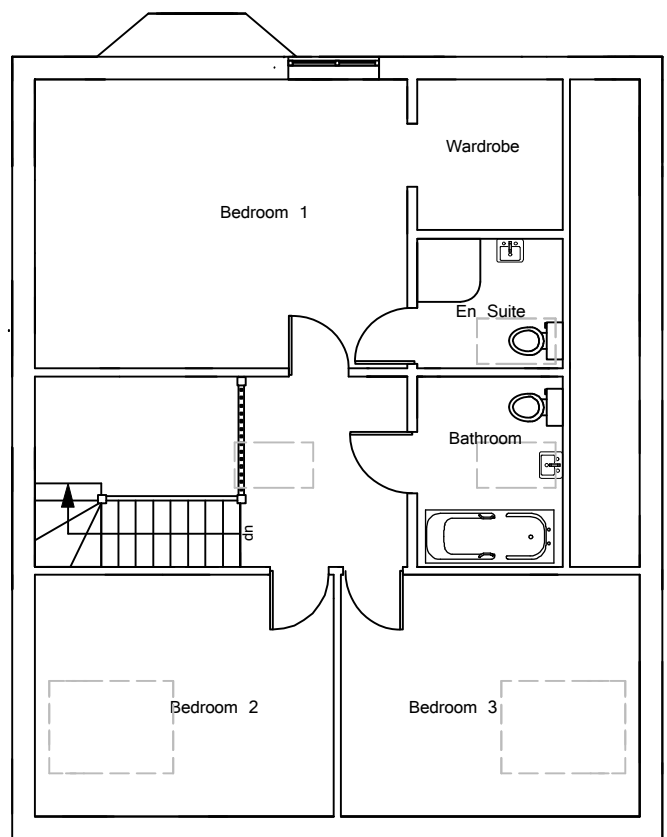
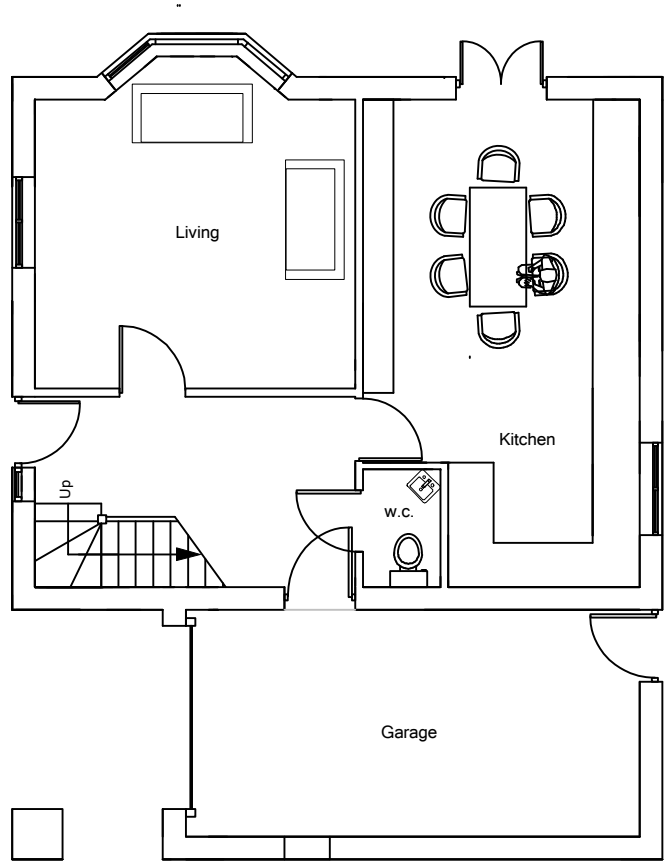
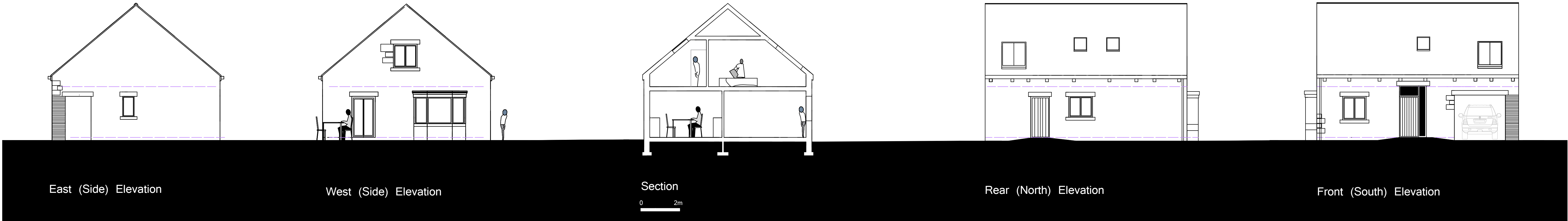


Roof



First



Ground

Notes	
Walls	
Stonefacing brick To Be Agreed With Planning Officer	
stone heads	
projecting stone sill	
Roof	
Birdsafe or Thistleone	
conservation rooflight	
Brett Martin Cast Or Stormguard Aluminium	
Half Round Gutter	
Windows	
Residence Collection Or Similar	
Upvc Flush Fitting Casements.	
Detailing To Be Repeated Across Window Types.	
Windows Set Back 50mm In Reveal	
RAL Number To Be Agreed	
All Soil And Vent Pipes To Be Internal	

Garage

Notes/Advisories

No Drawings To Be Quoted From This Drawing When In The Property Of The Company AND, LTD. It Is Not To Be Used Or Displayed In Any Way Except As Authorised By The Company	The Drawing Will Not Be Assigned To Any Third Party. The Client Is Responsible For Providing The Architect With The Correct Site Boundary/Ownership Information And Any Consents Or Permissions Relating To The Site. AND, LTD Will Assume Site Boundaries Are Clearly Defined/Indicated, Unless Otherwise Informed By The Client	Principal Consultant/Designers/Engineers Is Responsible For Drawing Notes And Signed Off And Certificate Of Completion Is Issued By Building Control	It Is The Responsibility Of The Principal Consultant To Notify The Architect Of Any Discrepancies On The Drawing Prior To Construction. All Dimensions To Be Checked On-Site If In Doubt Ask!
The Architect - AND, LTD Owns All Intellectual Property Rights Including The Copyright In The Drawings And Consents Published In Relating The Services And Generally Assents The Architects Moral Rights To Be Identified As The Author Of Such Work. No Part Of Any Design By The Architect May Be Reproduced By The Client Without Written Consent Of AND, LTD	No Work To Be Carried Out Without Planning Permission. Until All The Best Planning Conditions Have Been Discharged And Until A Building Regulations Application Has Been Submitted. Any Work Carried Out Before Building Regulations Approval Has Been Granted And Any Contradict Drawings Will Be Struck At Clients Own Risk	Any Building Works Within Six Of A Neighbouring Home's Foundation May Require You To Notify The Owner Of Your Property Of Your Intention. At Least One Week Before You Start Work. Work To An Existing Party Wall Requires You To Give At Least Two Months Notice Of Your Intention If Consent To Carry Out Work Cannot Be Reached Provisions Dealing With A Dispute Should Be Followed (the Party Wall Act 1996).	ALL WORKS MUST COMPLY WITH CDM 2015
NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!			

REVISION NOTE		DATE	DRAWN BY
Andrew Bailey		PADDOCK ROAD	
Architect		PHASE 2-3	
CLIENT		PRM PRIORITIES LTD	
DRAWING TITLE PLANS SECTION AND ELEVATIONS		DWG NO.	REV
WORK STAGE 3 - DEVELOPED DESIGN		DRAWN BY	WBS
RIBA #		CHECKED	WBS
AND, LTD		10 LARCHES, ROAD HORNBY, LINCOLN LN	
T: 01205 162690 E: ANDREW@ANDARCHT.COM W: www.andarcht.com		Copyright © 2022 AND, LTD	
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