

RESIDENTIAL DEVELOPMENT

PANTRY HILL

WORSBROUGH DALE

BARNSLEY

PROPOSALS

TYPE A - Units 1 and 2

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Scale 1:100 @ A2 Drawn MJB

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Dwg No. P11 Rev. F

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Rev A 07.03.2022 - Design amended.

Rev B 08.03.2022 - Amend design.

Rev C 24.03.2022 - Amend design.

Rev D 30.05.2022 - Increase Bed1 and Study/Bed 4.

Rev E 20.02.2023 - Amend position of garage Unit 1.

Rev F 04.05.2023 - Omit Garage to Plot 1 and move Bed 1 window to Side Elevation (west).

SPECIFICATION

Roofing:
Plain dark grey lintellocking concrete roof tiles with matching angles dry-fixed ridge tiles and dark grey dry verges.

Rainwater Goods:
Half round or deep flow gutters and circular rainwater pipes in dark grey fixed to white UPVC fascia.

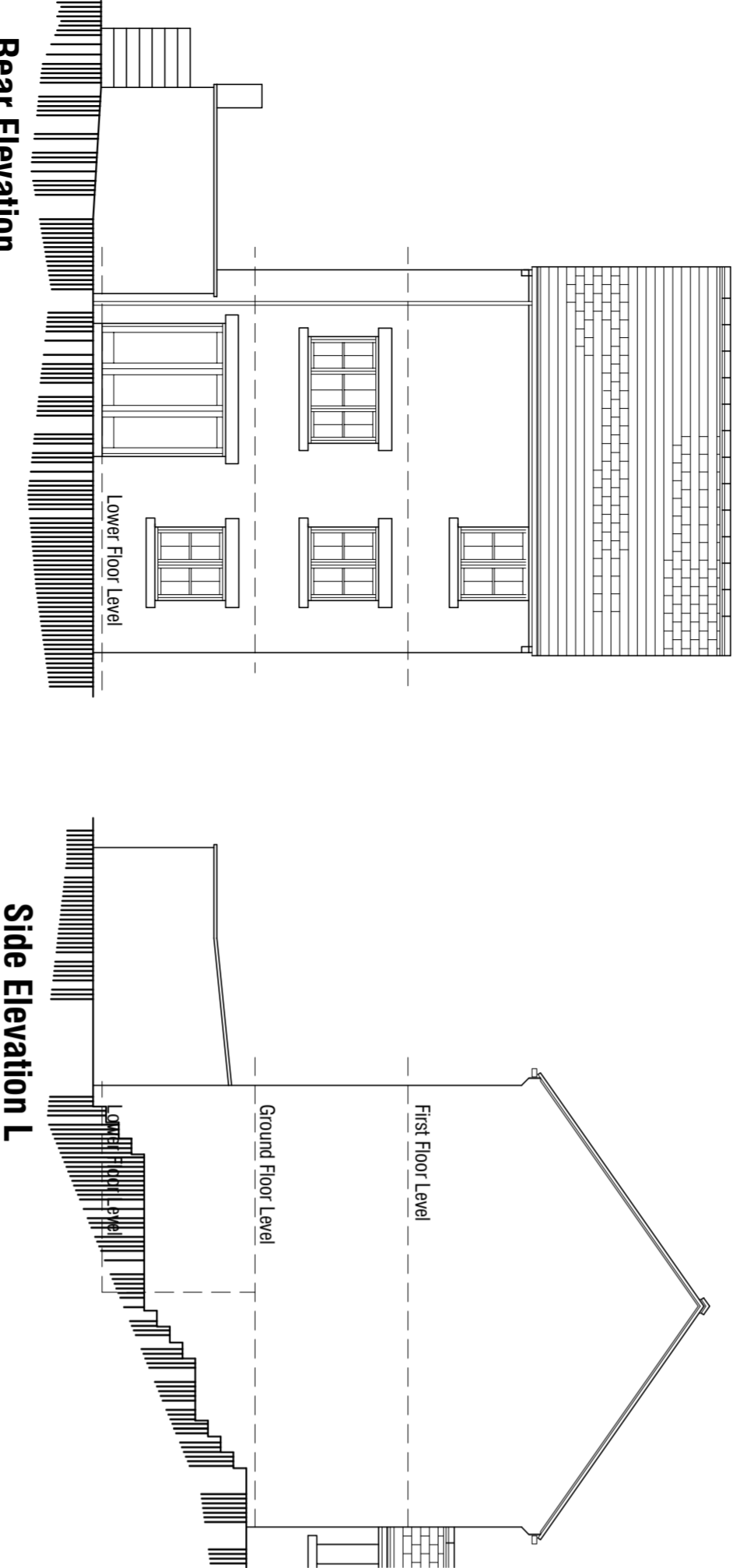
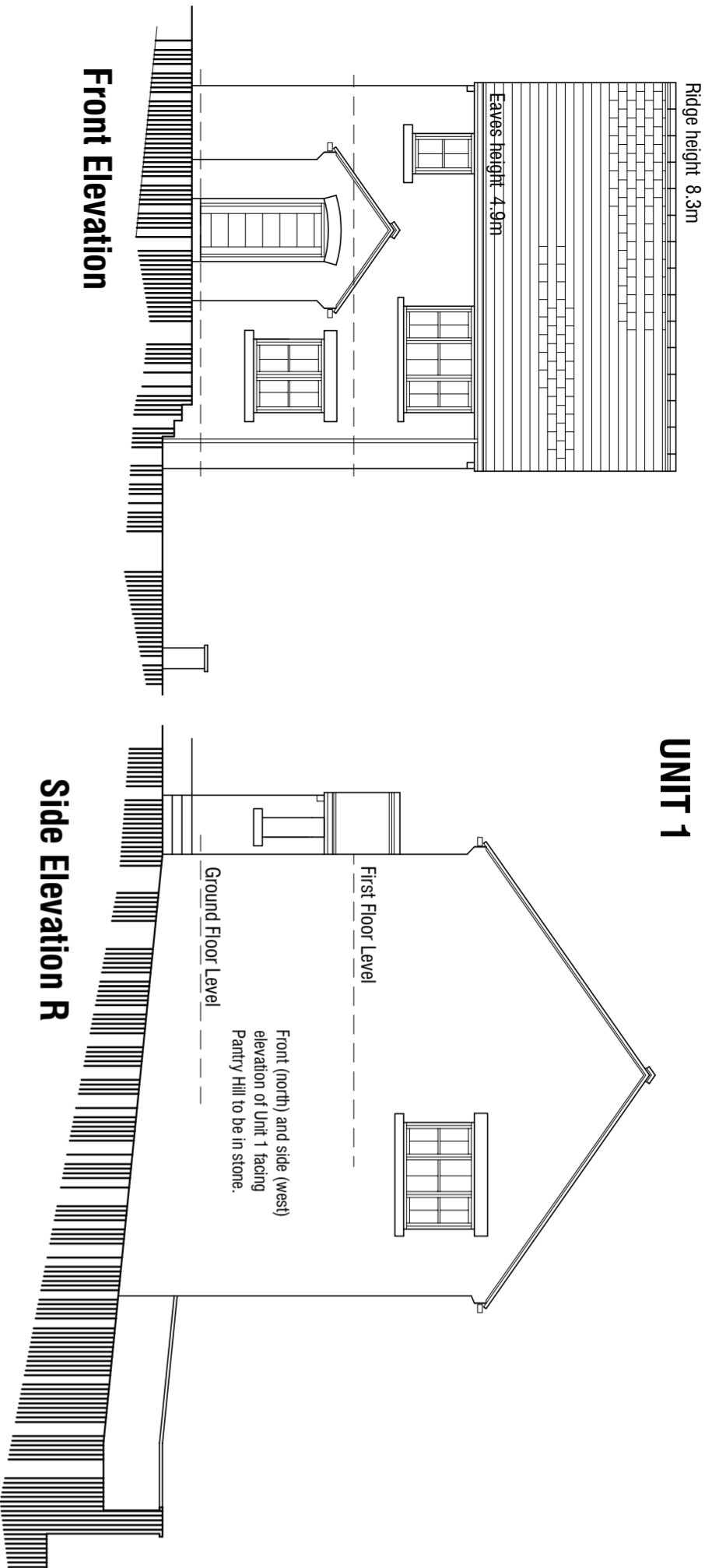
Walling:
Front elevation in natural sandstone stone in 1,400mm high courses with stone lintels and cills. Sides and rear elevations to be in multi-red brick with stone insets and cills or contrasting smooth red brick soldier heads and cills.

Windows:
Off white UPVC windows to design shown set in 75mm reveals and sealed to masonry with flexible mastic.

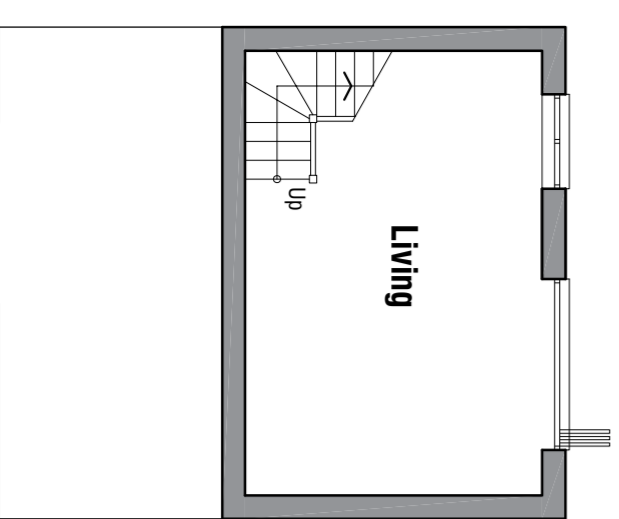
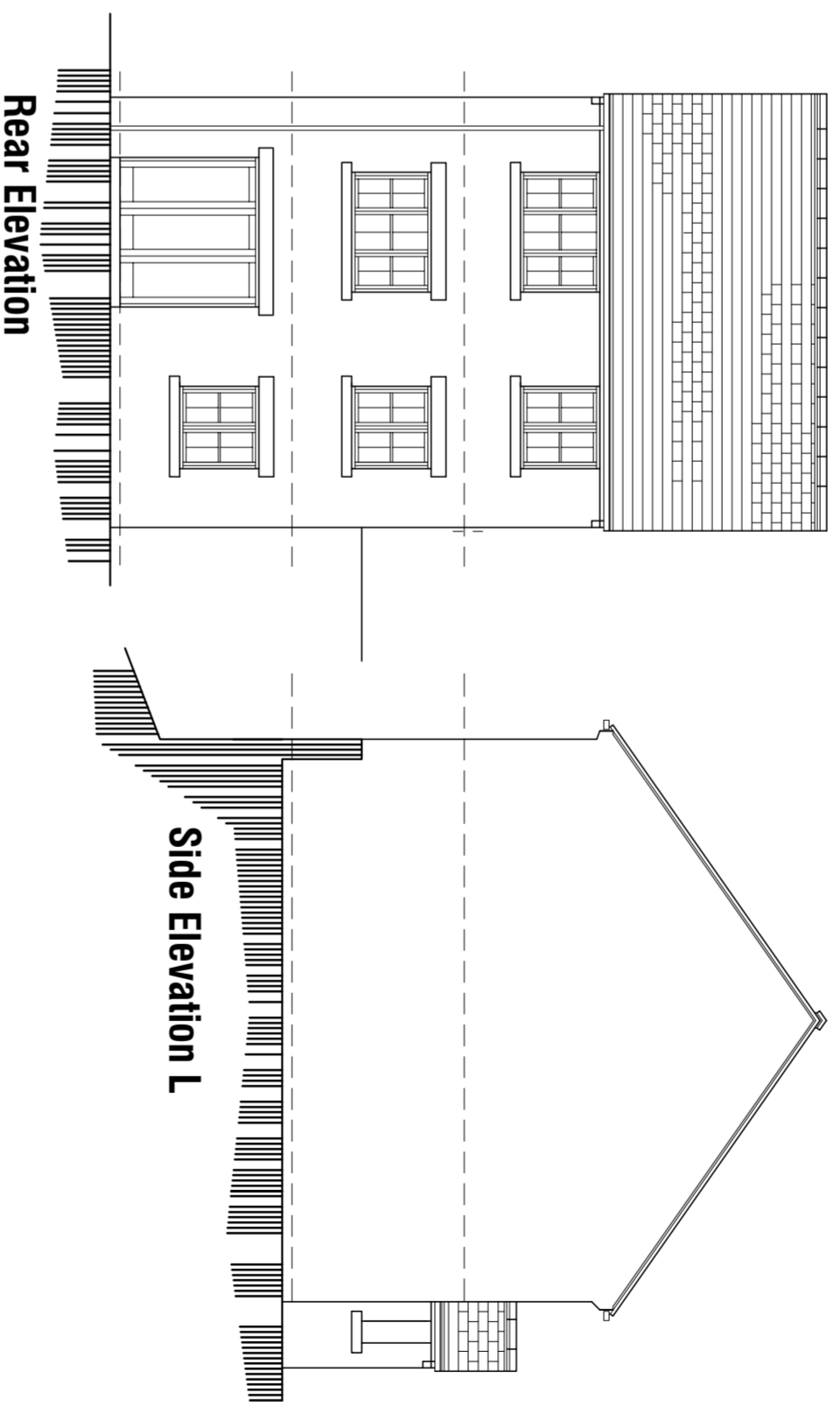
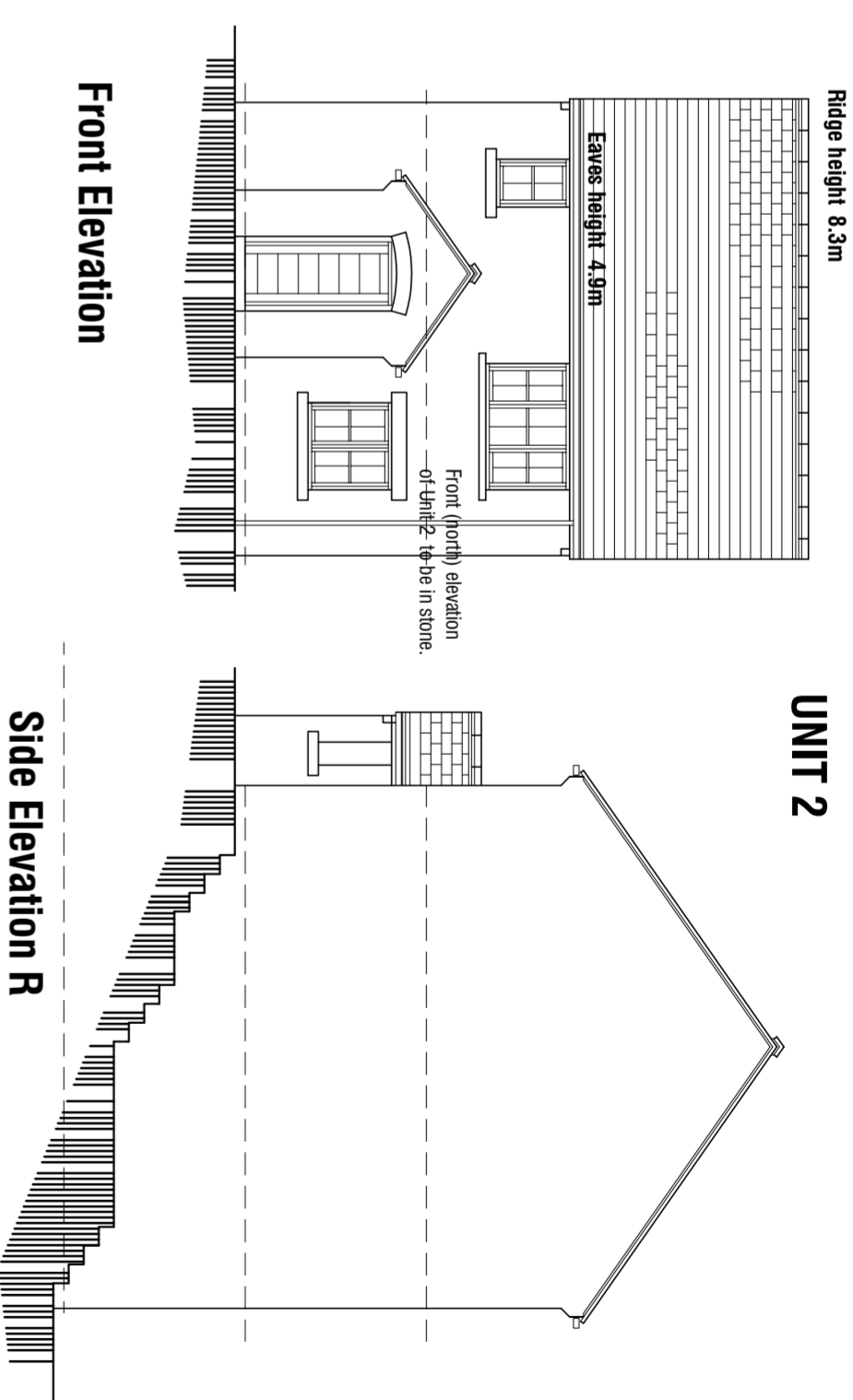
Doors:
Doors to be composite construction in mid-grey or black with matching frames set into 75mm reveals as before. Bi-fold doors from Living Room to garden in mid-grey to match.

Garage doors to be GRP up and over action in mid-grey finish to match doors.

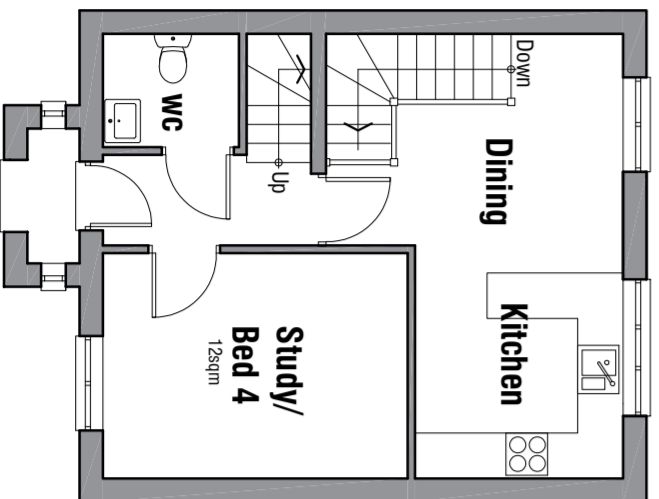
UNIT 1



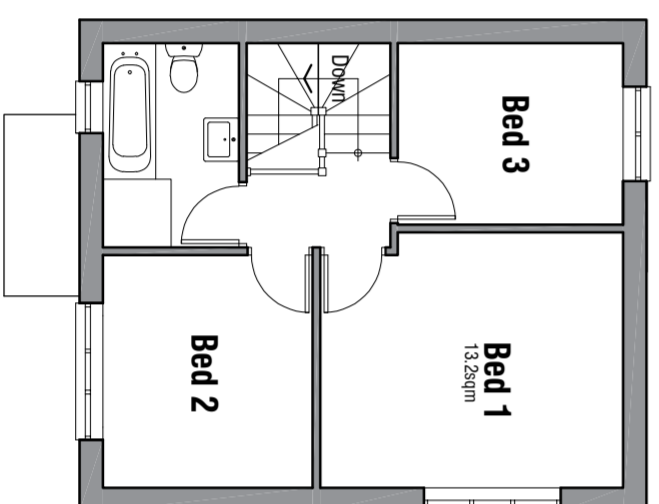
UNIT 2



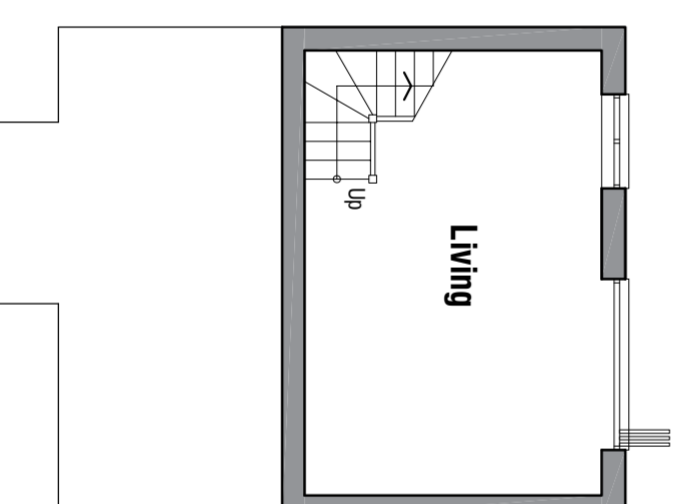
Lower GF Plan
Gross Int Floor Area 23.0sqm



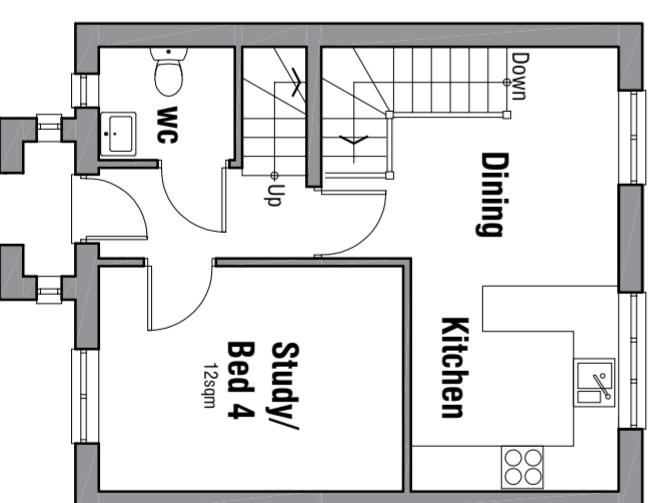
Ground Floor Plan
Gross Int Floor Area 40.4sqm



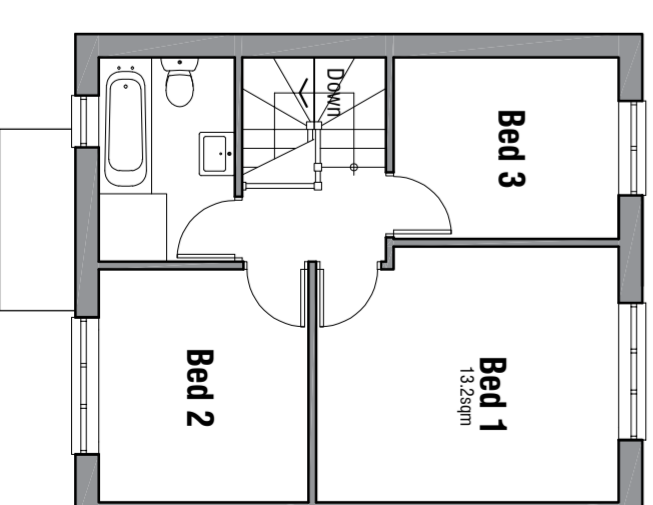
First Floor Plan
Gross Int Floor Area 40.4sqm



Lower GF Plan
Gross Int Floor Area 23.0sqm



Ground Floor Plan
Gross Int Floor Area 40.4sqm



First Floor Plan
Gross Int Floor Area 40.4sqm