

01 - FIRST FLOOR  
1 : 100

Area Schedule (GIA)		
Level	Area (m2)	Area (Ft2)
00 - GROUND FLOOR	822 m²	8848 ft²
01 - FIRST FLOOR	109 m²	1,173 ft²
	931 m²	10,021 ft²



SITE PLAN KEY (NTS)

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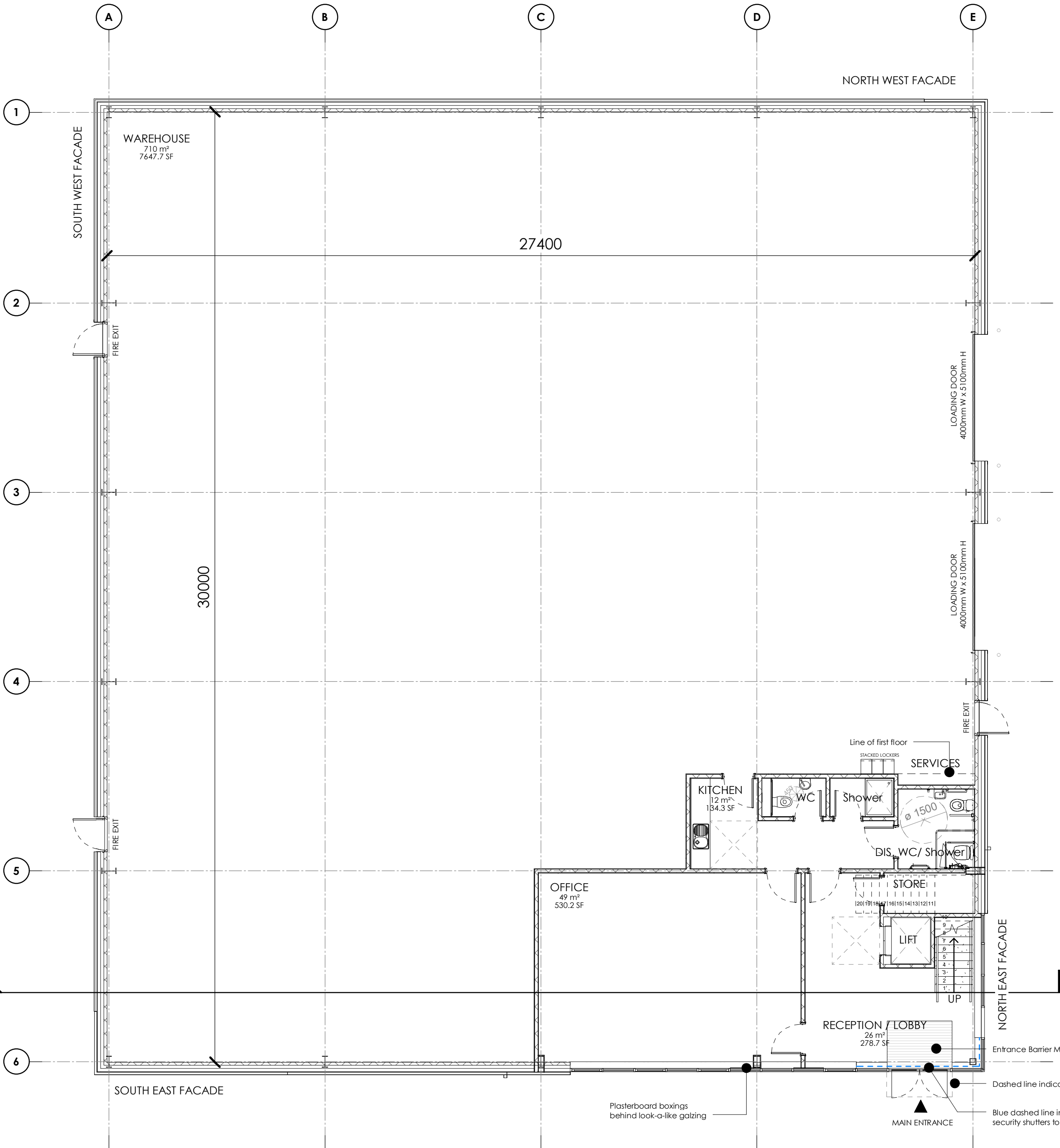
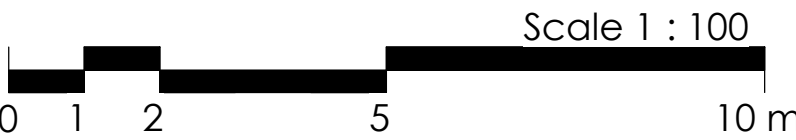
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This drawing is to be read in conjunction with all other relevant Architects, Engineers & Sub - Contractors drawings / Details.

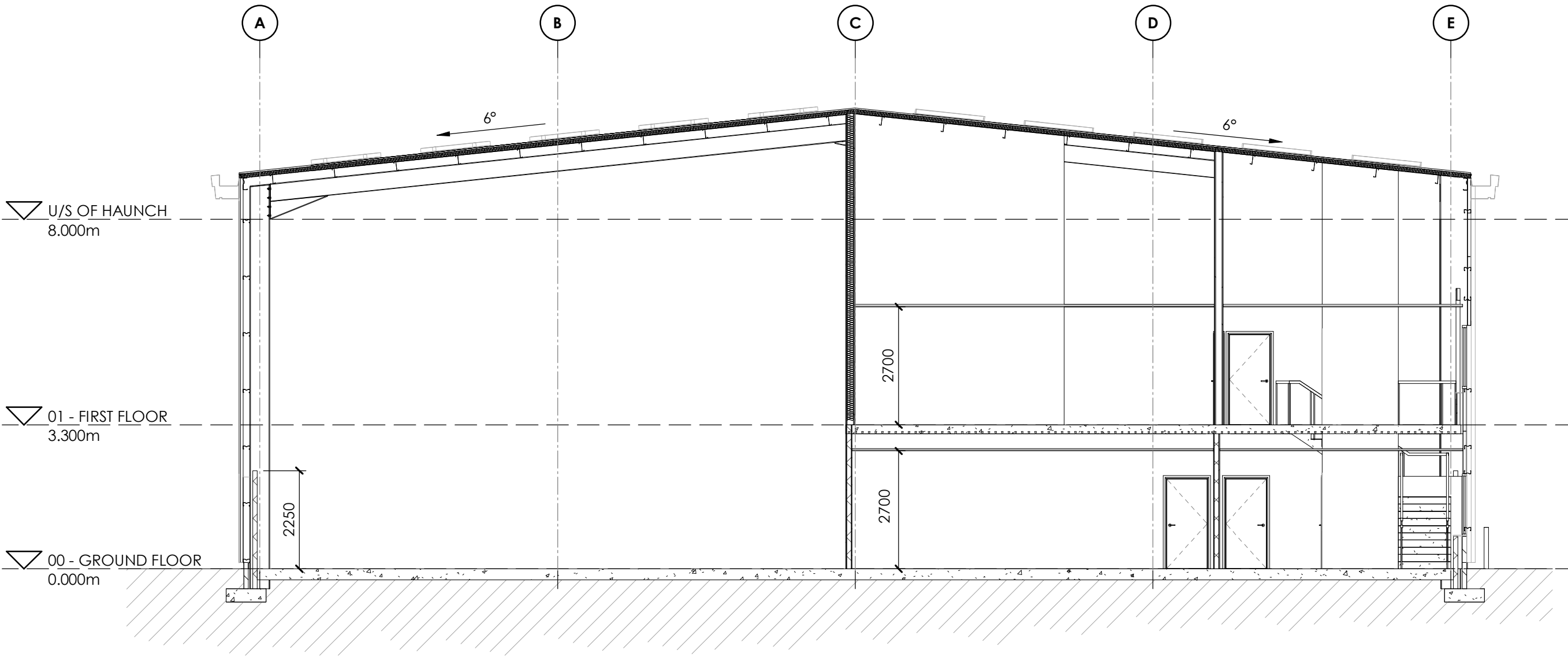
This drawing is subject to Client and Building Control Approval.

Final Steelwork and grid layout is subject to specialist steel design.

Any foundations / floor slab shown are diagrammatic and subject to specialist design / details.



00 - GROUND FLOOR  
1 : 100



GA SECTION  
1 : 100

P6	WC's amended to include IPS.	IR	SW	14.08.23
P5	Areas calculations updated.	IR	SW	13.07.23
P4	Wall between reception and office aligned with first floor wall. Mathwell size amended. Store wall removed. Changing room, changed to shower room. Dis WC enlarged to incorporate a shower.	IR	SW	29.06.23
P3	First floor level amended, door added to reception / office, ground floor WC layout amended, areas updated.	IR	SW	30.05.23
P2	Stairs amended to suit first floor level, ground floor wc layout and kitchen worktops updated. Glazing updated to suit elevational changes.	IR	SW	16.05.23
P1	Issued for Planning	IR	SW	20.04.23
Rev	Description	Dm	Vfd	Date
As outlined in section 2.3 of the CIBB Industry Guidance to Designers, insignificant risks can usually be ignored, as can risks arising from routine construction activities, unless the design compounds or significantly alters these risks. In accordance with CDM Regulations 8, 9 and 11, any significant risks relating to the design features shown on this drawing have been identified and are annotated thus:				
<input checked="" type="checkbox"/> No significant risks have been identified.				
<input type="checkbox"/> Significant risks have been identified - refer to notes on drawing for information on residual risks and any control measures to be employed.				
Refer to the current Designer's Risk Assessment sheets for further details.				
Designer's Signature		SW	Date Mar'23	

Drawing Status  
PLANNING

**williamsaunders**  
architecture : engineering : building consultancy

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Project									
Proposed Development, Rockingham.									
Client									
Carnell Management Services Ltd.									
Title									
Unit 1 Proposed Floor Plans & GA Section									
WS Project No.		Drawn by		Date		Scale			
12215		IR		Mar'23		As indicated		@ A1	
Drawing/Document Reference									
Project		Originator	Zone	Level	Type	Role	Number	Status	Revision
12215 - WMS - 01 - ZZ - D -		A -	10401 -	S8 -	P6				