
2021/0678 & 0925 – Listed Building Consent and Full Planning Applications

Applicant: James Richardson

Proposal: Sun room extension to rear of existing outbuilding and internal alterations to form domestic storage and ancillary residential accommodation

Address: Avenue Cottage, The Avenue, Wortley, Barnsley, S35 7DB

Site History

2014/0237 & 0333 – Extension to roof and alterations to form study and shower room – Full Planning & Listed Building Consent – Approved with conditions

2006/1891 – Alterations to outbuilding roof, replacement of grey (stone) slates with blue (welsh) slates and installation of 3 roof lights – Listed Building Consent – Approved with conditions

B/01/0537/WO & 0538/WO/LB – Erection of porch and conservatory extensions – Approved with conditions

Site Description

The applicant's property is a former gardener's cottage that serviced the walled garden of Wortley Hall to the east. The cottage is listed as a part of the historic park and garden of Wortley Hall by consequence. The cottage itself is set over two-storeys with a slate pitched roof, raised gables with sandstone toppers and kneelers as well as a sandstone clad decorative chimney breast. The elevations are conservation style red-brick with mullioned windows. The curtilage is spacious and the foot print of the dwelling is formed of two ranges occupying the north west corner of the plot. A range of attached outbuildings is also located between the property and the private drive with a further detached 'workshop' outbuilding located further east. The property has been previously expanded through the addition of a small porch extension upon the principle elevation with a small lean-to conservatory at the rear located upon the eastern side elevation. The western boundary is formed of a high-level brick wall that separates the rear garden from the public right of way that traverses across Liberty Lane.

The original floorspace of the dwelling (minus the workshop outbuilding¹ and the previous extensions to the property) is calculated at 155.32sqm and existing additions are calculated as 16.64sqm which infers that 10.71% of the existing Green Belt allowance has been utilised. The alterations proposed under 2014/0237 do not appear to have been carried out subject to the floor plans created in 2016.



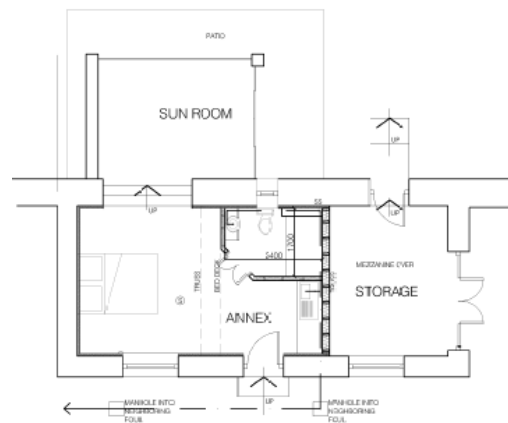
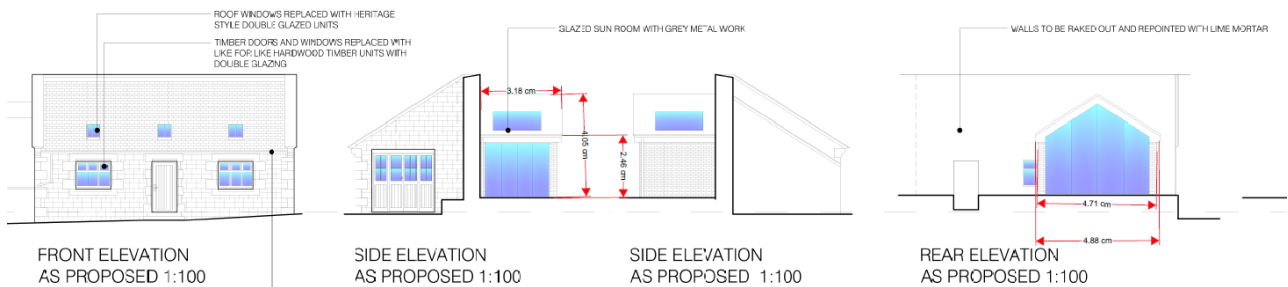
¹ Historic mapping indicates that the outhouses have historically been attached to the main dwelling and are therefore not considered an 'outbuilding'.

Proposed Development

The applicant proposes to extend their outbuilding 'workshop' to provide a 'sun room' on its southern elevation. Further alterations to the outbuilding include internal sub-division to create an annex with three rooms including a bathroom, bedroom and the proposed sun-room extension. The western section of the outbuilding will be utilised as storage space. The annex will have a mezzanine level created above the storage room to enable a storage space for the annex. The sun room will have the following dimensions: W – 4.9m, D – 3.2m, Eaves Height – 2.45m and a Ridge Height – 4.05m. The western and southern elevations shall be glazed, almost in their entirety, with the eastern elevation facing the neighbouring property entirely composed of brick. The roof is to be dual-pitched with rooflights on both slopes. Other improvements are proposed in the shape of replacement hardwood windows, rooflights and guttering as well as re-pointing of the lime mortar. A small window will also be punched in the garden wall to allow light into the new bathroom.



BLOCK PLAN 1:500



FLOOR LAYOUT
AS PROPOSED 1:100

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan constitutes the development plan for the borough which is supported by a series of adopted Supplementary Planning Documents and Supplementary Planning Guidance Notes, which are other material considerations.

Local Plan

The new Local Plan was adopted at the full Council meeting held 3th January 2019 after it was found to be sound by the appointed Planning Inspector following the examination process. This means that it now takes on full weight for decision making process in planning law terms as the development plan for the Borough, superseding the remaining saved policies from the Unitary Development Plan (adopted in the year 2000) and the Core Strategy (adopted in 2011).

Relevant Local Plan policies include:

GD1 – General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

D1 – High Quality Design and Place Making – Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

GB2 – Replacement, extension and alteration of existing buildings within the Green Belt – Provided that the development will not have a harmful impact on the appearance or character and will preserve the openness of the Green Belt, we will allow extensions to buildings where their size does not exceed that of the original building.

HE4 – Development Affecting Historic Areas or Landscapes – Proposals that are within or likely to affect the setting and the heritage significance of a Registered Park and Garden will be expected to respect historic precedents of layout, density, scale, forms, massing, architectural detail and materials that contribute to the special interest of an area.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, the policies above are considered to reflect the NPPF in relation to high quality design and good standard of amenity for all existing and future occupants of land and buildings. They also reflect the advice in paragraph 124 (general design considerations) and paragraph 130, which state that 'permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions'.

SPDs/SPGs

SPD House Extensions

Consultations

Conservation Officer – No objections subject to conditions

South Yorkshire Police – Security recommendations highlighted which will be added as an informative to the decision notices.

Forestry – No objection

Representations

The applications were advertised by way of a press notice, site notice and neighbour notification letters, no representations have subsequently been received.

Assessment

Sections of Assessment:

- Principle of Development
- Residential Amenity
- Visual Amenity
- Highway Safety

Principle of development

The development is within an area designated as being within the Green Belt. As such Local Plan Policy GB2 is relevant to the principle of development. GB2 states – ‘*Provided it will not have a harmful impact on the appearance or character and will preserve the openness of the Green Belt, we will allow the following development in the Green Belt – (B) extension or alteration of a building where the total size of the proposed and previous extensions does not exceed the size of the original building.*’ Similarly ‘*all such development will be expected to be of a high standard of design and respect the character of the existing building and its surroundings, in its footprint, scale and massing, elevation design and materials, and; have no adverse effect on the amenity of local residents, the visual amenity of the area, or highway safety.*’

The Green Belt test for the development is calculated as follows:

<i>Category of Floorspace</i>	<i>Size (sqm)</i>	<i>% of Original Footprint</i>
Original FS	155.32	100.00
Existing Extensions FS	16.64	10.71
Proposed Extension	13.00	8.36
Total FS Used	29.64	19.07
Total GB FS Remaining	125.68	80.93

As the development constitutes less than a tenth of the property’s original footprint and the cumulative floorspace of all existing and future extensions would be less than a fifth of the original footprint, the proposal is determined to be acceptable development in the Green Belt subject to the residential amenity, visual/heritage design and highway safety assessments provided below.

Visual Amenity and Heritage

The proposed sun room and alterations to the existing fabric of the workshop outbuilding has been reviewed by the BMBC Conservation Officer who had the following comments:

The proposal seeks to convert the existing stone built lean-to outbuilding into a small annex for use by family members and visitors. The existing building will be connected to a small gabled sunroom on the opposite side of the wall which will be connected by a double leaf (or more) doorway. The sunroom will be accessed by two steps up from the annexe and will be extensively glazed on its south and western elevations. Rooflights are also proposed on the eastern and western facing roof planes. To the front (facing The Avenue) the proposal represents negligible change which most onlookers would be unaware of. To the garden side changes would be more obvious with the new sunroom will have an impact on the setting of Avenue Cottage (albeit a private area). I would also note that the need to form an opening in the garden wall is to a degree intrusive and represents minor harm to the fabric. However, I accept there is fair precedent for such openings along the length of the properties on the Avenue and indeed ancillary and lean-to structures to the garden side that are recent. Overall, I do not object to the proposal in principle and suggest it is reasonably restrained and justified. However, I do feel we should exercise some control over materials and

methods and seek full clarification of glazing and opening / fenestration details (subject to conditions recommended by the Conservation Officer).

In light of the above assessment in respect of visual amenity and heritage impact, the proposal is deemed to be acceptable with the principles outlined within the SPD House Extensions as well as those set out within LP Policies D1 – High Quality Design and Placemaking as well as HE4 – Development Affecting Historic Areas or Landscapes.

Residential

The fenestration layout shall be directed south and west into the applicants own private garden area. No windows are located on the eastern elevation and privacy shall therefore be maintained for neighbours (mainly Chimney Cottage) on adjoining land to the east.

Overshadowing and overbearance are not anticipated to be significant as the proposal's shadow and height will be offset by the distance to the existing foliage upon the shared boundary which acts as a screen between the adjoining properties.

The main potential amenity issue in respect of the proposal is the potential for the outbuilding, as an annex, to be used as a standalone dwelling. The annex complies with some of the requirements of the SPD as it is limited to three rooms and the mezzanine floor will be used as an attic for storage purposes i.e. it is maintained as a single storey structure. The proposed annex deviates from the SPD in respect of it being capable of being served by the shared access in front of the host dwelling. However as the workshop building is existing and the internal fabric could be altered to act as an annex without the addition of the sun room to avoid the need for planning control (though an LBC would be required), a condition limiting the use, preventing severance and requiring reliance upon the main dwelling is determined to be the most rationale approach to controlling the outbuilding's use into the future to ensure satisfactory levels of residential amenity are preserved for the host dwelling and adjoining properties.

Consequently the proposal is found to be in line with Local Plan Policy GD1 relating to general development and residential amenity.

Other Matters

Forestry – The Forestry officer has reviewed the tree to be removed and has no objections to its removal as it is an ornamental specimen within a private garden, albeit within a historic park and garden. With this in mind, the conservation officer was also verbally consulted in respect of the tree and has confirmed agreement with the position of the forestry officer in that the tree would have the potential to affect the integrity of wall forming the walled garden and therefore removal is likely beneficial given that kitchen gardens serving stately homes were often limited to small fruit trees.

Archaeology – The nature of a kitchen garden is such that it is consistently dug and replanted seasonally and therefore the archaeological value of the area to be developed is considered to be low by consequence.

Conclusion

The proposal is in accordance with Local Plan policies in respect of the Green Belt, Heritage as well as Residential and Visual Amenity and is approved permission and listed building consent by consequence.

Recommendation

Grant subject to conditions