

05

Design Development

05: Design Development Eldon Street Elevation

Eldon Street facade

The Eldon street frontage is an area of high significance (refer to Heritage Statement section 2.5.3 for more details). As the images adjacent demonstrate much of the facade has remained the same or similar. The shopfronts remained a fluid feature as the nature and need of the spaces on the ground floor change over time. The entrance canopy seen in image 01 is believed to be the original built in the early 1900's. This canopy was removed and reinstated as a replica of the original in the 1960's and therefore the canopy we see today bears no heritage significance.

The proposals take into account the Grade II listed buildings existing characteristics and aim to enhance and retain much of these features. The next few pages will offer justification for design decisions made.

Key design changes made to the Eldon Street facade are as followed:

- + Redesign of the shopfronts, signage fascia and removal of the existing security roller shutters.
- + Separate residential entrance with own internal lift and staircase which requires access off Eldon Street.
- + The removal of the entrance canopy.
- + The removal of the pigeon netting and fixings

Through several consultations with The Civic about how they wish to operate and manage this elevation; discussions with the HAZ officer, planning and conservation officers about the design proposals and in close consultation with the heritage consultant, these design changes on Eldon Street have been carefully considered.

The images adjacent from 01 - 04 show the evolution of the Eldon Street facade. Much of the existing elevation has remained the same, however the shopfronts and canopy have changed throughout the building's history to accommodate the variety of uses on the ground floor.

Refer to Heritage Impact Assessment section 4.2.1



Barnsley Council Archive image



1963 Archive image



Copyright: Sheffield Hallem University



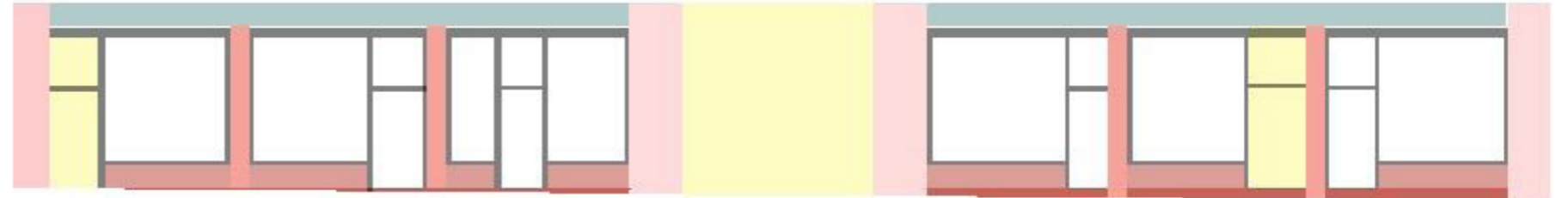
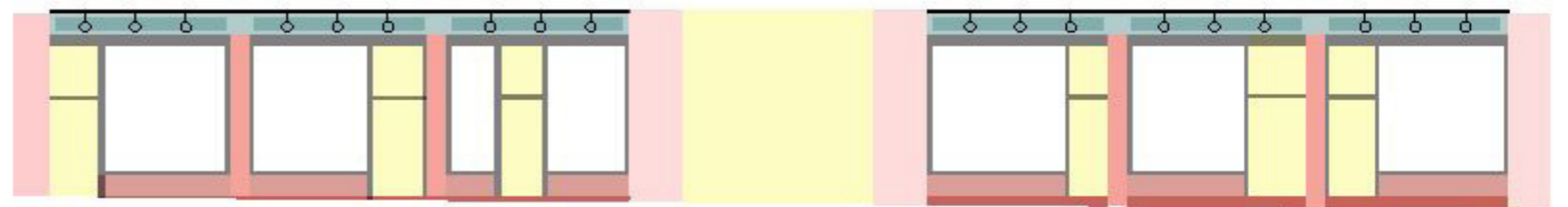
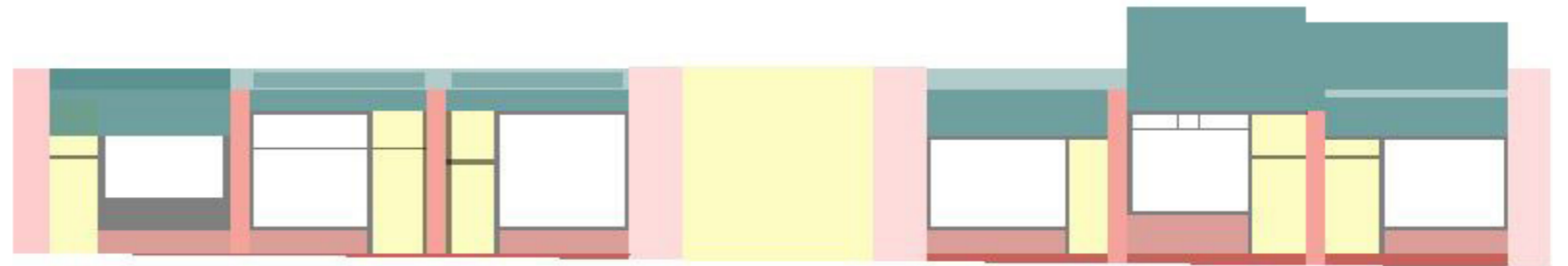
Barnsley Council Archive image

05: Design Development Eldon Street Elevation

Evolution of the shopfronts

This demonstrates a block colour analysis of the shopfront components dating from 1963 to present day demonstrating the evolution of the facade design. It is clear to see that they have evolved to accommodate the change of uses on the ground floor. This went from individual shopfronts and stores requiring individual entrances, signage and glazed displays to present day where access points have been reduced to suit a single space behind on the ground floor.

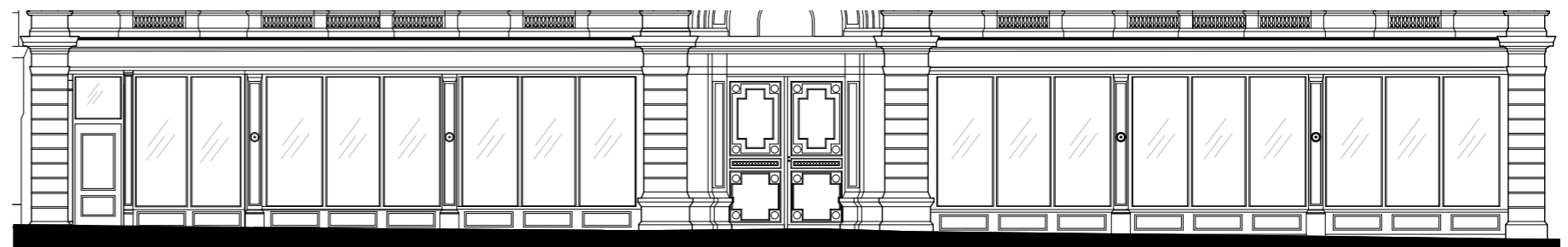
The design proposal aims to take this one step further and retain access to the left as the residential access and retain the main entrance as single access to the large, single lettable space behind. This will provide a unified frontage, meet the security issues by reducing access points, removing the roller shutters and introducing security through the glazing.



Facade Components

- Cast iron pilasters
- Stone
- Stall risers
- Base step
- Signage
- Fascia
- Entrances
- Timber Frames
- Timber pilasters

STAGE 3 PROPOSAL



05: Design Development

Eldon Street Elevation

Existing facade

The existing shopfronts are formed of:

- + Iron pilasters
- + Stall risers
- + Differing window frames and proportions
- + Canopy
- + Two entrance doors

Proposed facade

The proposed shopfronts have been designed to retain and enhance existing features and characteristics on Eldon Street.

- + Canopy
The current canopy has attracted undesirable behaviour and loitering due to the shelter it provides and has a poor relationship with the entrance stonework. The Heritage Statement section 2.5.4 refers to the canopy of having limited benefit of removing the canopy and replacing it with another replica canopy. By removing the canopy, it provides an opportunity to repair the decorative stonework around the entrance and reveal the detailed and original entrance. Along with the lighting this will re-emphasise the main entrance to The Civic.

- + Window / Glazing
Doors to the shopfronts are removed and the proposed fenestration follows the patterns and rhythm of the existing upper floors of the Eldon Street facade. The proposals create a single space use showcasing a revived active frontage with simple large panes of glass set within timber framing between the existing cast iron pilasters with a slight recessed jamb. The new shopfronts have been designed respecting the rhythm and proportions of the existing buildings as seen in the diagrams adjacent.

- + Fascia
The removal of the existing security shutters will enable a new fascia to fit more sympathetically and improve its relationship between the fascia and the existing decorative stonework. The removal of the roller shutters will also create a more welcoming and transparent environment with the glazing providing the required security.

- + Doors / Access
Currently modern doorways conflict with the proposed use of a single lettable space and therefore the access points have been reconsidered. A separate resident's entrance is required to ensure the security and provide a prestigious

presence and entrance from Eldon Street to the new high quality apartments on the first, second and third floors. The entrance resembles the existing door in this location but with solid panelling to provide privacy and security.



Site Photograph



Barnsley Civic 1963



Existing Facade Analysis



Proposed Facade Analysis

05: Design Development

Eldon Street Elevation

Eldon Street facade Proposal

[1]. Ashlar and decorative sandstone to receive a gentle cleaning with DOFF system to remove algae & paint staining particularly to areas of water runoff. Cleaning to focus on the moulded details where the staining is the most significant and will be subject to a trial sample area to ensure that it is a suitable method, particularly to the areas of stone erosion. Following cleaning the sandstone will be brush / dress back to remove any loose and decaying masonry and a management & maintenance plan will be recommend along with a quinquennial survey routine.

[2]. To the entrance area at low level stone indents to areas to prevent significant ongoing erosion and create a strong visual impact to welcome visitors to the building. Extent indicated in blue opposite.

[3]. Areas of previous render repairs will require a high-level inspection and hammer test to determine the extent of any loose render repairs which will be removed. Minor repairs will be carried out to fix holes, some poorly patch repairs and open mortar joints. Allowance for repairs to stone surround on removal of shutter guides.

[4]. The current signage fascia with integral roller shutters will be carefully removed to determine if any parts of the historic signage fascia are to be retained. Following inspection, a replacement painted soft wood timber fascia will be provided to follow the historic profile.

[5]. The existing decorative timber main entrance door will be redecorated following a paint analysis.

[6]. The existing shopfronts will be carefully removed retaining the cast iron pilasters. A paint analysis will be carried out before the cast iron pilasters are repaired and redecorated. Open joint to the masonry to be closed off with burnt sand mastic.

[7]. New shopfronts, proposed between the pilasters, will be timber frames with double glazed units. Windows will be slightly recessed behind the existing pilasters and stonework and reflect the proportions of the building. Timber mullions and glazing bars will be used to break up the window into smaller compartments as indicated.

[8]. New stall riser will be provided as a visual and structural base for the shopfront with a moulded projecting cill. The panelled timber riser will be sat on the existing plinth and finished with a sacrificial skirting detail.

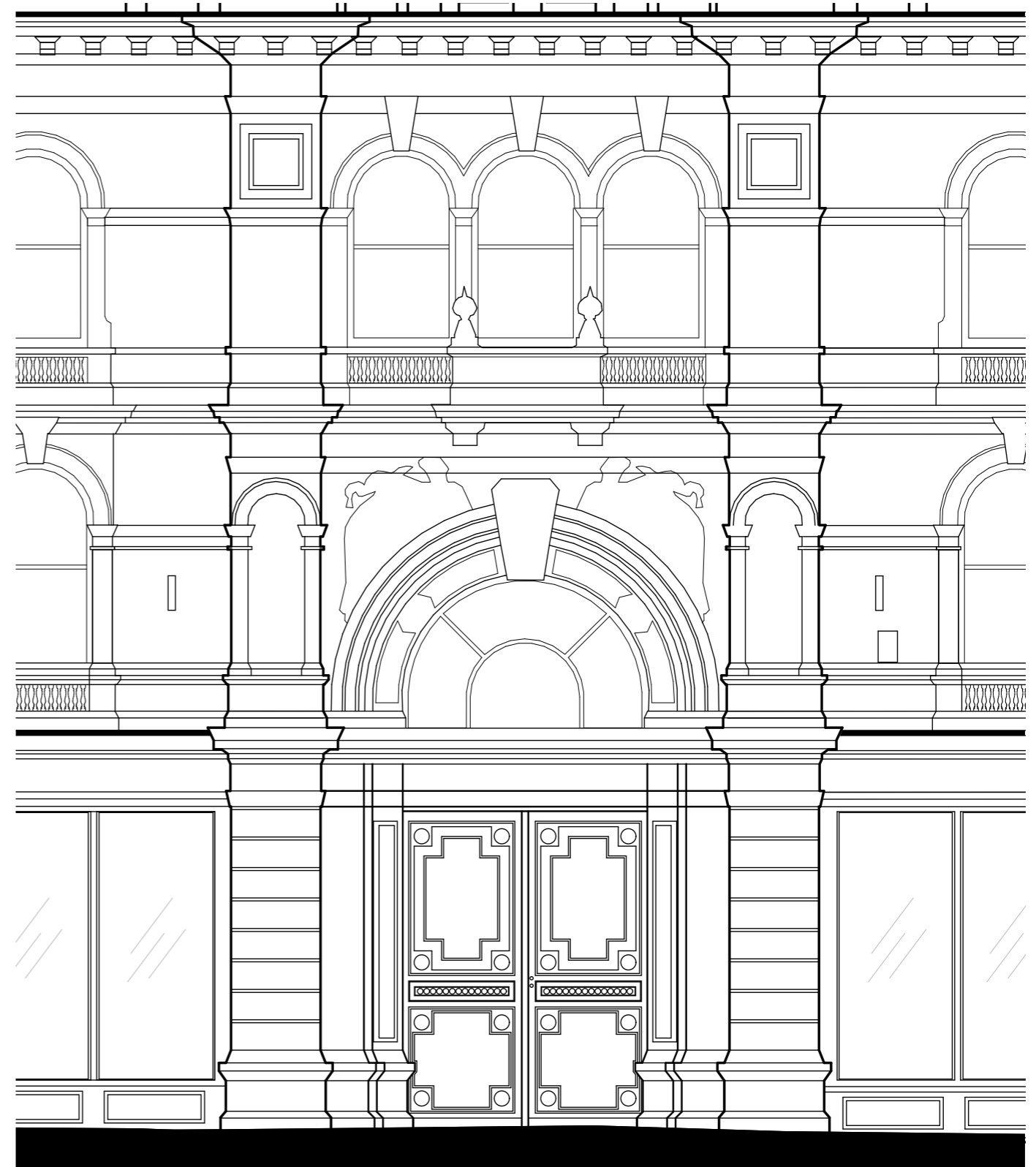
[9]. New painted timber doors and slim timber pilaster divider to create a new residential access.

[10]. The replacement of early 1900's canopy as part of the 2006-2009 works will be removed to expose the building's round-arched centrepiece. This is topped by a carved keystone depicting Henry Harvey and two figures representing art and science in the spandrels to either side. The centrepiece will have external lighting to enhance the appearance of the building.

[11]. The existing bird protection netting across the façade will be removed. Alternative, less visible deterrents and a pigeon deterrent system will be installed.

[12]. The sash windows at 1st and 2nd floor and the circular casement windows / smaller sashes at 3rd floor will be redecorated and sealed with new burnt sand mastic.

Refer to Heritage Impact Assessment section 4.2.2



05: Design Development
Eldon Street Elevation



Proposed Eldon Street Elevation

05: Design Development Eldon Street Elevation

Indicative Section of the shopfronts

The new glazing units will fit neatly behind the existing pilasters and the stonework. This will mimick the existing features and the timber frames and mullions will reflect the existing proportions of Eldon Street Elevation.

Please note this is an indicative section awaiting further site investigations.



05: Design Development Pigeon Deterrent

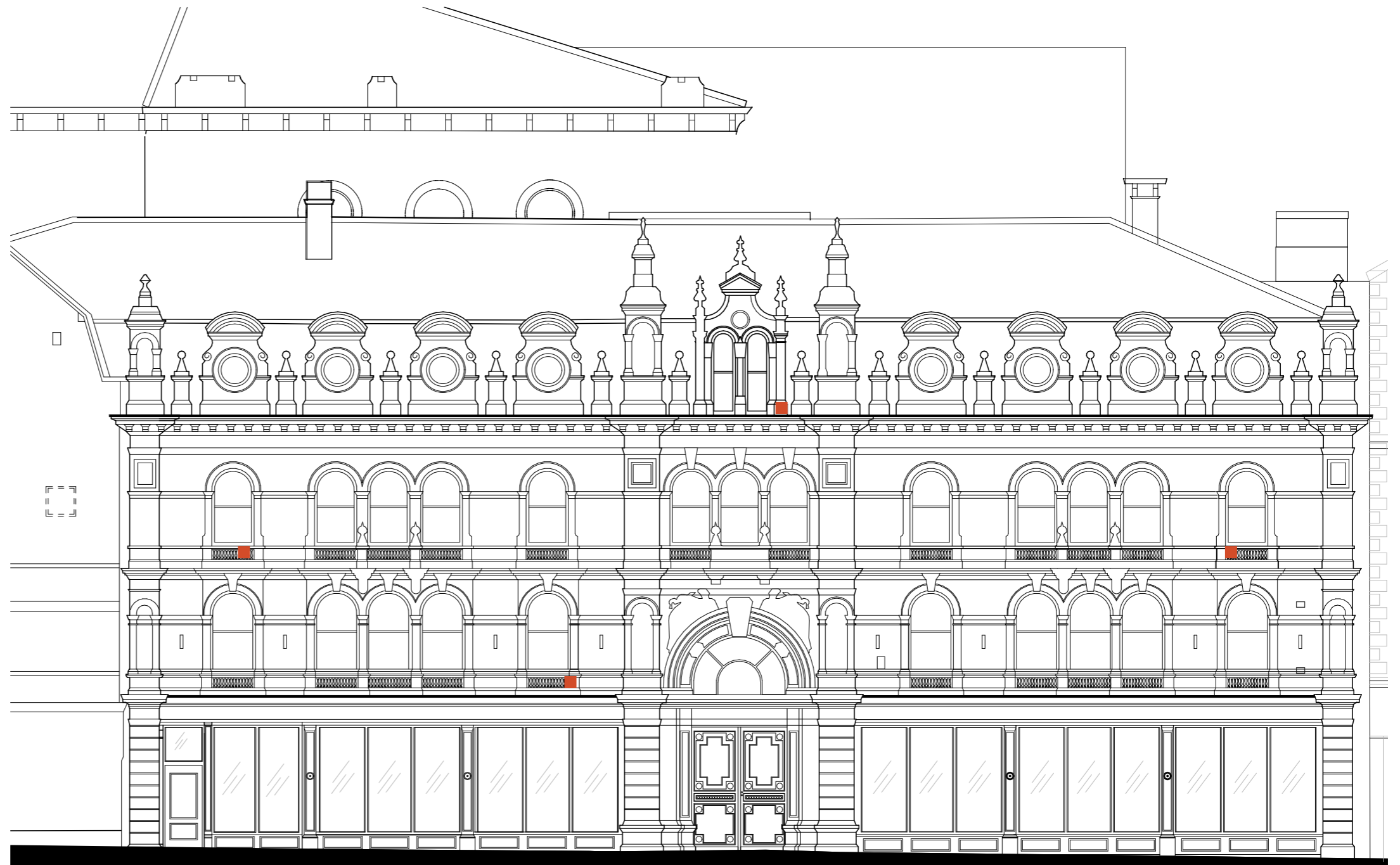
Removing the Existing Pigeon netting

The existing pigeon netting and fixings are to be removed and a new pigeon deterrent to be added. From advice from the ecologist they recommend using a transmitter to replace the netting as they are much less intrusive and remove the need for multiple fixing other options would require.

The system is efficient and the number of transmitters as recommended by manufacturer will be spaced appropriately on the eldon street facade (potential locations indicated). They don't require intrusive fixing and are securely fixed to facade and discreetly placed adjacent the windows so the batteries can easily be maintained.



<https://pigeon-deterrent.co.uk/>



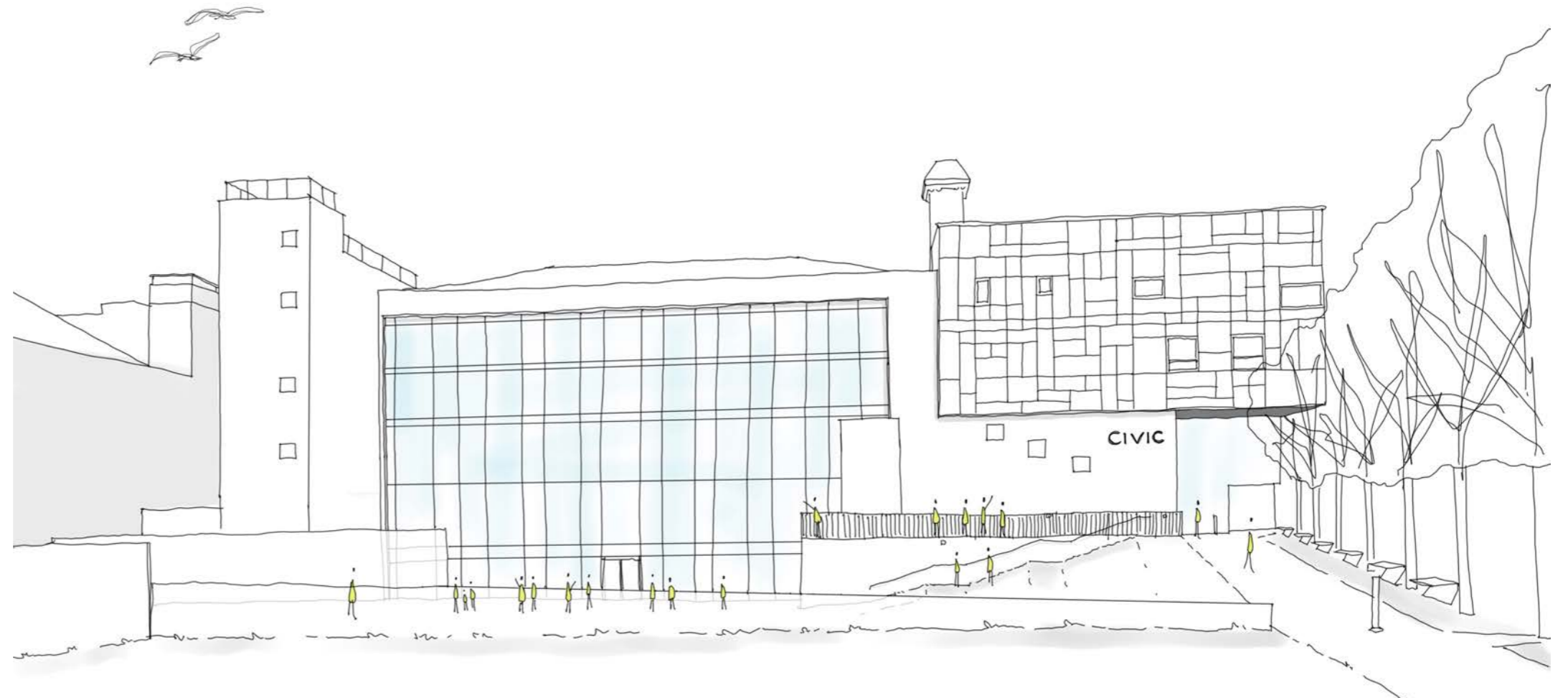
05: Design Development Mandela Gardens Elevation

Stage 2 Design

Part of the 2008 project was to introduce external balconies. As that project focused on providing retail in the building, something that never happened, these balconies and escalators are no longer required.

The spaces created underneath these balconies have resulted in undesirable behaviour and vandalism. The area doesn't feel particularly safe, due to the lack of natural surveillance and overlooking.

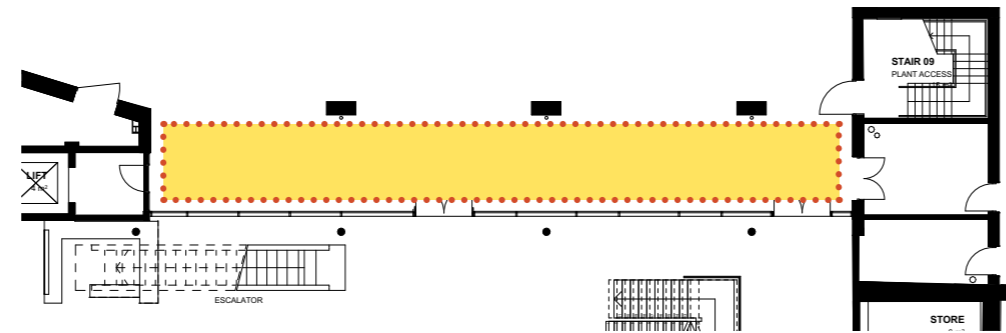
The stage 2 designs (see right) proposed removing the existing balconies and staircase to both remove the temptation for undesirable behaviour and to expose the existing brick wall behind the curtain walling. Concerns over this proposal were raised by the Local Planning Authority (LPA) at a pre-application meeting. It was felt that removing the balcony would not entirely resolve the lack of natural surveillance and, coupled with reservations about the buildability and cost of the proposals, HLM undertook a review of the Mandela Gardens elevations.



Stage 2 sketch proposing removal of the balconies

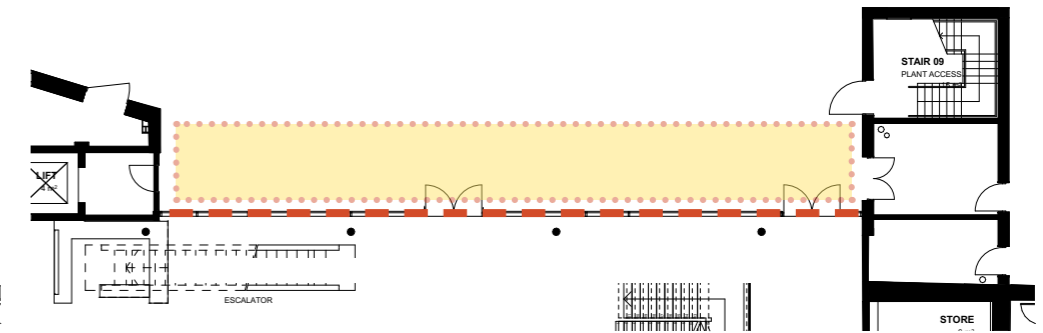


Updated sketch shows the retained floor slab elements breaking up the facade.



As Existing

The covered colonnade has created a shelter space for undesirable behaviour.



Stage 2 Proposal

Removing the colonnade, stairs and balconies solves part of the problem by removing a sheltered space for undesirable behaviour. However it pushes the building line back which limits visibility from Hanson Street, which still may encourage bad behaviour.

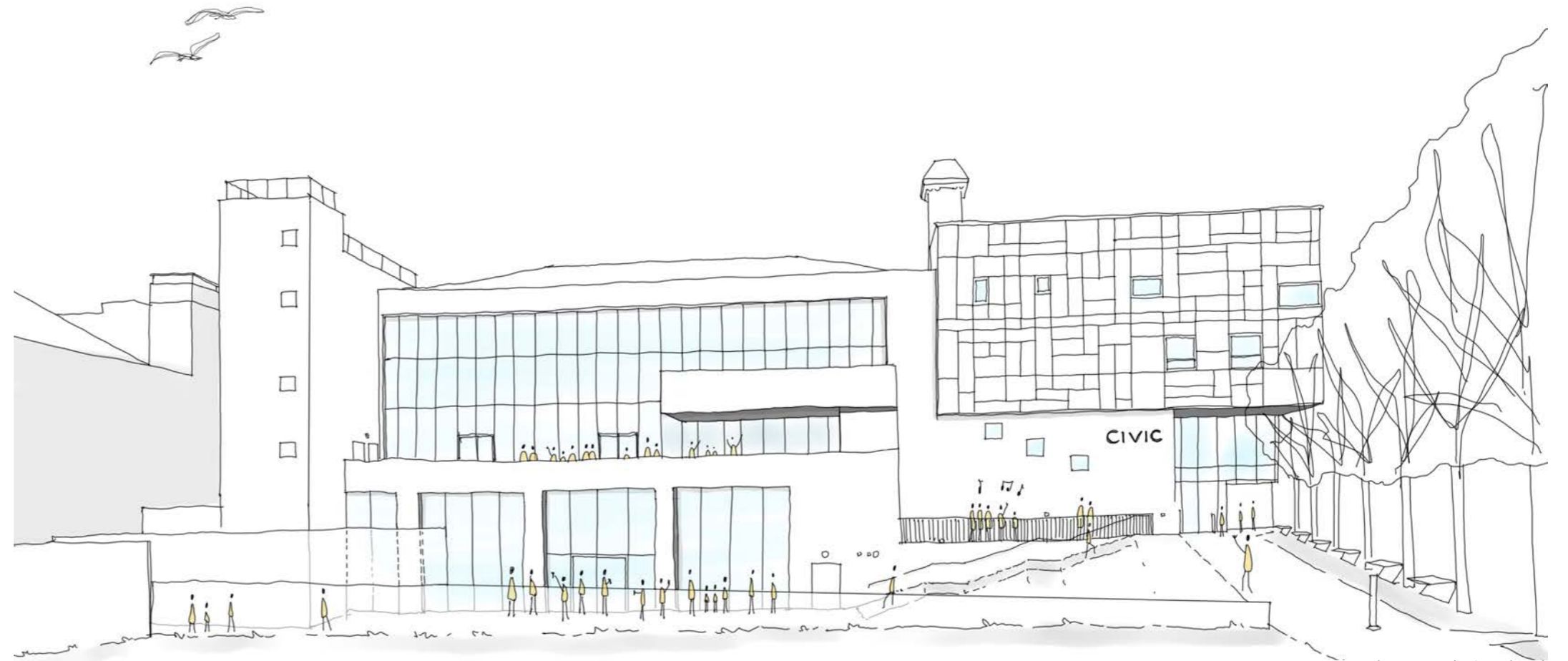
05: Design Development Mandela Gardens Elevation

Revised Mandela Gardens Elevation

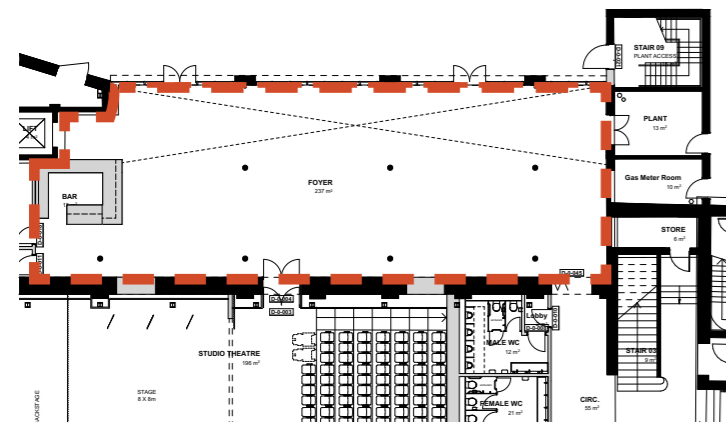
Following this review it is now proposed that the existing balconies are to be retained and only the external staircase is to be removed.

This pushes the building line forward by adding new curtain wall to the colonnade, creating a new double height internal space under the balcony. The revised proposals create additional space to the bar and foyer area in front of the Studio Theatre and the new double height space provides a bright, active new frontage to Mandela Gardens. The new frontage provides natural surveillance outwards, helping to resolve the issue with antisocial behaviour and potential for a new lettable space.

The retained second floor balcony provides outdoor space for the gallery floor and the third floor balcony remains as existing, providing external space linked to the assembly rooms.



Proposed Stage 3 design sketch



Proposed ground floor plan

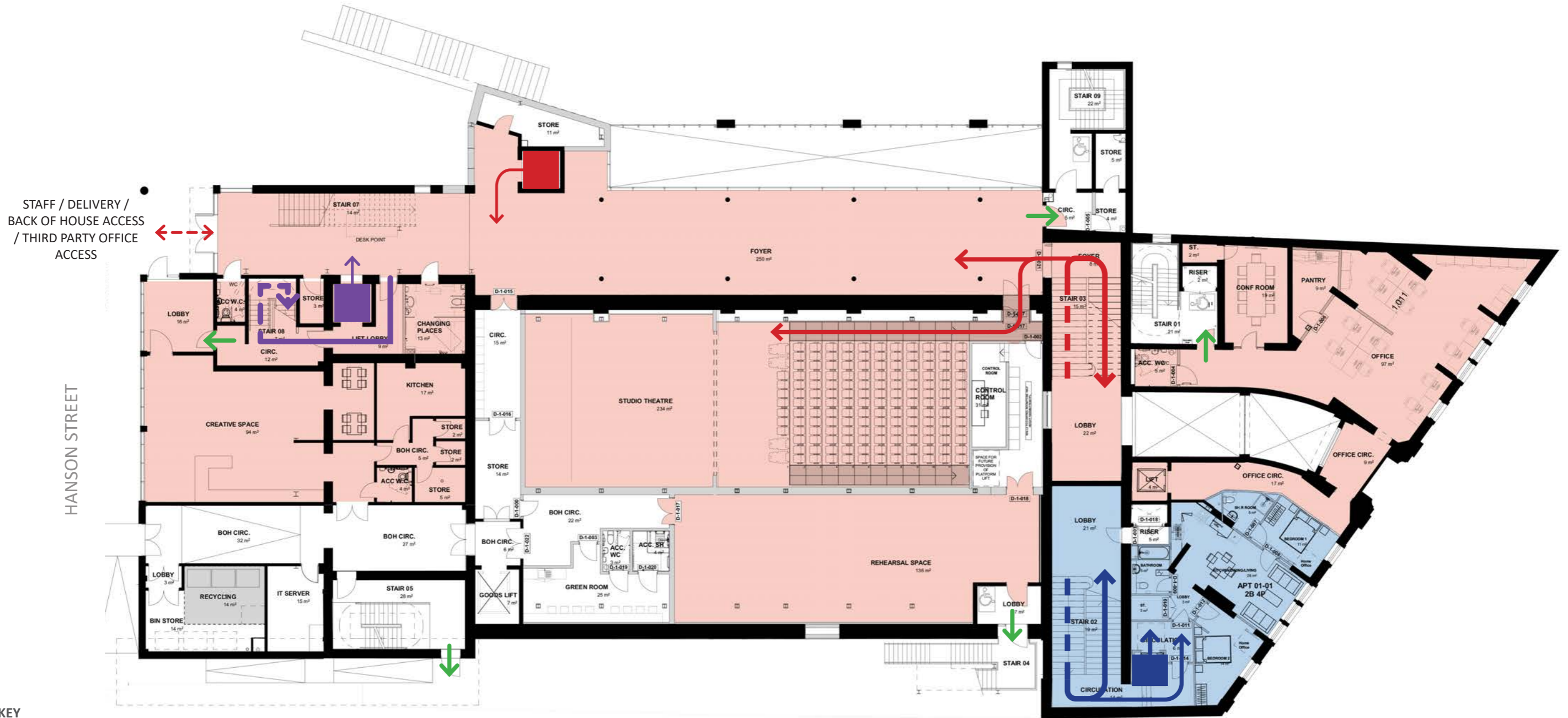


Proposed Stage 3 design sketch

Stage 3 Proposal

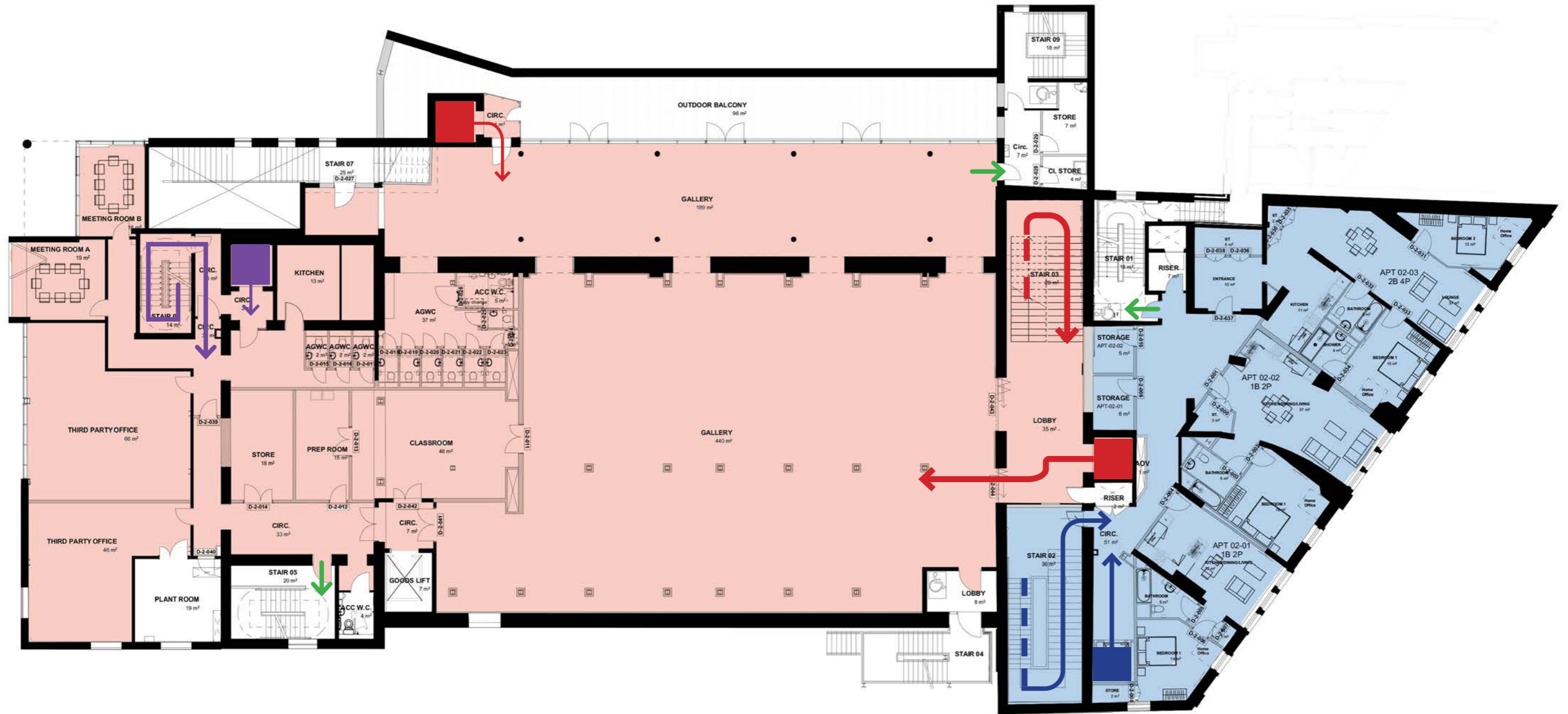
This sketch adjacent demonstrates the visibility down to the colonnade and to the alley connecting back to Eldon Street and the station. The removal of the external stair opens up this space to the wider site, creating an active, visible frontage to Mandela Gardens.

05: Design Development
 Movement and Access - First floor



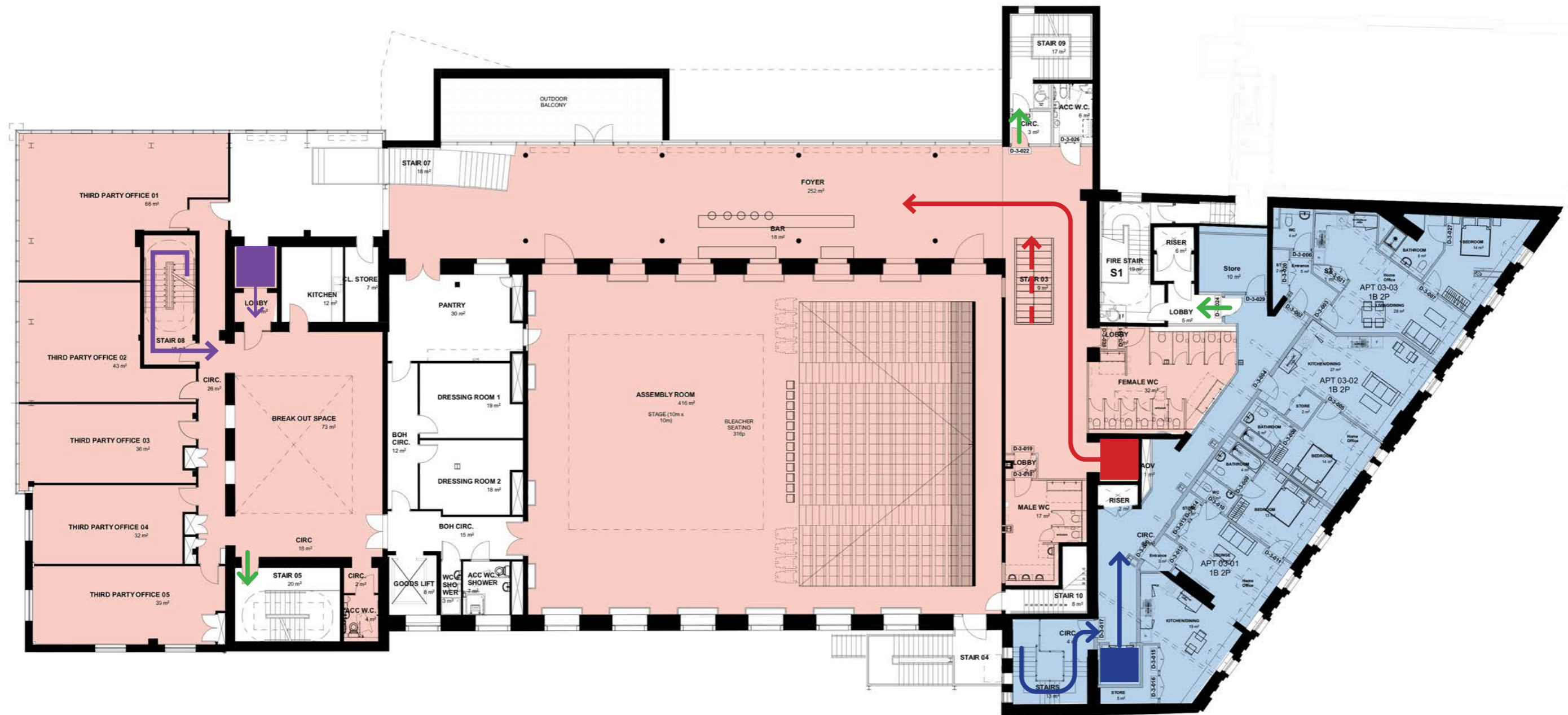
- KEY
- PUBLIC USE
 - RESIDENTIAL USE
 - THIRD PARTY OFFICE USE
 - ↔ STAFF ACCESS
 - ESCAPE
 - RESIDENTIAL MOVEMENTS
 - PUBLIC MOVEMENTS
 - ||||| LANDLORD PERIMETER SYSTEM
 - ||||| INTERNAL ARTS SPACE SYSTEM

05: Design Development
 Movement and Access - Second floor



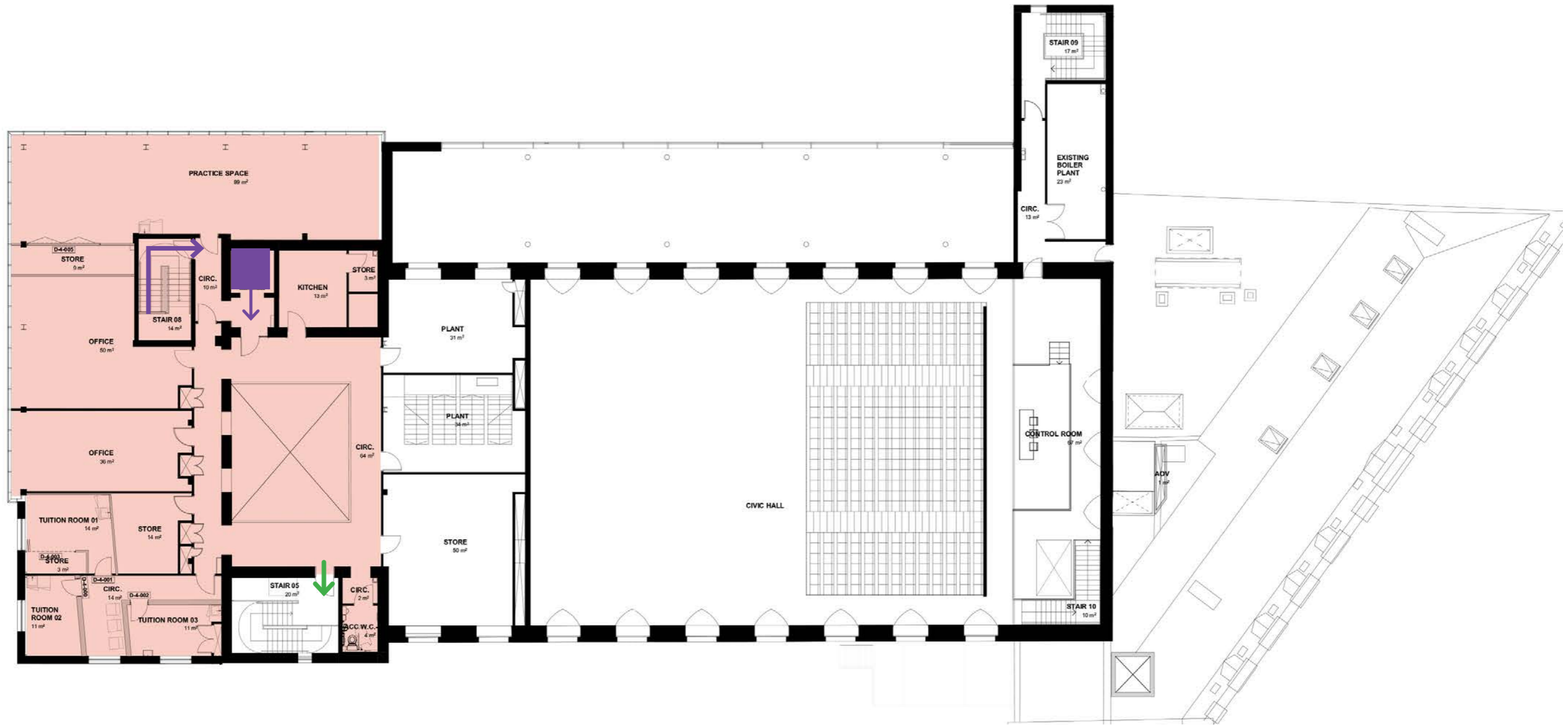
- KEY**
- PUBLIC USE
 - RESIDENTIAL USE
 - THIRD PARTY OFFICE USE
 - ↔ STAFF ACCESS
 - ESCAPE
 - RESIDENTIAL MOVEMENTS
 - PUBLIC MOVEMENTS
 - ||||| LANDLORD PERIMETER SYSTEM
 - ||||| INTERNAL ARTS SPACE SYSTEM

05: Design Development
 Movement and Access - Third floor



- KEY**
- PUBLIC USE
 - RESIDENTIAL USE
 - THIRD PARTY OFFICE USE
 - ↔ STAFF ACCESS
 - ESCAPE
 - RESIDENTIAL MOVEMENTS
 - PUBLIC MOVEMENTS
 - ||||| LANDLORD PERIMETER SYSTEM
 - ||||| INTERNAL ARTS SPACE SYSTEM

05: Design Development
 Movement and Access - Fourth floor



KEY

- PUBLIC USE
- RESIDENTIAL USE
- THIRD PARTY OFFICE USE
- STAFF ACCESS
- ESCAPE
- RESIDENTIAL MOVEMENTS
- PUBLIC MOVEMENTS
- LANDLORD PERIMETER SYSTEM
- INTERNAL ARTS SPACE SYSTEM

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05: Design Development

Repairing the Historic Tiles

Repair the existing tiles

There is existing 1878 encaustic tiles and 1910 mosaic tiles of heritage significance in the circulation hallways and entrance on the ground floor which provide an opportunity to repair for the projected footfall when the building re-opens to optimise the heritage value of the building.

The area outside the north stair and entrance into the studio theatre is to be provided with new tiles to match the historic pattern of the tiles in the south passage.

A – The mosaic tiles to the entrance and hallway are in good condition and we will clean and carry out minor repairs to conserve the tiles

B – The encaustic tiles to the Minton’s floor in the south side of the grand staircase are in good condition and we will clean and carry out minor repairs to conserve the tiles.

C – Unfortunately the flooring on the north side of the grand staircase has been removed previously and we propose to reinstate a Minton’s floor with similar encaustic tiles and patterning for the public access into the Civic’s facilities.



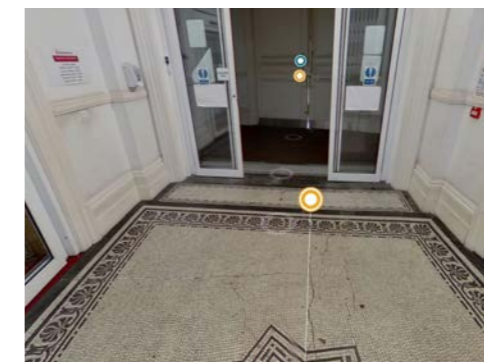
1878 Encaustic Tiles – Site Photographs



1878 Encaustic Tiles – Reconstruction of original



1910 Tiles



05: Design Development Assembly Hall

Assembly Hall

The proposal sets out to ensure that the Assembly Hall can be utilised as a multi-use space provide a variety of functions for the Civic including weddings, conference facilities, fashion shows etc along side there current theatre uses all of which require an improvement to the ventilation, heating and cooling. The room currently regularly overheats and can limit the number of occupants. Please refer to the RIBA Stage 3 Building Services Engineering Report for further information.

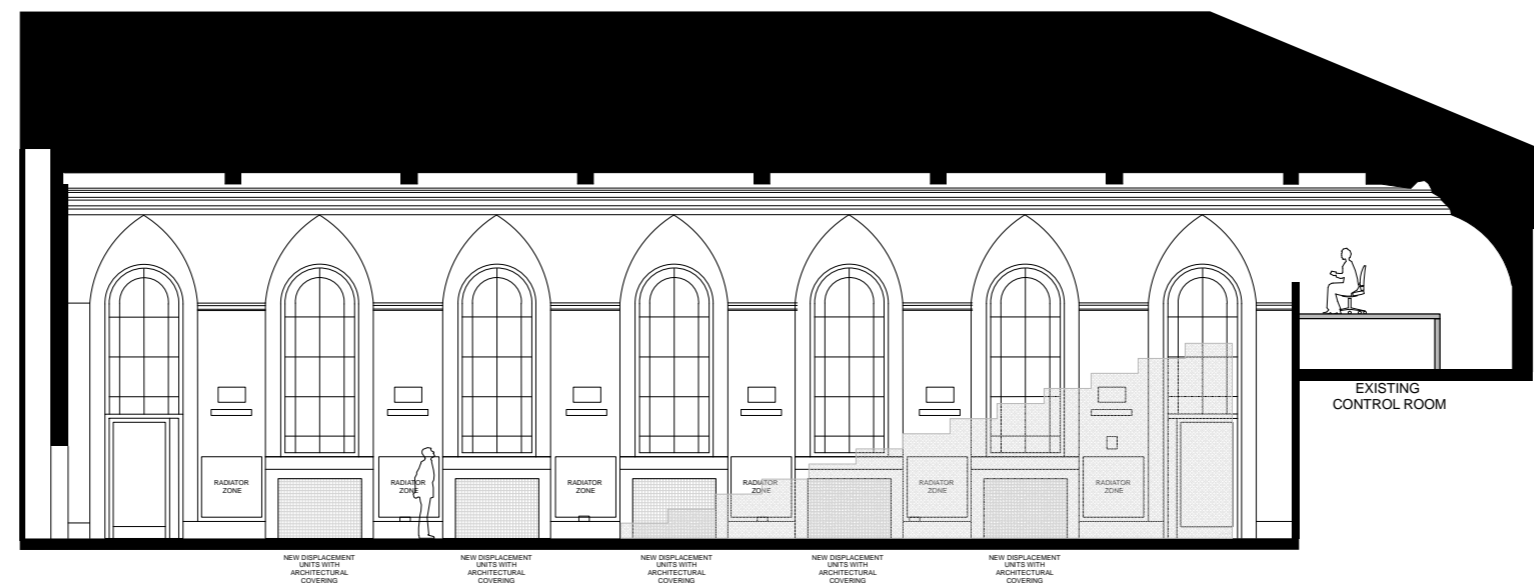
The additions include new distribution units which will be fed from below in order to preserve the ornate ceiling and windows and the vents will be located underneath the existing windows. These will be concealed using decorative metal grills in a timber frame proportioned to co-ordinate with the window size replacing the surface fixed existing radiators.

EXISTING ASSEMBLY ROOM ELEVATION



IN ABSENCE OF A BUILDING SURVEY - THIS ELEVATION HAS BEEN CREATED USING EXISTING DRAWINGS AND SITE PHOTOGRAPHS

PROPOSED ASSEMBLY ROOM ELEVATION - IMPROVED HEATING, COOLING AND VENTILATION



IN ABSENCE OF A BUILDING SURVEY - THIS ELEVATION HAS BEEN CREATED USING EXISTING DRAWINGS AND SITE PHOTOGRAPHS

05: Design Development Decorative Plaster Ceiling

Ornate Ceiling - Studio Theatre

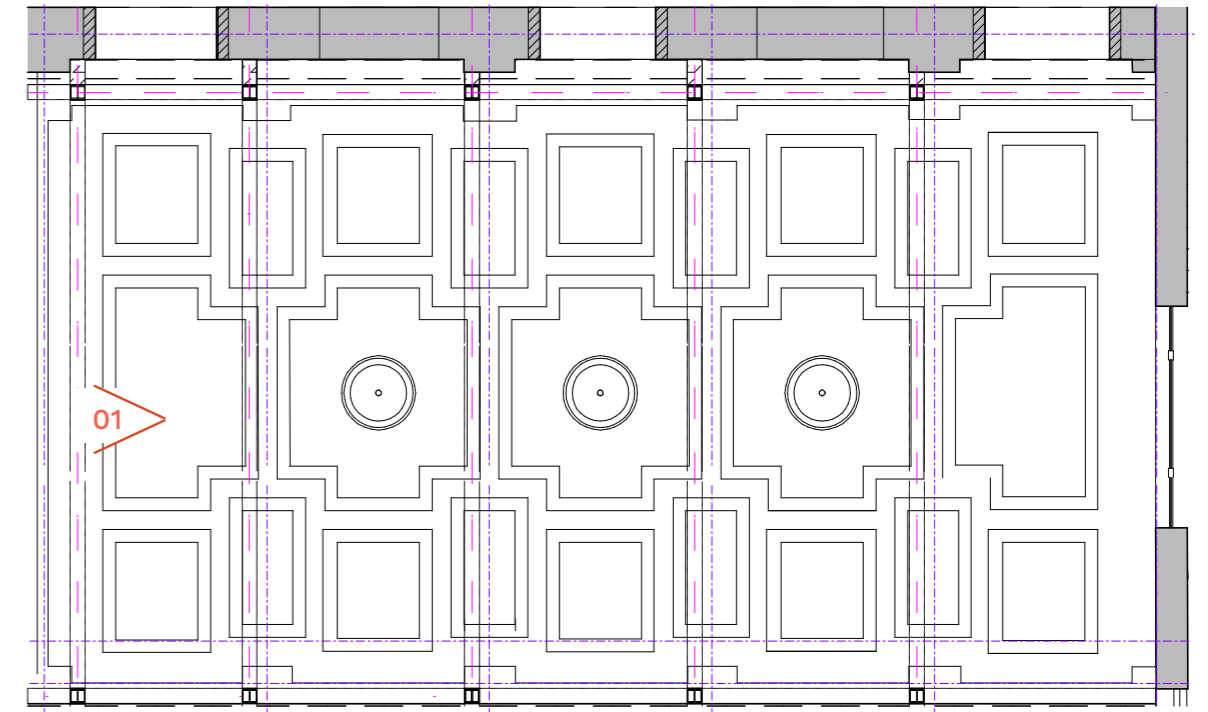
The decorative plaster ceiling which is currently located to the underside of the second floor is a replica as the original was removed as part of the works circa 2008. The replica ceiling has been located on plan to the original location of the reading room but on section in a different location. This has provided a significant constraint to the use of the space below. The design team have given this very careful consideration but advice from the acoustic specialist alongside the other design constraints has determined that this ceiling cannot be retained. Although this ceiling is a replica it is considered to hold some heritage value as it provides evidence of the former reading room ceiling and former use of the space.

In efforts to find ways to retain the replica decorative plaster ceiling, the design team looked at options for relocating the replica ceiling elsewhere in the building as it has been determined that the current location is no longer suitable. From carrying out this exercise it has been determined that it is not possible to relocate the replica ceiling in its entirety to another location within the building and only sections could be relocated. Interpretation information could be provided alongside this.

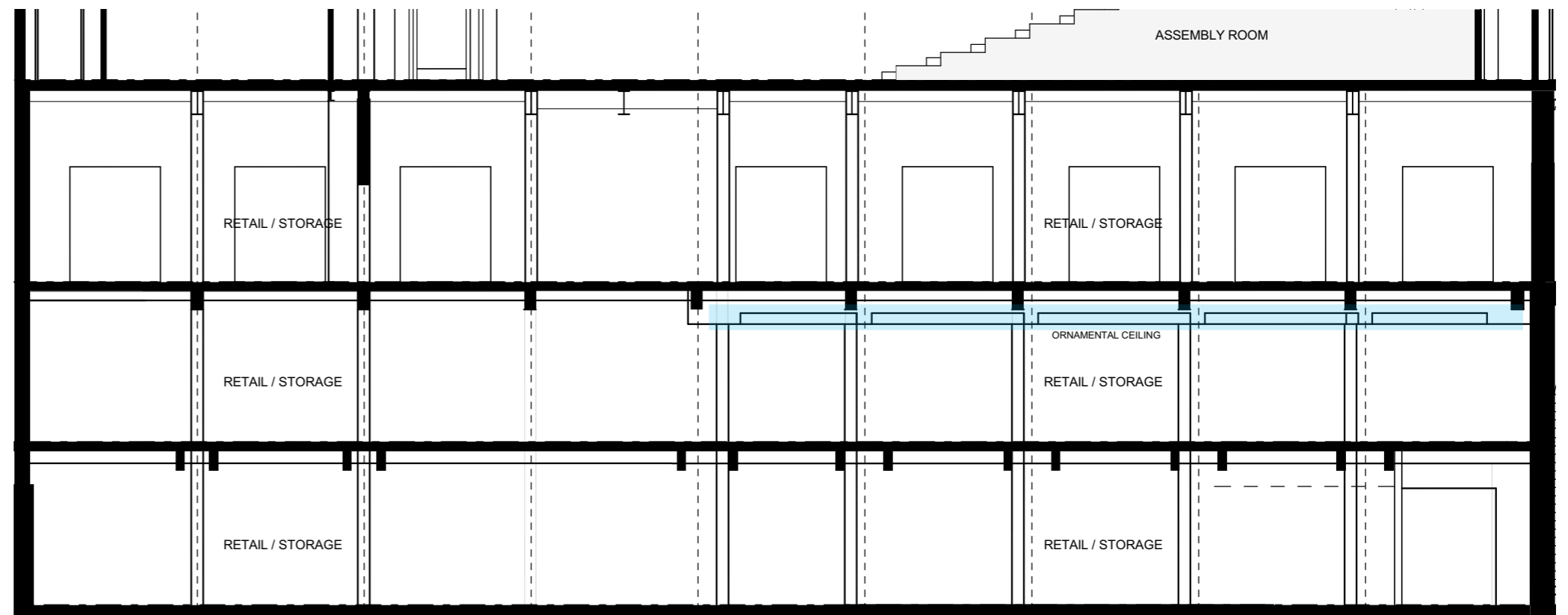
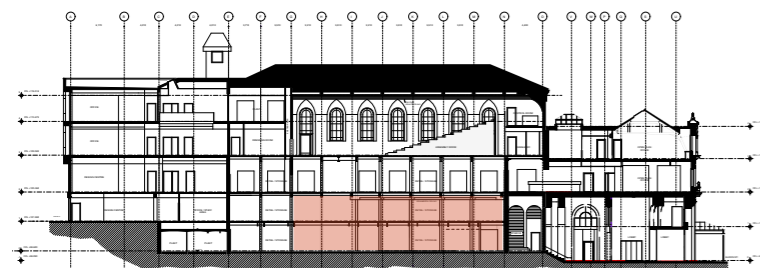
Refer to the Heritage Statement section 4.2.1.



[01] CURRENT PHOTOGRAPH OF REPLICA CEILING



BLUE - Represents the ornate ceiling



EXISTING SECTION

05: Design Development

Ceiling relocation

First Floor - Studio Theatre

The retention of the ceiling provides a significant constraint to the use of the spaces above and below therefore the design team have given this very careful consideration but the significant constraints have determined that this ceiling cannot be retained This is due to Acoustic requirements needing extensive treatment in order for the gallery and the studio theatre to operate simultaneously and Spatial constraints to ceiling height in the control room.

In efforts to find ways to retain the replica decorative plaster ceiling, the design team looked at options for relocating the replica ceiling in the following areas:

Please note all areas require the proportions and scale to be altered to fit within the space.

Ground Floor Studio Theatre lobby

Not appropriate as the replica ceiling would clash with the existing ceiling features in the adjacent entrance lobby.

First Floor Colonade & Foyer

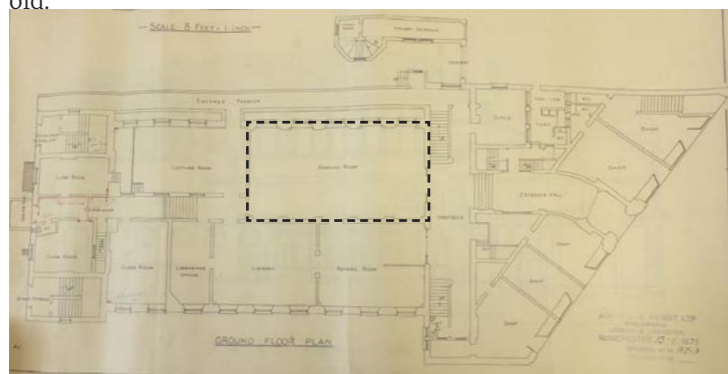
Not appropriate as the replica ceiling would be outside the original theatre boundary and introducing an ornate ceiling with the modern finishes would conflict between the new and old.

Second Floor Gallery

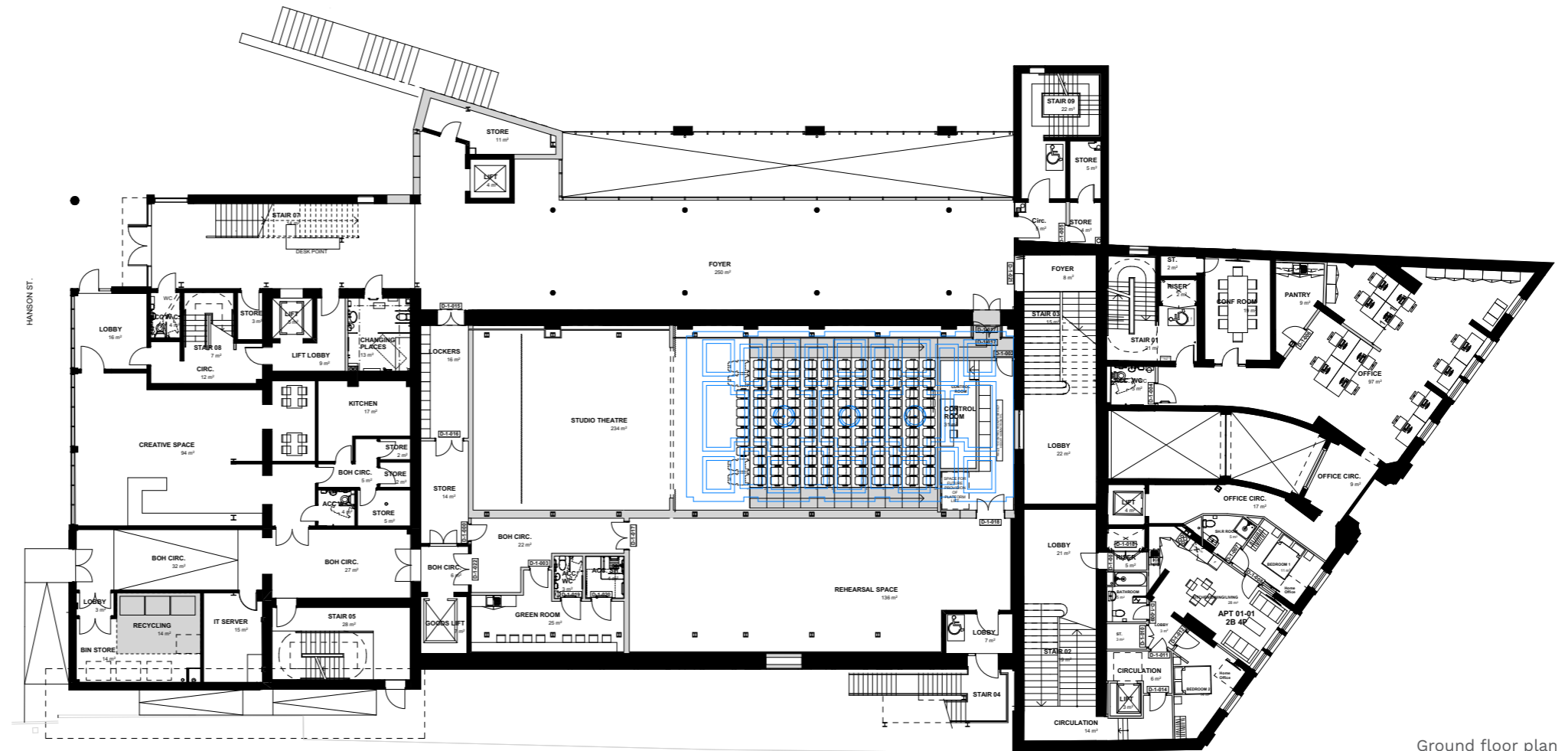
Not appropriate as the replica ceiling due to the clashes with M&E services and ceiling bulkhead required and the number of ceiling power tracks would limit art display and flexibility.

Third Floor Foyer

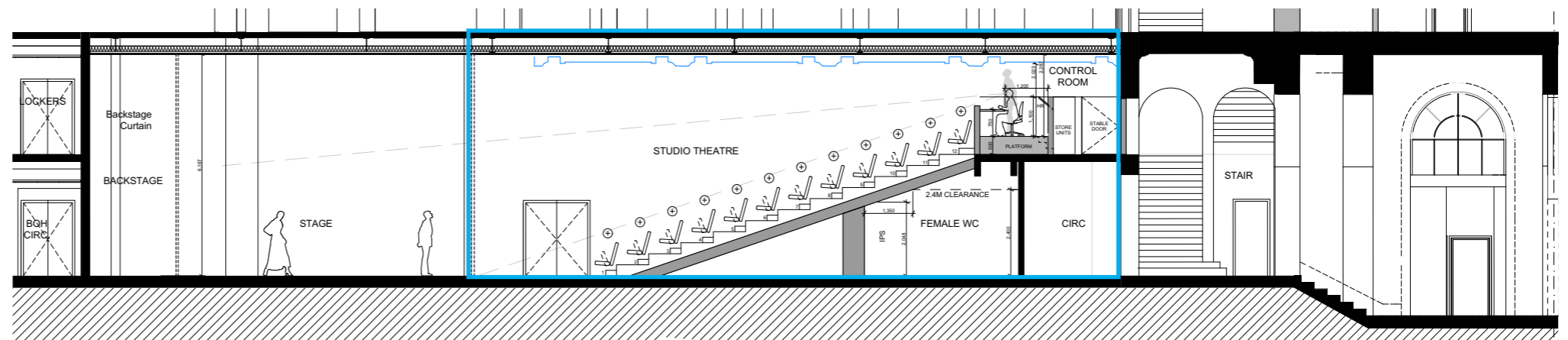
Not appropriate as the replica ceiling would be outside the original theatre boundary and introducing an ornate ceiling with the modern finishes would conflict between the new and old.



Plans taken from Heritage Statement



Ground floor plan



Studio Theatre section

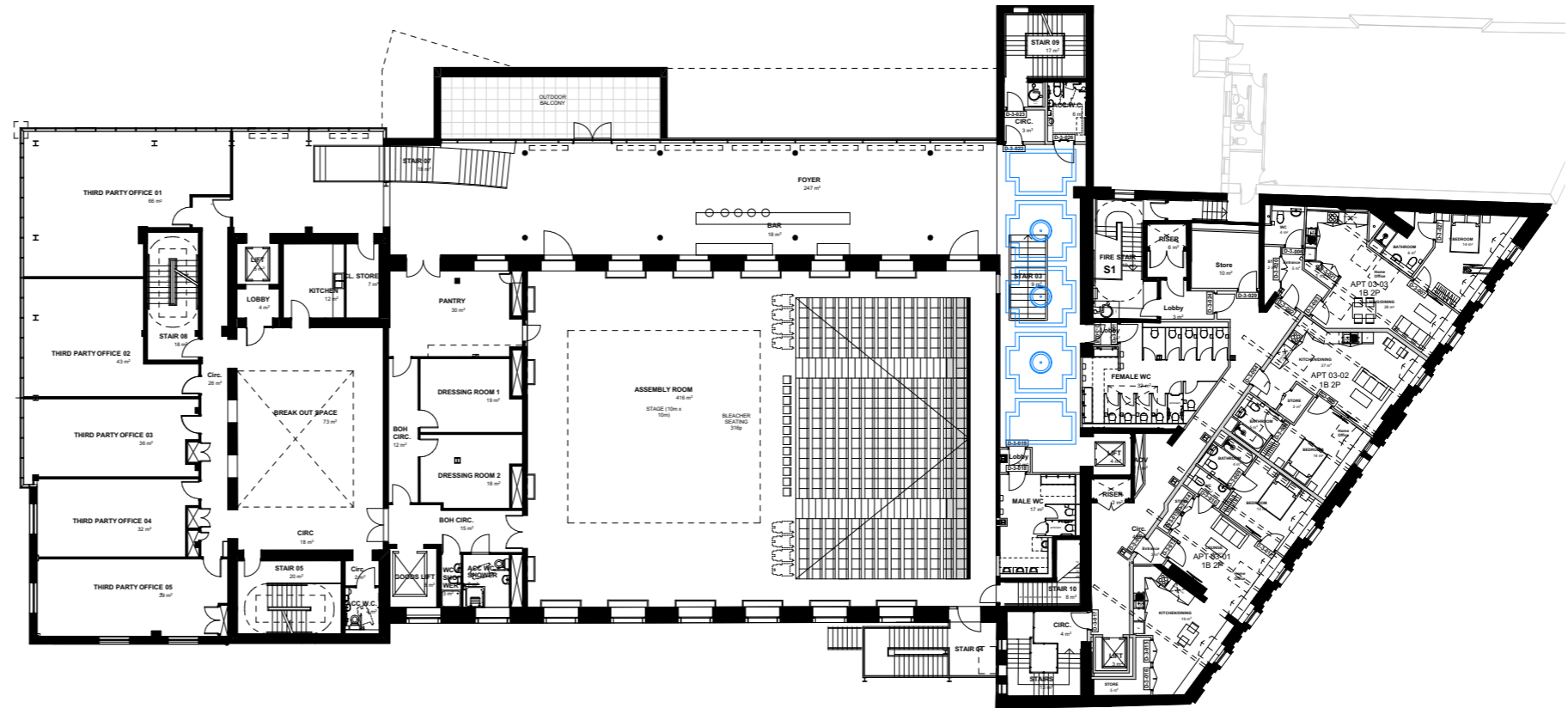
05: Design Development

Ceiling relocation

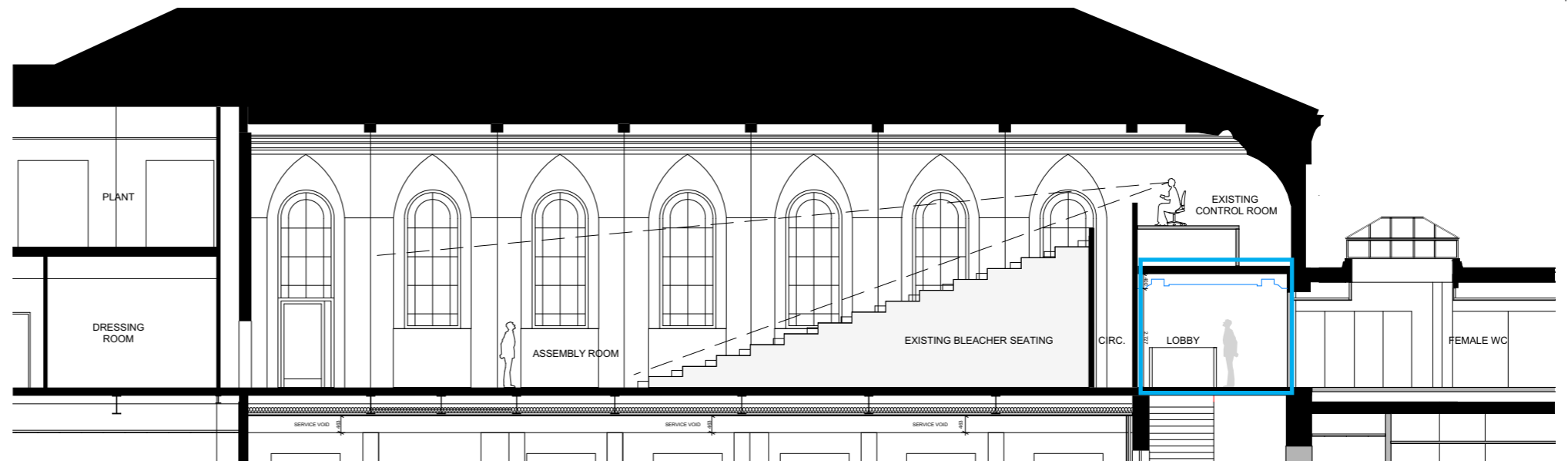
Third floor - Assembly Hall entrance lobby

We have therefore proposed that we celebrate the public entrance to the Assembly Hall by locating the central section of the ceiling at the top of the central staircase in the entrance area. This space welcomes the public to the Third floor main events space from both the staircase and lift.

From carrying out this exercise it has been determined that it is not possible to relocate the replica ceiling in its entirety but a scaled proportion will be provided along with historic interpretation information. The final proportions of the replica ceiling will be adjusted suit this space following further co-ordination with the structural alterations during the workstage 4 development.



Third floor plan



Third floor section

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