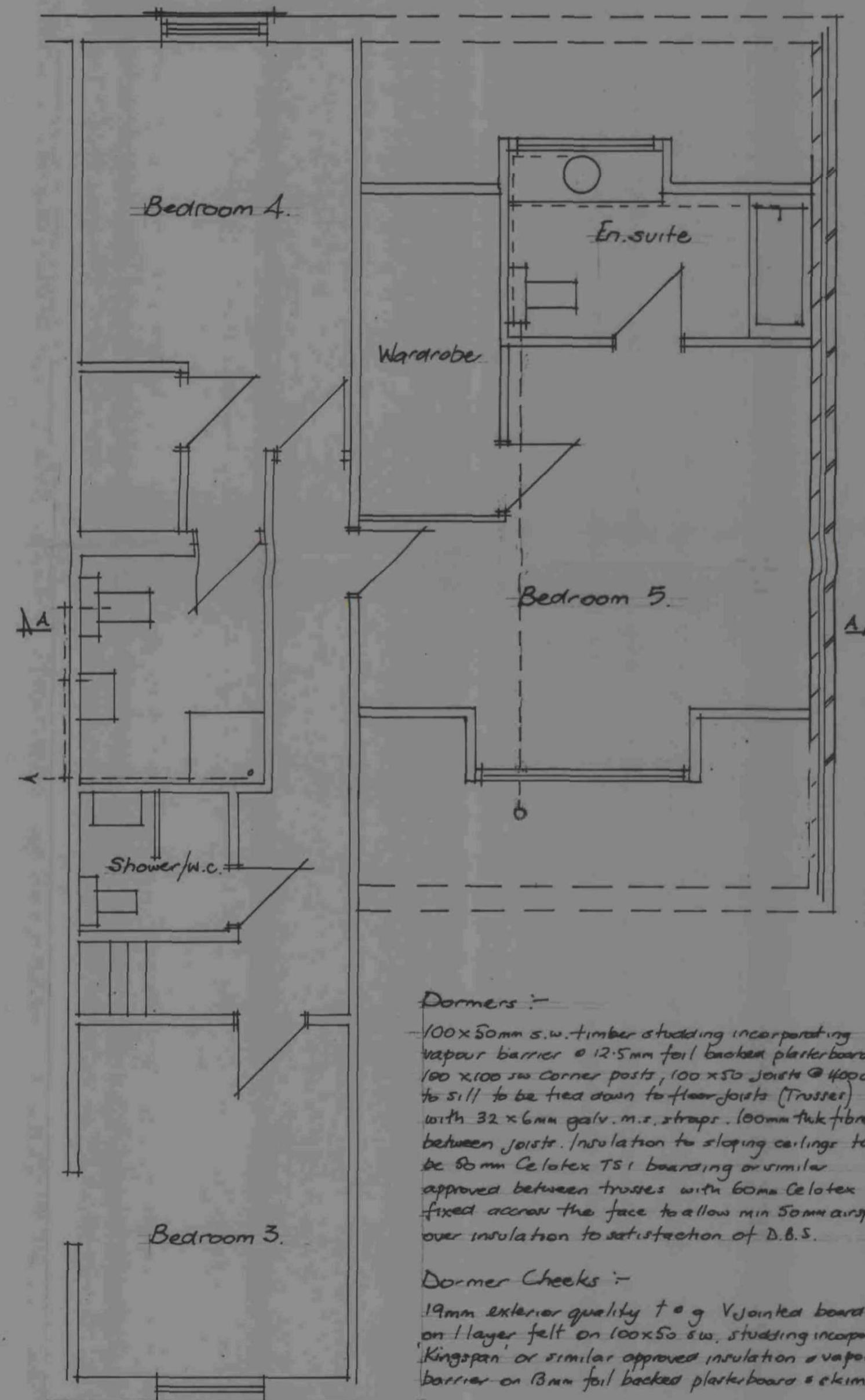


Proposed Ground Floor Plan

Ventilation:-

Bathrooms & en-suites require additional ventilation to give a min of 3H<sup>0</sup> air changes per hour and with a min capacity of 15 litres per second & with min 15 minute over-run facility operated by the light switch. Provide mechanical extract fan to kitchen to extract at a rate of 60 litres/second & to be ducted externally

Provide 225x150 air bricks for under-ground floor ventilation 450mm from corners & spaced @ 1800mm cts & to have liners & cavity trays.



Proposed First Floor Plan

Dormers:-

100x50mm s.w. timber studing incorporating vapour barrier & 12.5mm foil backed plasterboard 100x100 s.w. corner posts, 100x50 joists @ 400 cts to sill to be tied down to floor joists (Trusses) with 32x6mm galv. m.s. straps. 100mm thick fibreglass between joists. Insulation to sloping ceilings to be 50mm Celotex TS1 boarding or similar approved between trusses with 50mm Celotex fixed across the face to allow min 50mm airspace over insulation to satisfaction of D.B.S.

Dormer Cheeks:-

19mm exterior quality F&G V-jointed boarding on 1 layer felt on 100x50 s.w. studing incorporating Kingspan or similar approved insulation & vapour barrier on 13mm foil backed plasterboard & skim.

Proposed Extensions at 35 Lundhill Grove, Wombwell, Barnsley, for Miss C. M<sup>o</sup> Vey Drg.No CMV/1

Date June 2008 Scale 1:50/10