
2021/1564

Mr M Ludlam

External landscaping works to the front garden including repair works to the existing Grade II* listed wall, resurfacing of parking area, disabled access ramp and changes to the soft landscaping (Listed Building Consent)

Darley Cliffe Hall, Kingwell Road, Worsbrough

Site Description

The 17th Century, Grade II* listed Darley Cliffe Hall is a two storey, stone built property located within extensive grounds in an elevated position at the junction of Kingwell Road and Park Road.

The dwelling is designed with two frontages, one facing east and one west and a pair of chimney stacks which sit within a central lead flat roof. The property is designed with an unusual roof which has a pitched roof framing the central lead flat roof to all elevations. This gives the appearance of a hipped roof profile, which screens a central flat roof.



Planning History

2019/0720 – Removal and replacement of lead roof following works to roof, repair works to existing lead lined gutters and provision of roof top glass screen balustrades – Approved October 2019

2019/0725 – Removal and replacement of lead roof following works to roof, repair works to existing lead lined gutters and provision of roof top glass screen balustrades (Listed Building Consent) – Approved October 2019

2019/1297 – Various internal works to ground, first and second floor (Listed Building Consent)

2019/1550 – Erection of a single storey extension to the northern courtyard side and associated internal and external alterations (Listed Building Consent) – Approved October 2020

2019/1569 – Erection of a single storey extension to the northern courtyard side and associated internal and external alterations – Approved October 2020

2020/0933 – Demolition of existing single storey outbuildings, construction of new single storey extension on northern side including accessible bedroom accommodation and associated internal alterations to main house (Listed Building Consent) – Approved December 2020

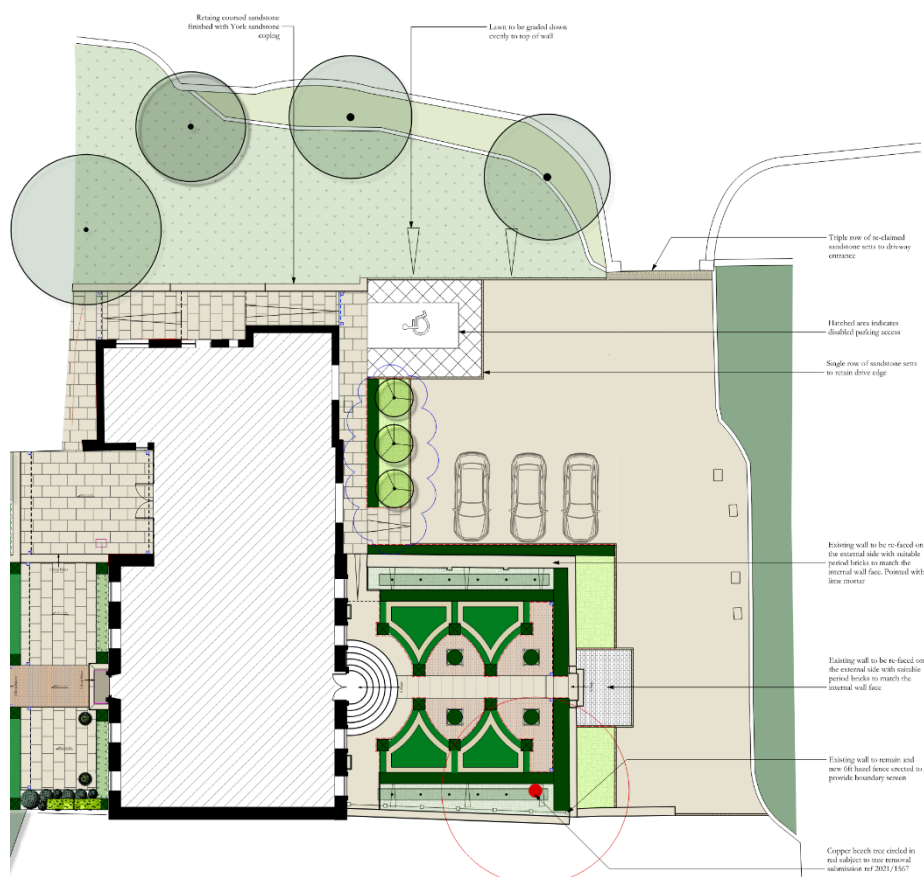
2020/0935 – Demolition of existing single storey outbuildings and construction of new single storey extension on northern side of the main house, including accessible bedroom accommodation – Approved December 2020

2021/1406 - Internal modifications to the ground floor WC window, the dining room wall panelling and external landscaping to the rear garden (Listed Building Consent) – currently under consideration

2021/1409 – Change of use from C3(a) Dwellinghouse to C1 Hotels, Guest Houses (for a holiday let) of the entire property – currently under consideration
 2021/1567 - Remove and replace Holly (T1), Cherry (T2), Pine (T3), Silver Lime (T4) and Copper Beech (T5) and replace with 26 new native deciduous trees – currently under consideration

Proposed Development

External landscaping works to the front garden including repair works to the existing Grade II* listed wall, resurfacing of parking area, disabled access ramp and changes to the soft landscaping



Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making.

The new Local Plan was adopted at the full Council meeting held 3rd January 2019 after it was found to be sound by the appointed Planning Inspector following the examination process. This means that it now takes on full weight for decision making process in planning law terms as the development plan for the Borough, superseding the remaining saved policies from the Unitary Development Plan (adopted in the year 2000) and the Core Strategy (adopted in 2011).

Local Plan

The site is allocated as Green Belt within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy HE1 The Historic Environment
Policy HE2 Heritage Statements and general application procedures
Policy HE3 Developments affecting Historic Buildings
Policy GB1 Protection of Green Belt
Policy SD1 Presumption in favour of Sustainable Development
Policy GD1 General Development
Policy D1 High Quality Design and Place Making
Policy T4 New Development and Transport Safety

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Paragraph 197 states that in determining applications, local planning authorities should take account of; the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality and the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 199 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the assets conservation (and the more important the asset, the greater the weight should be).

Paragraph 200 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting) should require clear and convincing justification.

Paragraph 206 states the local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

Consultations

Conservation Officer – No objections subject to conditions
Historic England – No objections
Forestry Officer – No objections subject to conditions - verbal comments
Ward Councillors – No comments received

Representations

Neighbour notification letters were sent to surrounding properties and the application was advertised by the way of a site notice and press notice; no comments have been received.

Assessment

The building is Grade II* listed and sits within the Green Belt. Given the historic importance of the building the proposed works must protect or improve the character and/or appearance of the heritage asset in order to be considered appropriate.

The building has been listed in recognition of its special architectural and historical significance. Local Plan Policy HE3 identifies the importance of securing the continued protection and improvement of the boroughs listed buildings, therefore provided that such works are carried out in a sensitive manner which is respectful of the buildings special character the works are acceptable in principle.

This application follows a number of consents and permissions for the renovation and repair of Darley Cliff Hall over the course of 2019 to 2021. This application concerns the front eastern garden, the wall that bounds it and the parking area to the east that is currently gravelled.

This proposal seeks permission to install a disabled access ramp and parking space and provide a comprehensive planting and soft landscaping scheme inside the walled garden. Additionally, the gravelled area will be replaced with a resin bound material, three parking spaces will be demarcated with setts, and sawn Yorkstone pavers and steps will provide access to the front and side of the house.

Currently, the area outside the listed walled garden area (and the planting within it) makes little contribution to the setting of the listed building. I am aware that this space has undergone numerous changes in the late 20th century which is evidenced by the appearance of the steps and walls shown on the photo within the list description. The photo below bears out the fact the northern wall has been faced in modern sandstone that is not in keeping with the brickwork found on the inside face and elsewhere.



The heritage statement by Jenny Whetton Conservation describes this in more detail:

In front of the main elevation is a historic front garden wall which retains a plinth and soffit-moulded copings to the rectangular enclosure, dated by Thornborrow to the 17th century. The listing description of 1986 mentions square end piers which can be seen in a photograph dated 1983 and shown by Elliott but which cannot be reproduced here for copyright reasons. In this photograph, the wall continues northwards, but is built in stone, and the piers may have been removed when the stone extension wall was moved to enclose the north side of the garden in front of the Hall, although a stone pier is retained in the south-east corner of the garden. The north wall is lined in historic bricks on the rear face and with brick copings behind the stone copings, although re-pointed in a cement-based mortar. The front wall retains central ashlar gate piers, but the flanking consoles, cornices and vase finials reported in the listing description to have been set to each side have also gone. Horse-mounting steps and a platform on the left return of the wall

also mentioned in the listing description were not visible at the time of survey for this report. Part of the front wall has been re-built in brick.



Front Garden – North Wall



Internal Face of Wall



Front Wall



Pier at South-east Corner of Garden

As such, the proposal seek consent to re-face the northern side of the wall with suitable matching bricks (to the internal face) and patch repair the eastern wall replacing modern inappropriate bricks that have been installed. Generally, lime grouting and re-pointing following the removal of OPC is proposed to the entirety of the historic wall.

Regarding the other hard landscaping features including the ramp, steps and resin bound gravel, I feel these are appropriate, high quality and sympathetic to the setting. Regarding the planting within the walled garden this appears to me to be equally high quality being a geometric design. This includes four large square planters, pyramidal clipped shrubs and four triangular areas of lawn all within the walls of the garden.

It is therefore considered that the proposed development would not have a detrimental impact on the historic building, the wider street scene, residential amenity or highway safety and as such is in compliance with Local Plan Policies HE3, D1, and GD1.

Recommendation - Approve with conditions