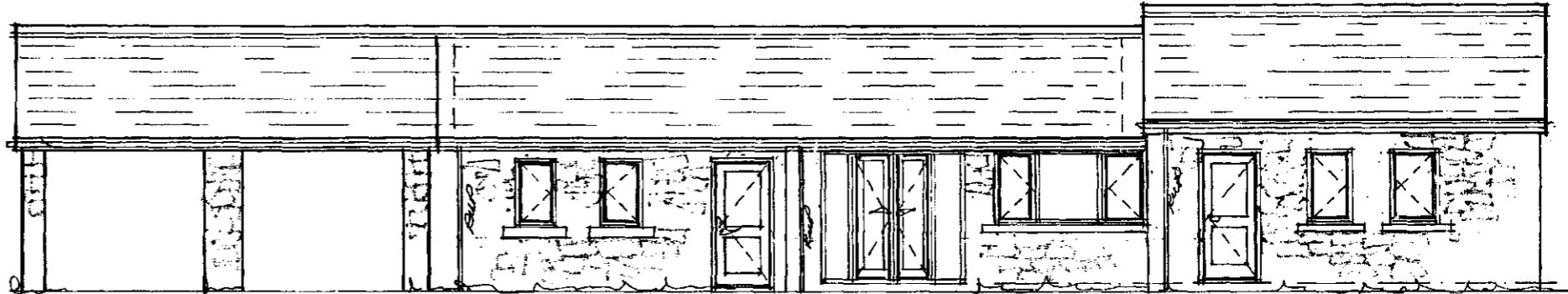
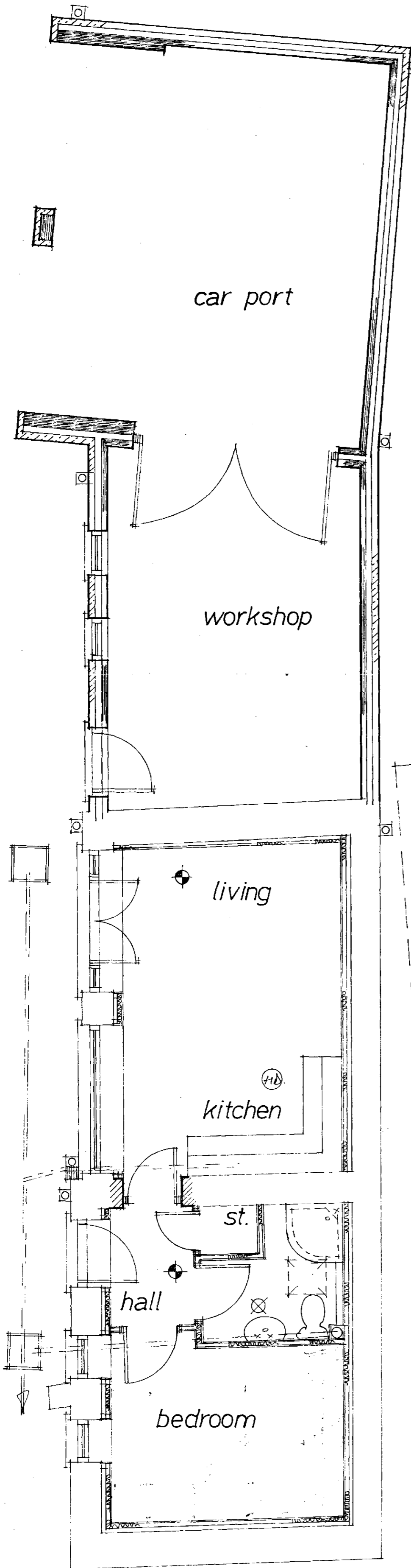
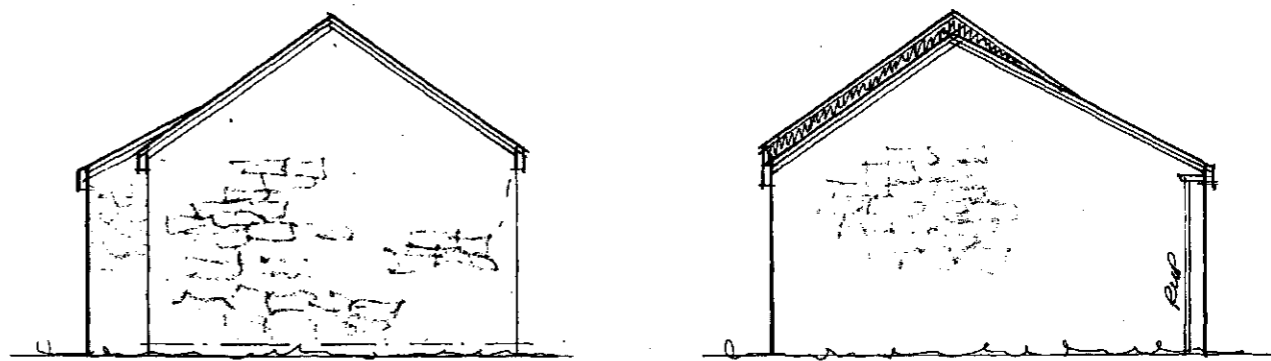


Elevations

Layout

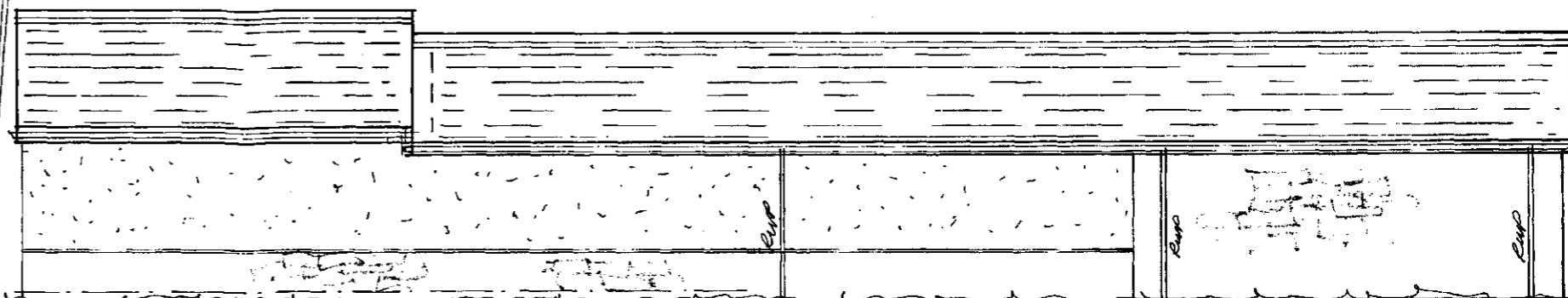


Side

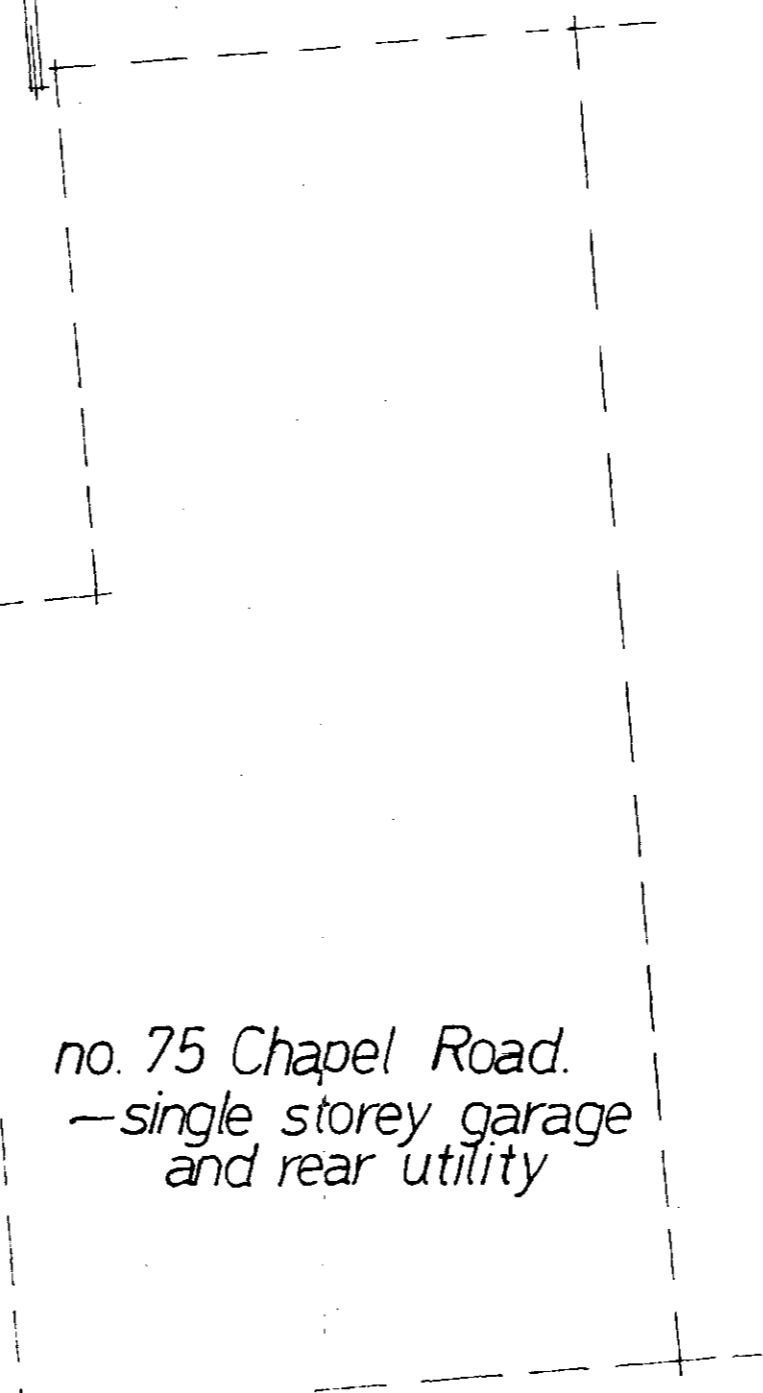


Front

Rear



Side



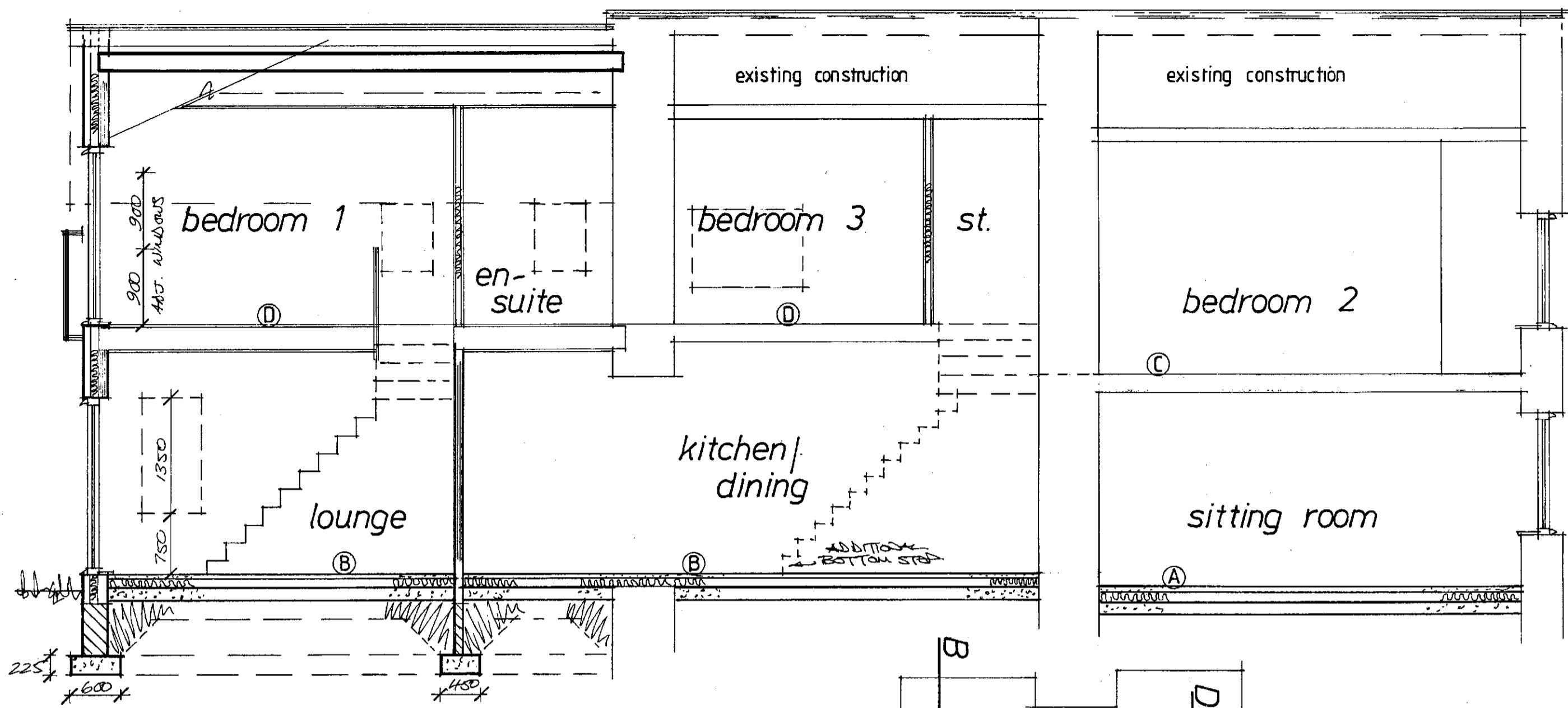
no. 75 Chapel Road.
—single storey garage
and rear utility

CONFIDENTIAL DRAWING
04 DEC 2014
Received By: _____
ORIGINAL COPY

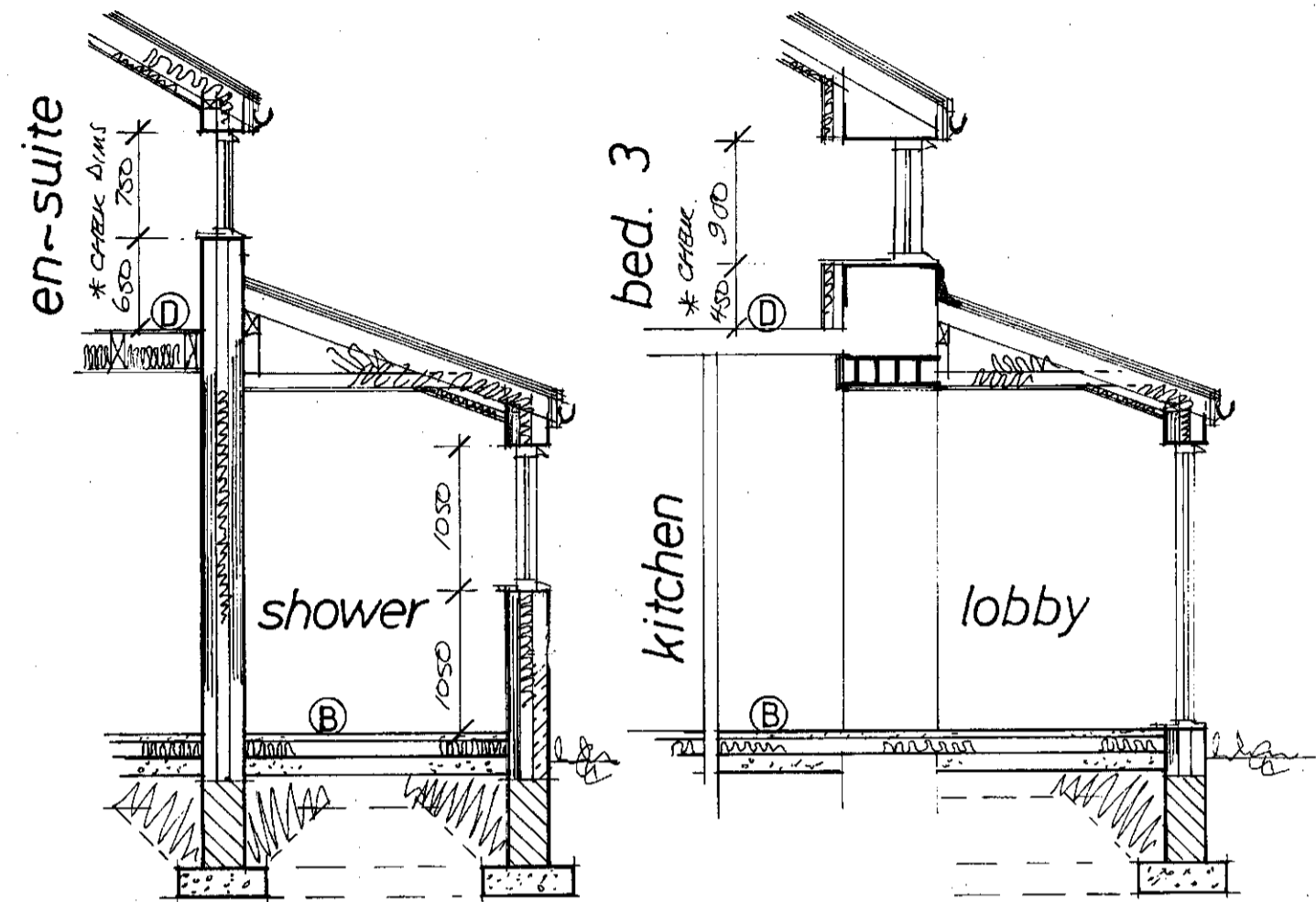
Rev	Notes	Date

Garry Greetham Associates Ltd
Residential Design Consultant
Westwood House
18 Carr Lane
Tankersley
Barnsley S75 3BE
Tel(01226)746573

PROJECT Various Extensions
CLIENT Mr. & Mrs. N. Anthony
TITLE Outbuildings as Proposed
ADDRESS "Gate Inn", Chapel Road, Pilley, Barnsley. S75 3AR
DRAWN BY ggg
SCALE 1:100; 1:50 DATE Dec14
DRAWING No 751-07 REV
Member of the Chartered Institute of Architectural Technologists

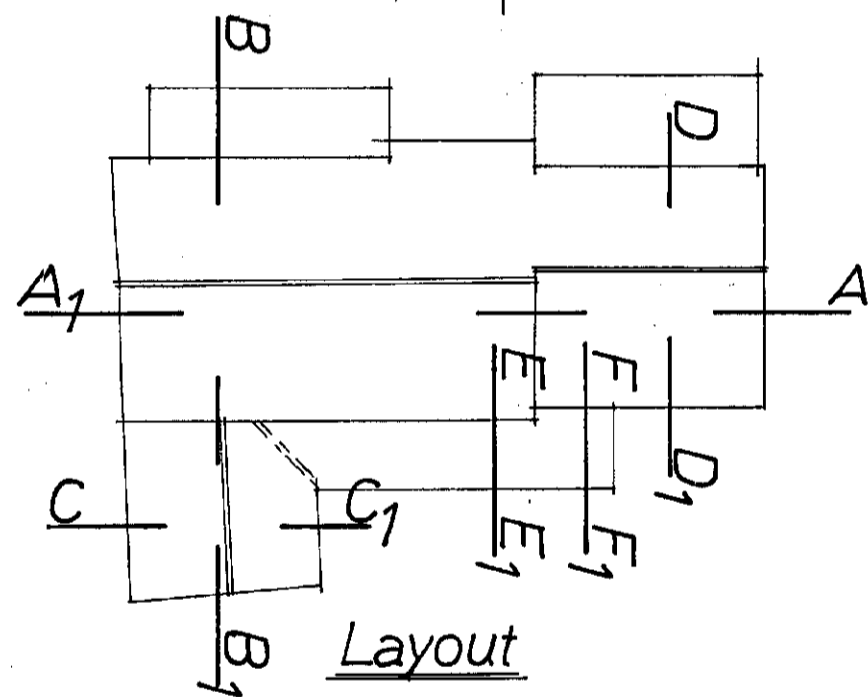


Section A~A₁

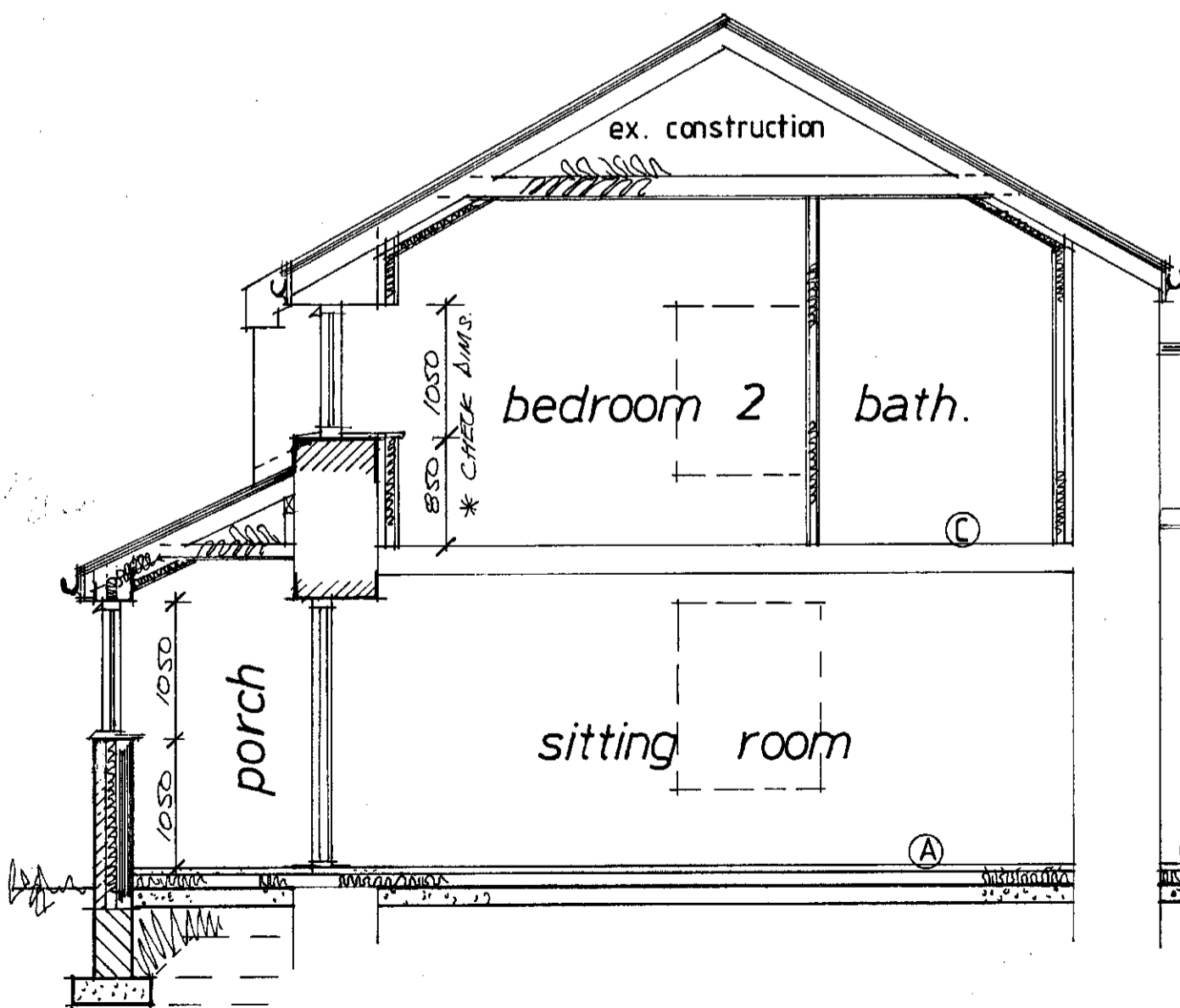


Section F~F₁

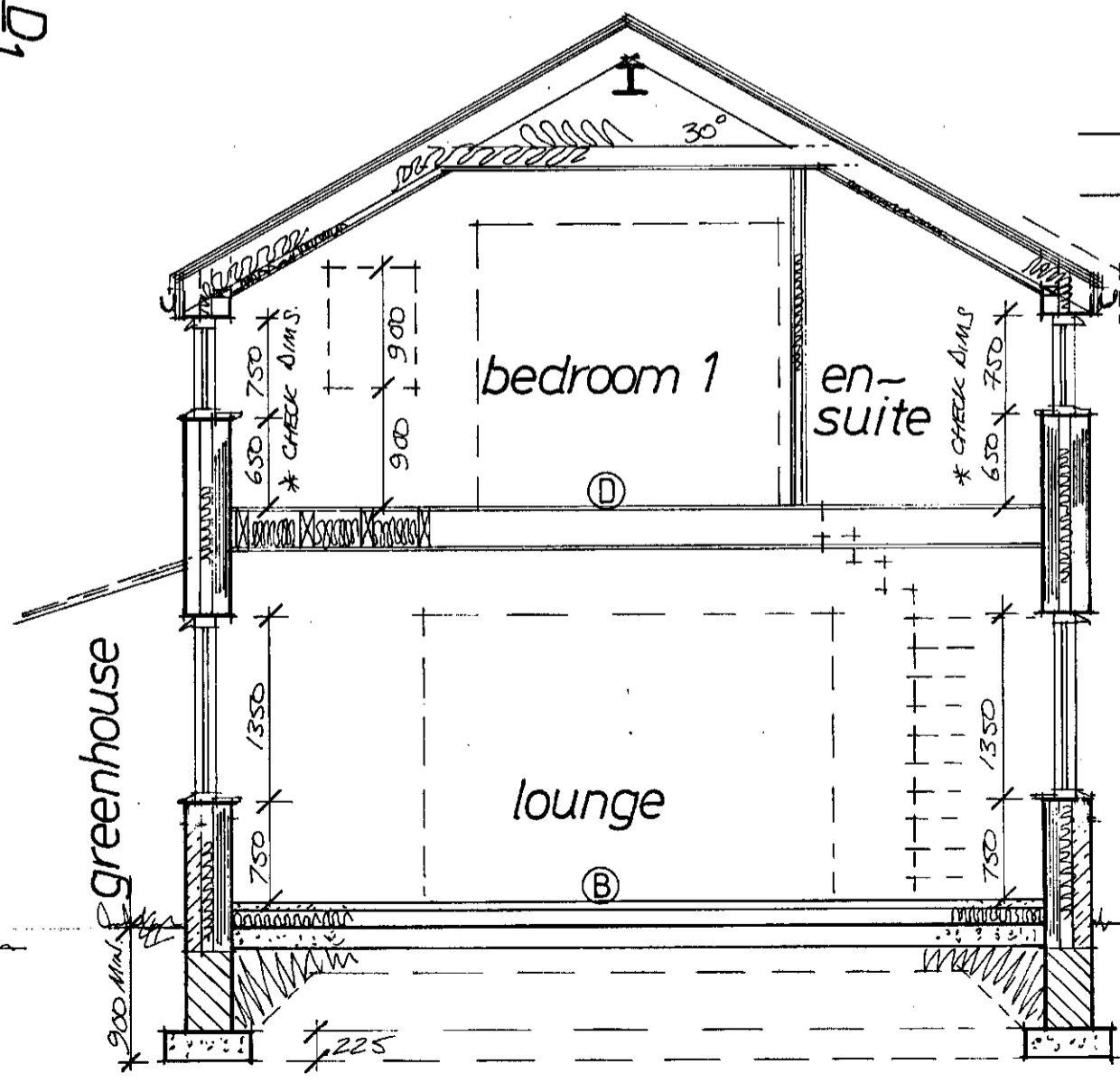
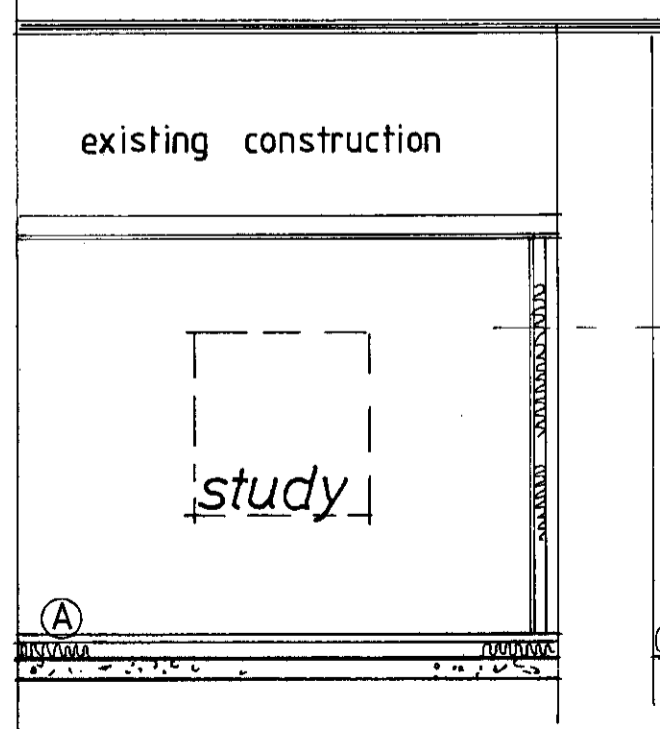
Section E~E₁



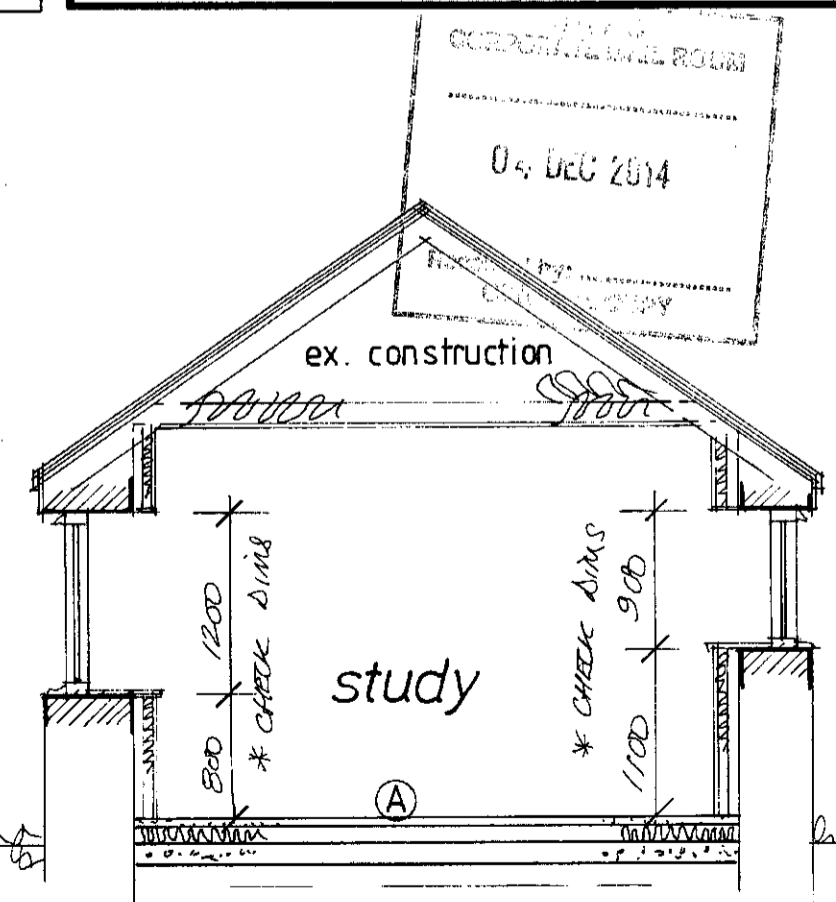
Layout



Section B~B₁



Section D~D₁



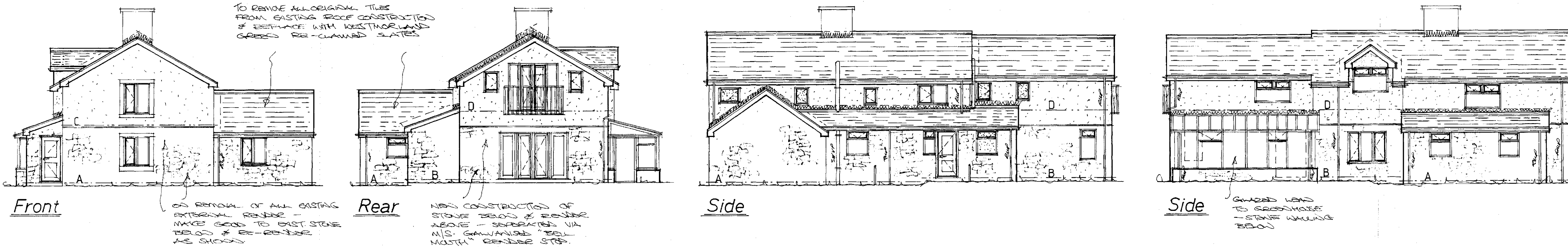
Section C~C₁

Rev	Notes	Date

Garry Greetham Associates Ltd Residential Design Consultant Westwood House 18 Carr Lane Tankersley Barnsley S75 3BE Tel (01226) 746573	
PROJECT	Various Extensions
CLIENT	Mr. & Mrs. N. Anthony
TITLE	Typical Sections
ADDRESS	"Cote Inn", Chapel Road, Pitley, Barnsley, S75 3AR
DRAWN BY	999
SCALE	1:50
DATE	Dec 14
DRAWING NO	751-05
REV	
<small>Member of the Chartered Institute of Architectural Technologists</small>	

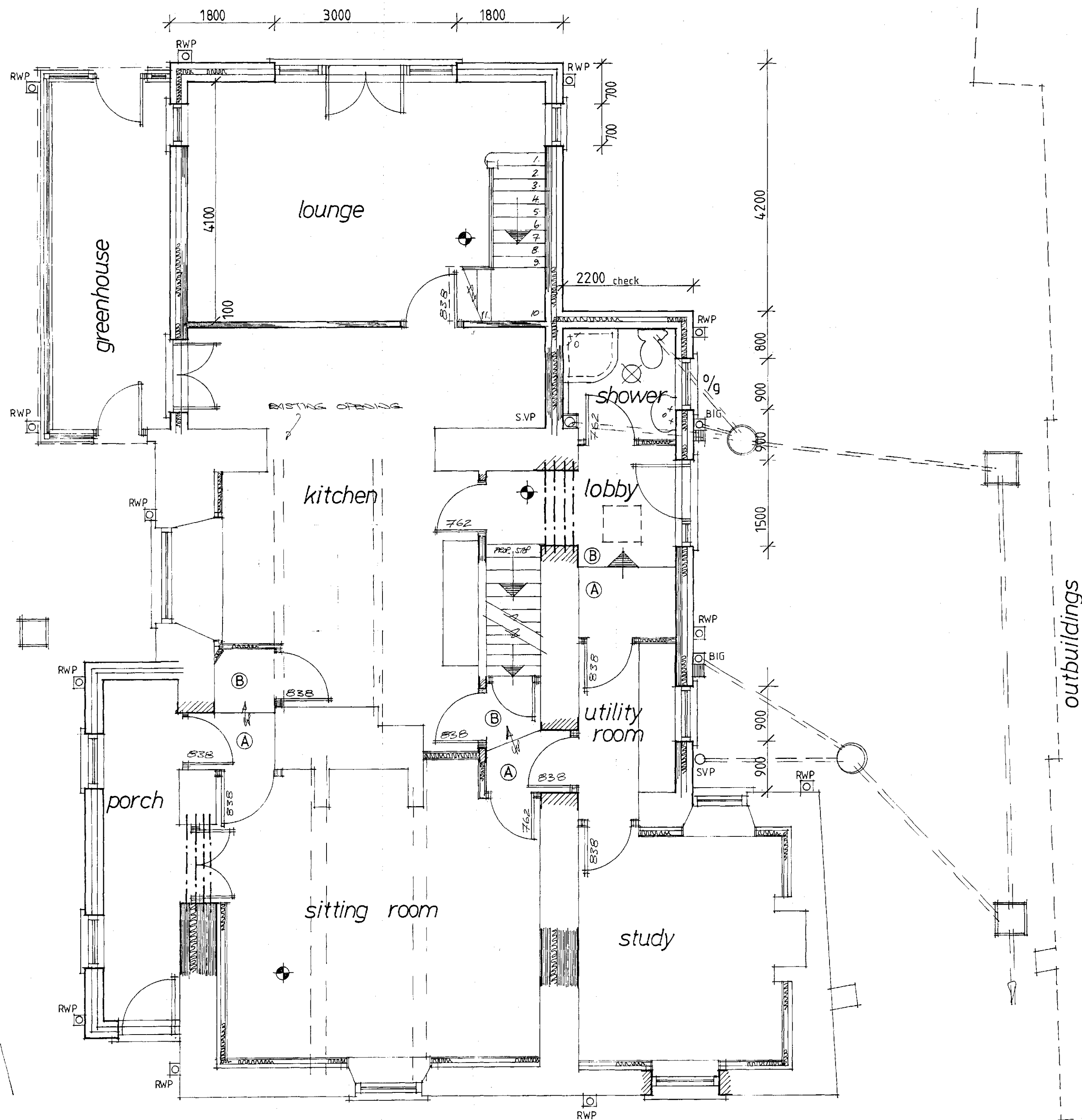
04 DEC 2014

Elevations

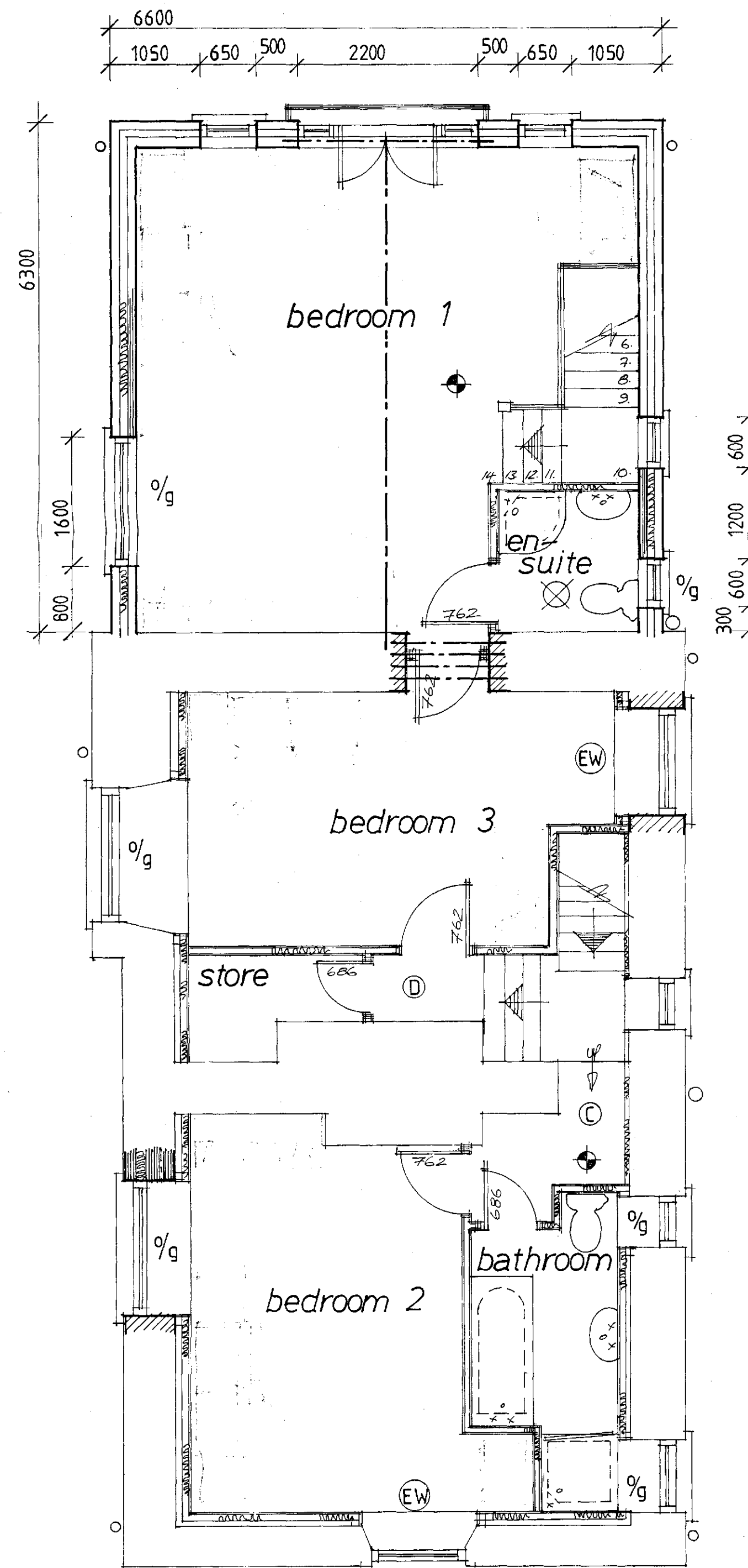


Layouts

Ground Floor



First Floor



This drawing to be read in conjunction with the Standard Construction Specification relating to this project.

This drawing is copyright. All dimensions to be checked prior to commencement on site and any discrepancy notified to the design office immediately. DO NOT SCALE - if in doubt, contact the design office.

The contractor/client shall be responsible to ascertain the nature of the foundations prior to commencement on site.

The contractor shall be responsible to ensure the suitability of all materials proposed for this project and fixings of such in accordance with manufacturer's instructions.

The contractor shall be responsible for formulating a working system to comply with the recent C.O.M. Regulations and all construction to be in accordance with document robust construction details (DTLR) - all if required & relevant.

The contractor shall be responsible to make good any damage caused to adjacent property during construction under the Party Wall Act 1996.

The client shall be responsible to inform the adjacent property owner of such works under the Party Wall Act 1996. For further information, free booklet and advice telephone 0181 691191.

If any work to be carried out on public sewers, to be done under control of Yorkshire Water Authority and if required any connection to public sewer requires 21 days notice to Yorkshire Water Authority telephone 0113-2354251 for details.

Full specification for new boiler if required to be provided by heating contractor prior to completion.

Any proposed boiler to achieve min. "SEDBUK" rating of 90%.

Space heating system controls (zone/time/boiler) and insulation of pipes/ducts to be in accordance with Part L1.

The Heating Engineer to issue suitable commissioning certificate in respect of heating system prior to completion and all operating/maintenance instructions issued to owner/occupier on completion.

The Electrical Contractor to issue any/all suitable commissioning certificate in respect of the electrical system provided for this project.

Denotes escape windows to be at least 0.33m² and be at least 750 mm high and 450 mm wide. To be located max. 1000 mm from floor to actual opening part of window and 800 mm min. height. (EW)

Denotes approx location of interconnected smoke detectors, mains operated with battery backup in case of power failure. (S)

Denotes wall mounted boiler positions with balanced flued outlet to ext. air. (B)

Denotes location of mechanical extraction unit direct to ext. air through wall at ground and first & second floors via ceiling mounted and direct to ext. air. (M)
 1) eaves vent where located at front or rear.
 2) tile vent where located more central.

The drawings are prepared for the purpose of Planning and Building Regulation Approvals only.

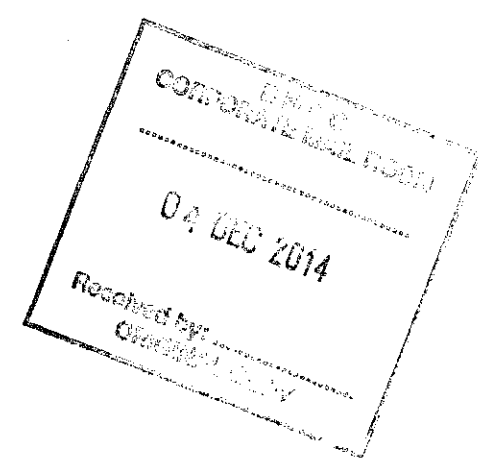
All the electrical and heating information are to be calculated by specialist contractors and to ensure are all under the "competent person's scheme" - the electrical/heating layouts, (if shown) are indicative only.

Kitchen layouts are indicative only. Please refer to the kitchen manufacturers layouts for details.

Staircases to be measured and designed by specialist manufacturer prior to construction on site - all to be in accordance with current Building Regulations Part K.

Denotes mild steel anchor straps applicable to leading joist sizes etc and ensure fixed in accordance with manufacturer's recommendations.

Rev	Notes	Date



B/Regs:

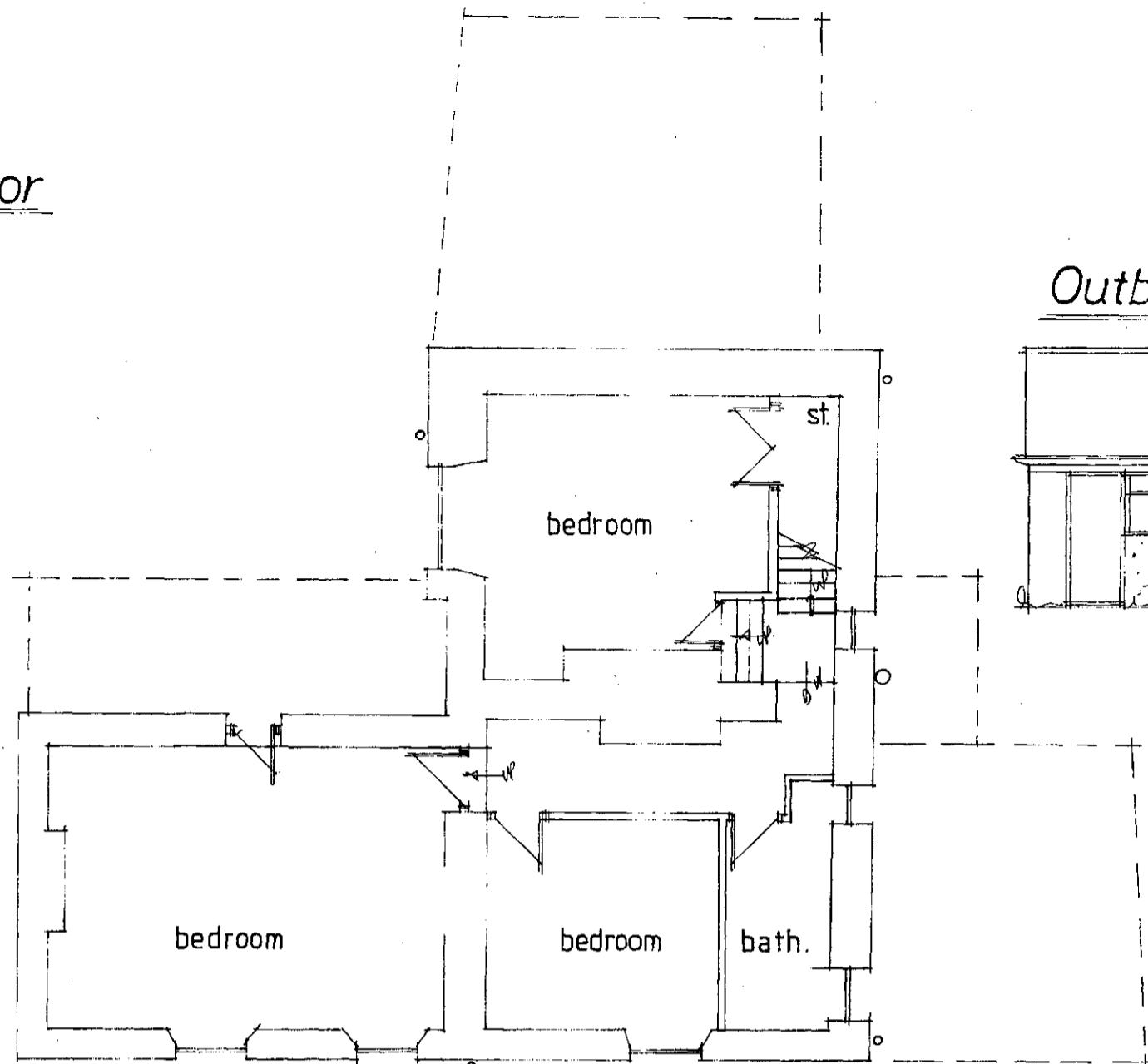
Planning:

Garry Greetham Associates Ltd
 Residential Design Consultant
 Westwood House
 18 Carr Lane
 Tankersley
 Barnsley S75 3BE
 Tel(01226)746573

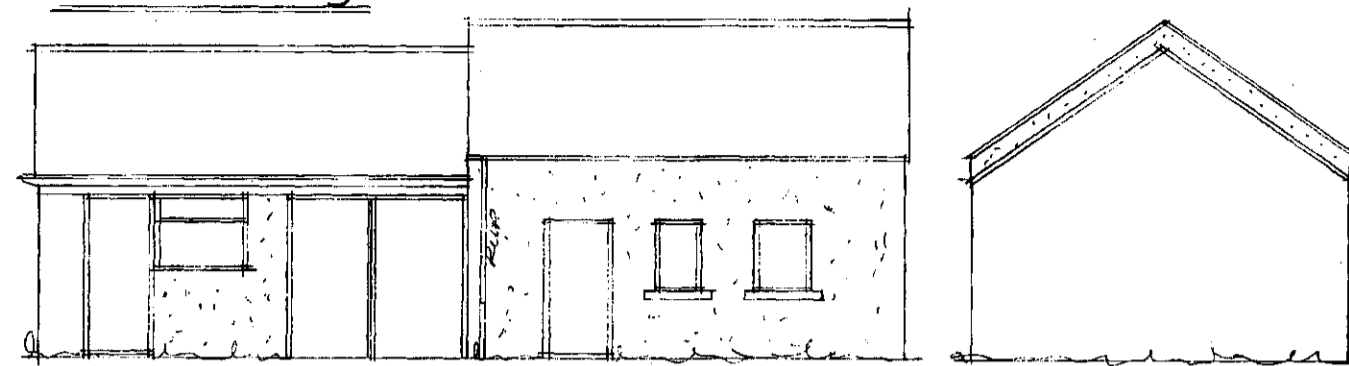
PROJECT: Various Extensions
 CLIENT: Mr. & Mrs. N. Anthony
 TITLE: Main Property as Proposed
 ADDRESS: "Gate Inn", Chapel Road, Pilley, Barnsley, S75 3AR
 DRAWN BY: ggg
 SCALE: 1:100; 1:50 DATE: Dec 14
 DRAWING No: 751-04 REV: 1
 Member of the Chartered Institute of Architectural Technologists

Layouts

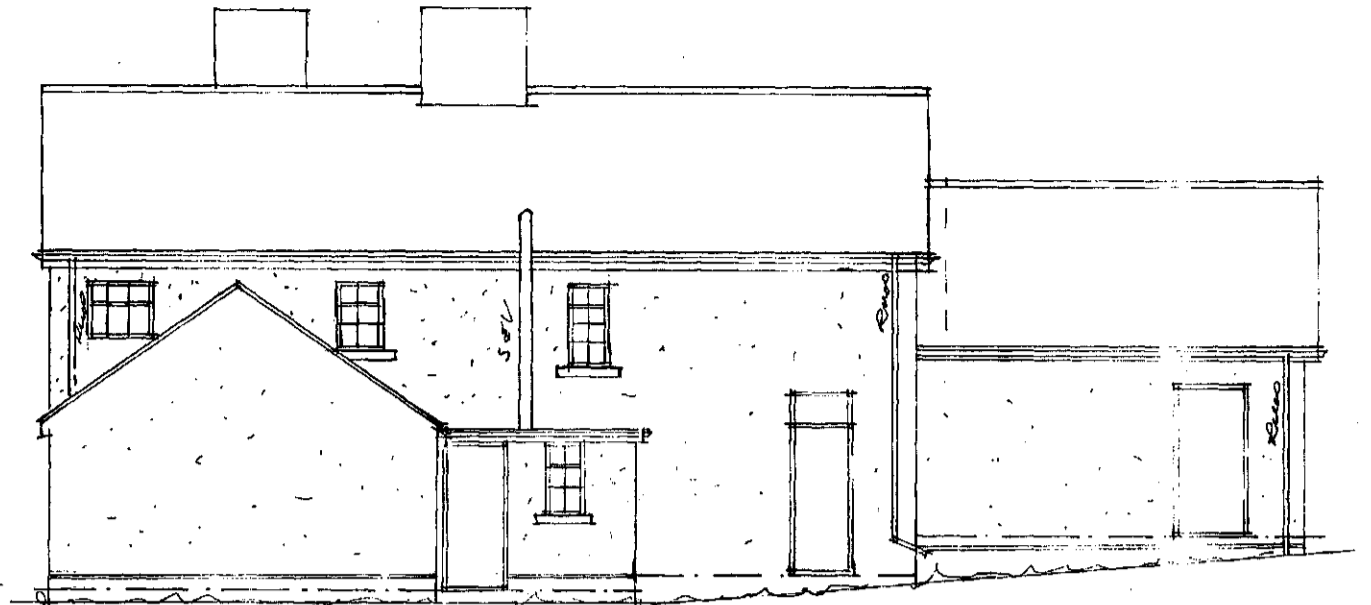
First Floor



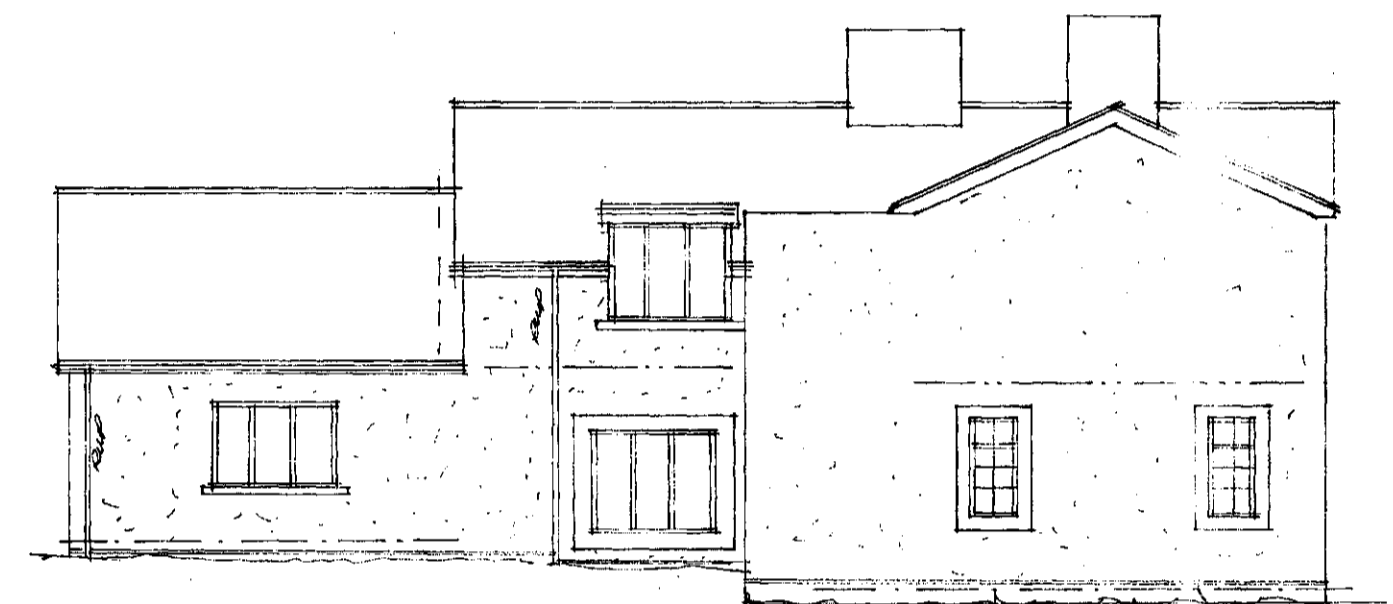
Outbuilding



Elevations

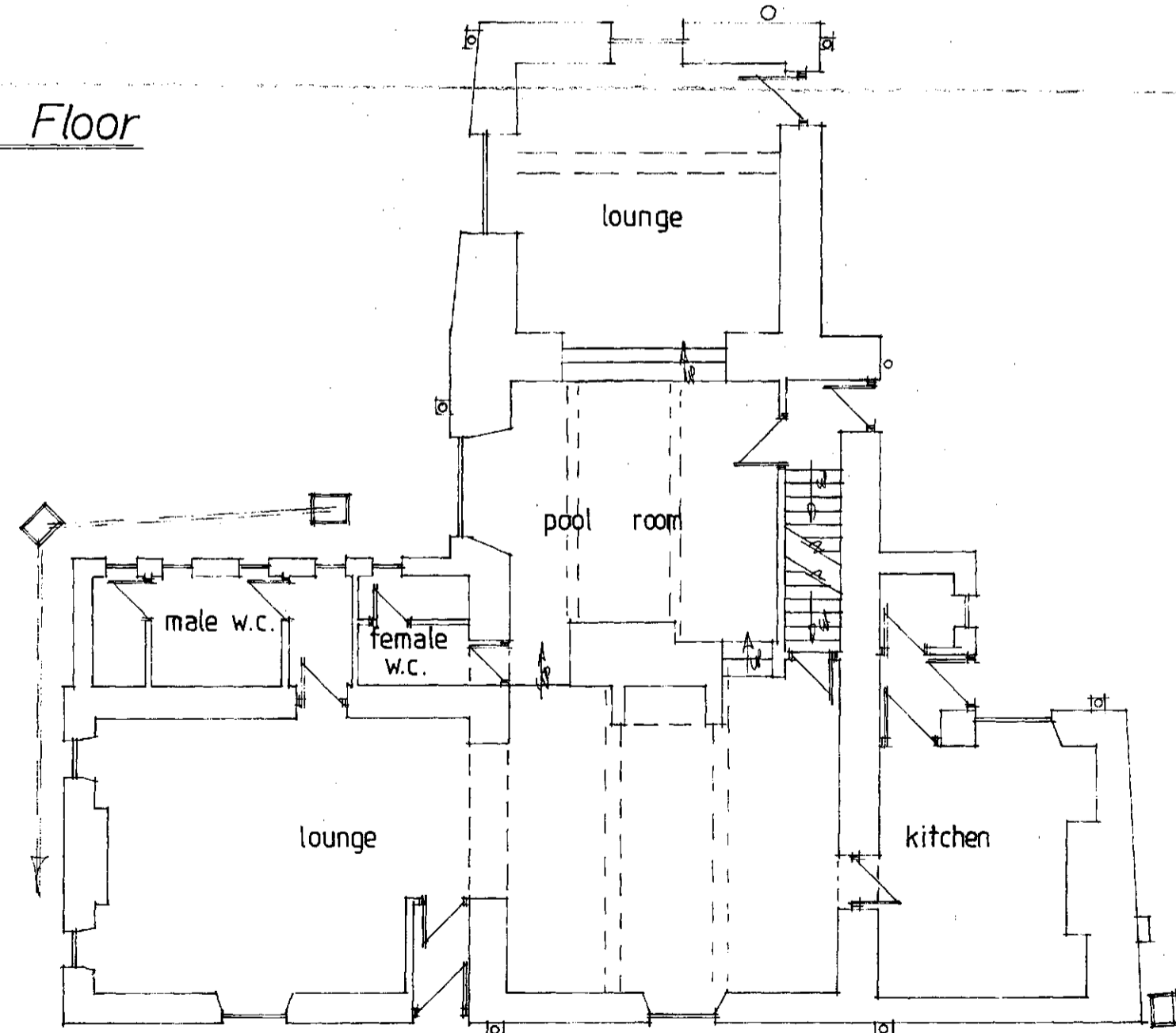


Side

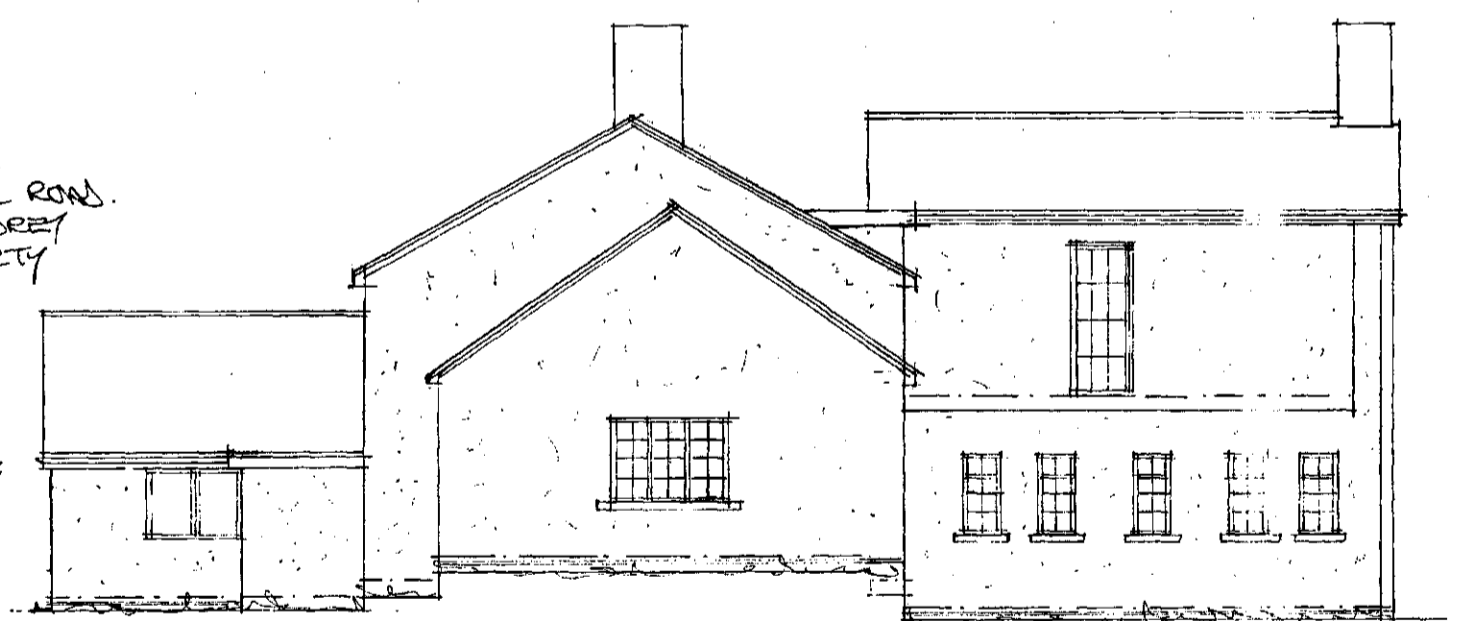
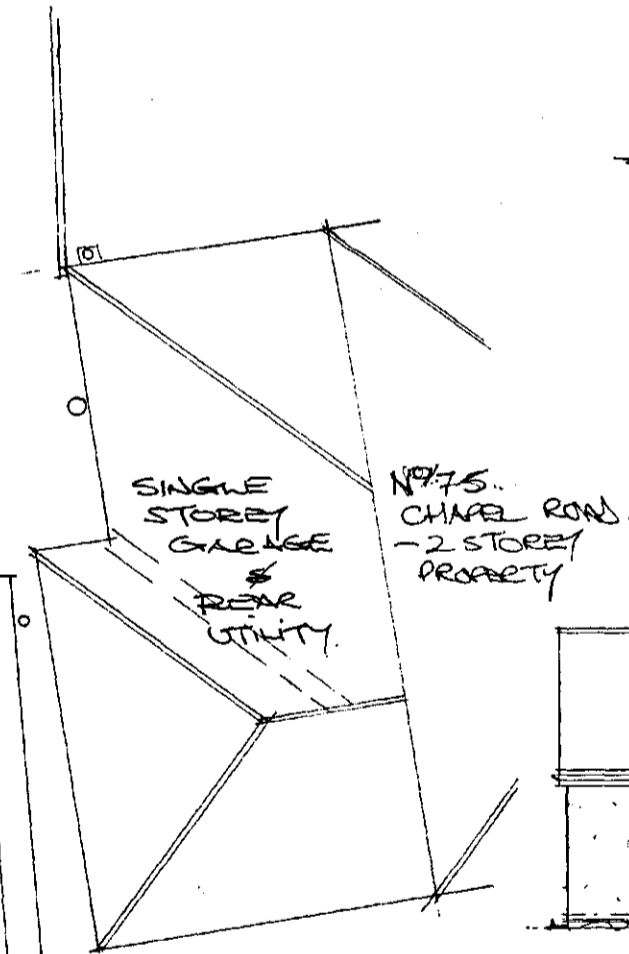
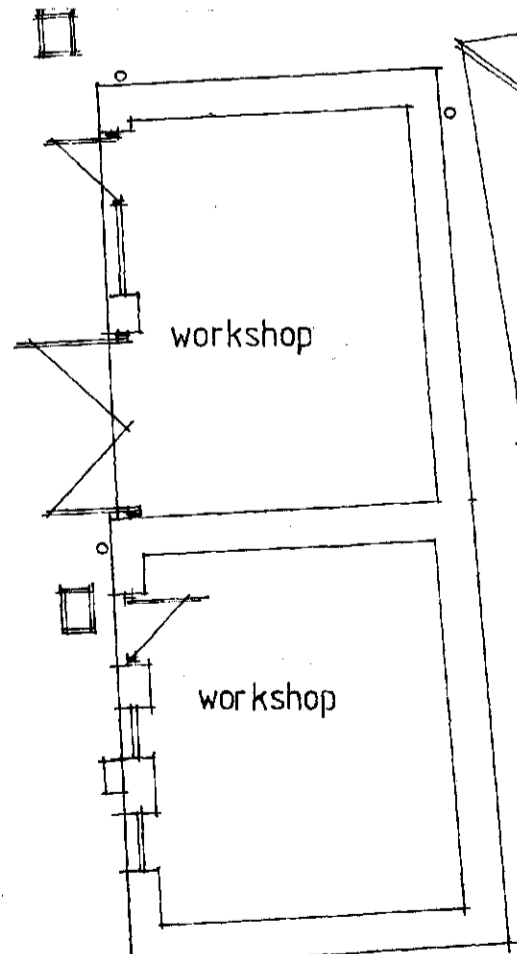


Side

Ground Floor



Rev	Notes	Date
Garry Greetham Associates Ltd Residential Design Consultant Westwood House 18 Carr Lane Tankersley Barnsley S75 3BE Tel(01226)746573		
PROJECT Various Extensions		
CLIENT Mr. & Mrs. N. Anthony		
TITLE Property as Existing		
ADDRESS "Gate Inn", Chapel Road, Pilley, Barnsley, S75 3AR		
DRAWN BY 999		
SCALE 1:100 DATE Dec14		
DRAWING No 751-03 REV		
<small>Member of the Chartered Institute of Architectural Technologists</small>		



Rear



Front

B.P. 13
 CORPORATE MAIL ROOM
 04 DEC 2014
 Received by
 CHANDU KOPPY