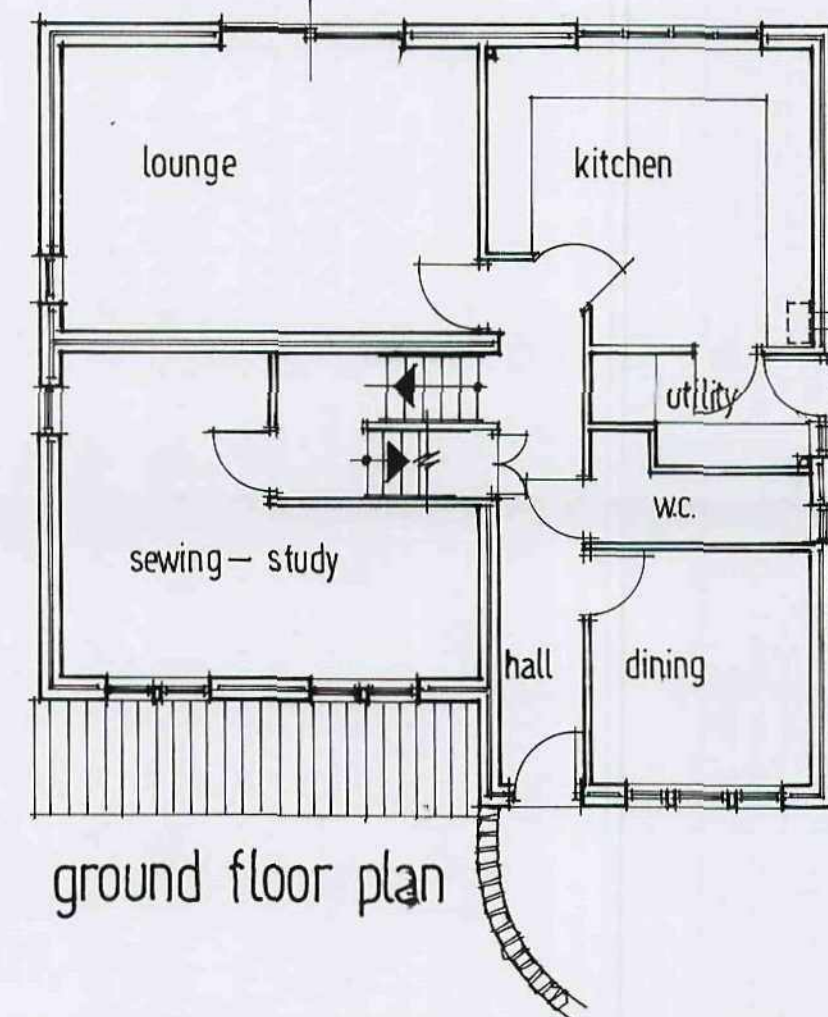
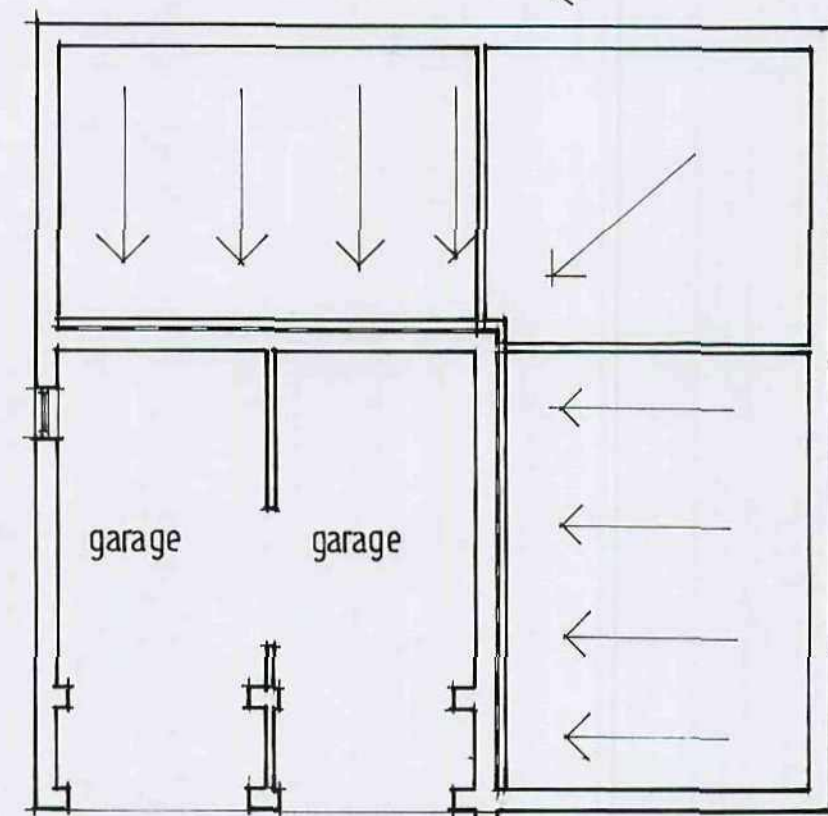


first floor plan



ground floor plan



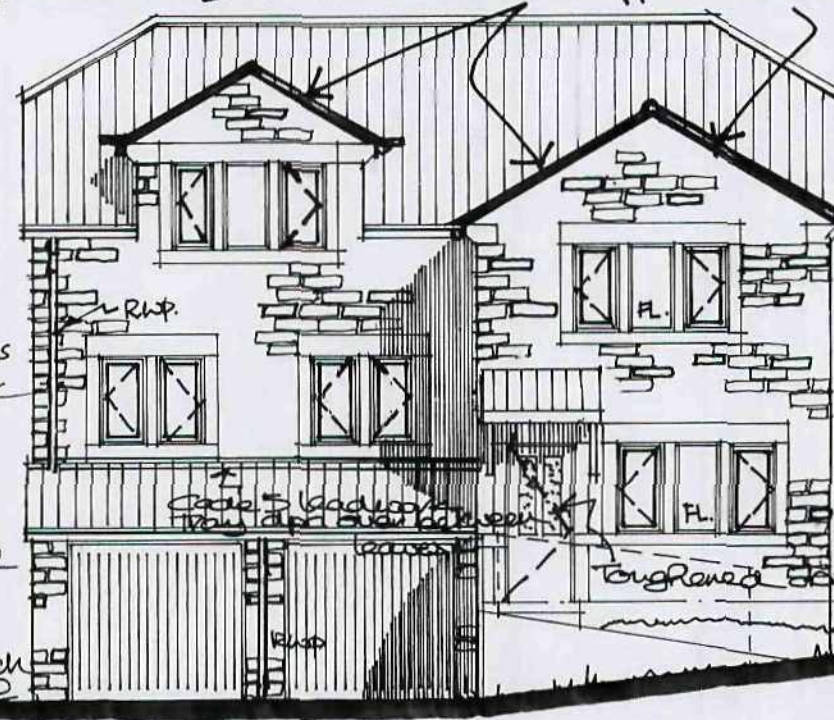
garage plan

At valley situations, cut tiles to take 2/3 side to give min. width of valley of 125mm & bed on c/s mortar over substrate w/loak over Code 5 lead flashing laid over 6mm marine ply & dressed over raked valley bottom 2/3 side & lapped to sarking. Valley beds supported by 19mm thick support beds set between & level with top of rafters & fixed to same by noggins fixed 2/3 side of rafters.

COURSED NATURAL STONE, HEADS, SURROUNDS, MULLIONS AND CHILLS IN SARUN STONE.

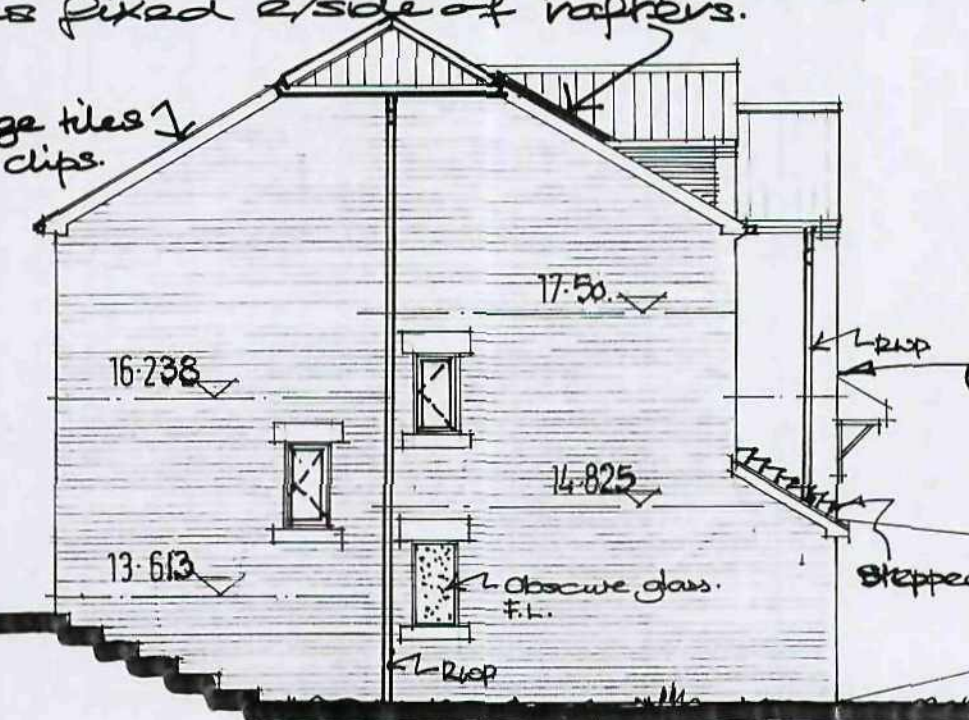
Gallus brackets supporting porch formation to be bolted to stonework with min. 2 No. 3 steel expanding bolts/brackets. Use plain tiles to match colour of main roof tiles.

Garage doors to clients spec.



front elevation

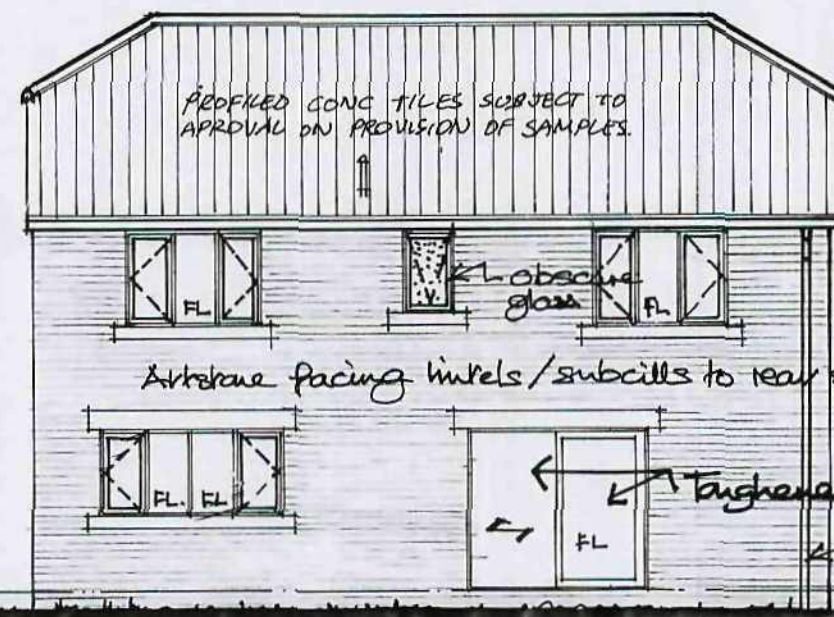
Clip all verge tiles with 8/steel clips



side elevation

NOTE  
ALL DIMENSIONS MUST BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING.  
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Above porch provide cavity tray between leaves lapped, at outer leaf, over Code 5 lead flashing dressed down wall face to lat over roof tiles.

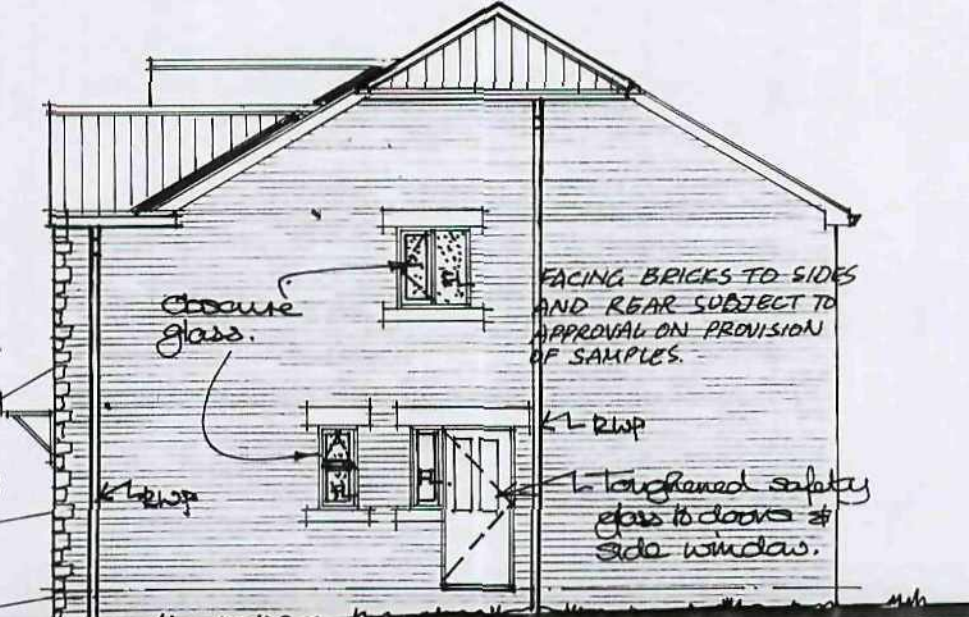


rear elevation

PROFILING CONC TILES SUBJECT TO APPROVAL ON PROVISION OF SAMPLES.

Provide facing mullions/subsills to rear & sides.

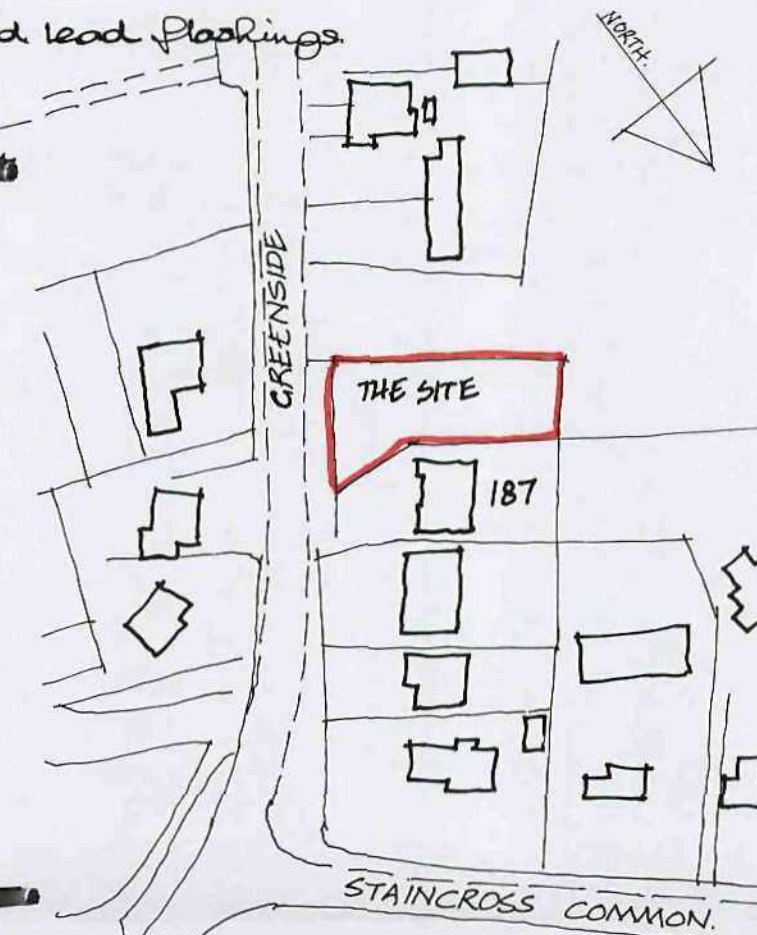
Use toughened safety glass



side elevation

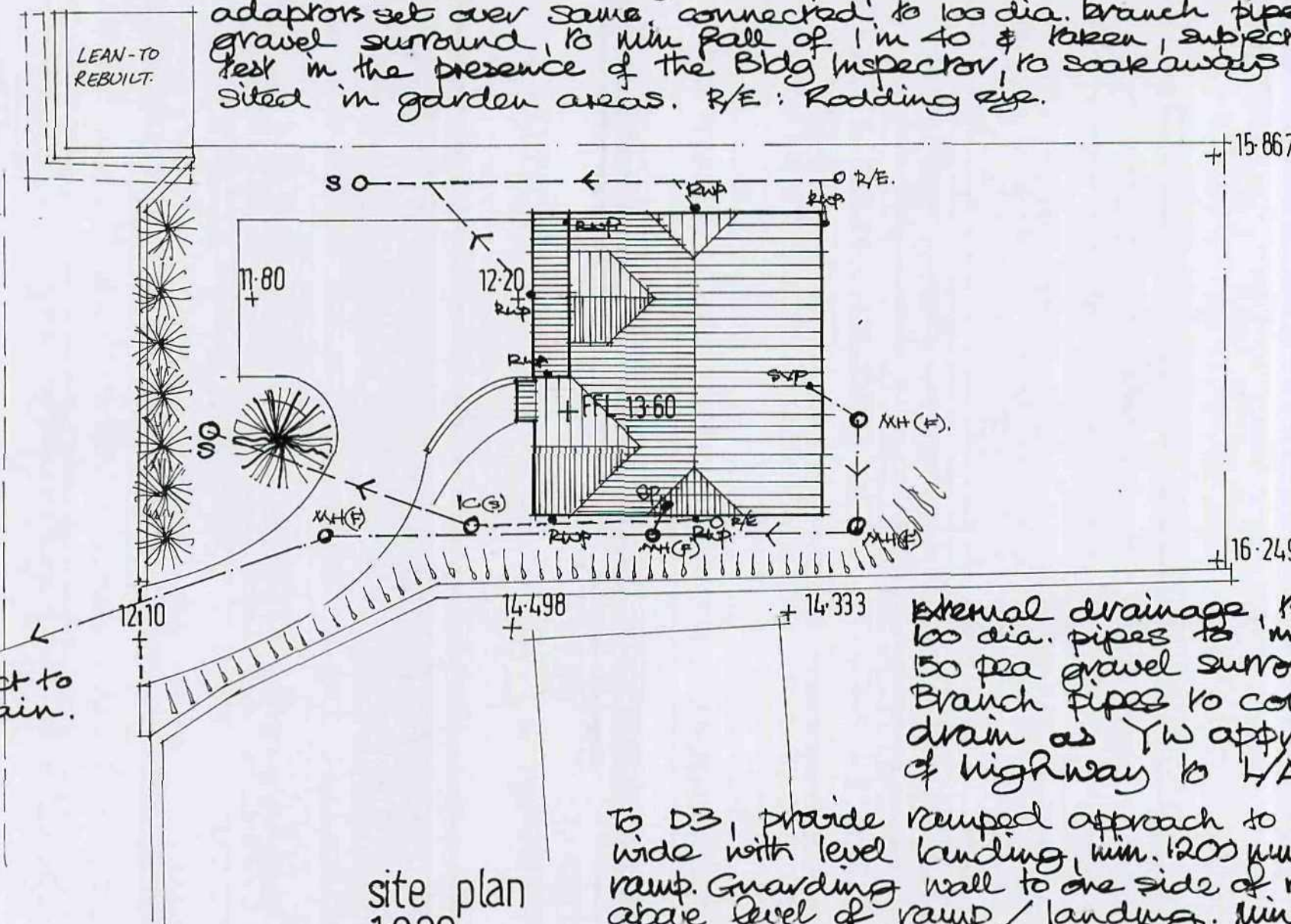
FACING BRICKS TO SIDES AND REAR SUBJECT TO APPROVAL ON PROVISION OF SAMPLES.

Use toughened safety glass to doors & side windows.



BLOCK PLAN  
1:1250

Barnsley Metropolitan Borough Council  
14 OCT 2009  
Corporate Mail Room




site plan  
1:200

Soakaways (s) to be min 900mm dia x 1200mm deep filled with clean approved fill & topped off with 400mm thick top soil over layer of drain. Dive/turning area to be to clients spec, set to discharge rain water onto garden area. At junction with highway, provide conc edging sets into conc haunching.

External drainage to WC area to comprise of 100 dia. pipes to min fall of 1 in 40, with 150 pea gravel surround to WTs, as MCs choice. Branch pipes to connect in highway to main drain as YW approval with reinstatement of highway to 1/4 hrs. approval.

To D3, provide ramped approach to max fall of 1 in 12, 900mm wide with level landing, min. 1200mm long, at top & bottom of ramp. Guarding wall to one side of ramp to be min. 1000mm above level of ramp/landing. Min. clearance at D3 between open clear & opposite frame to be 115mm min. Provide accessible threshold/draught stripping to frame. Surface of ramp to be firm & even.

A 9.4.3 Notes added.		REV	DATE	AMENDMENT
CLIENT MR + MRS K. MOSLEY				
TITLE APPLICATION FOR SUBSTITUTE HOUSE TYPE WITH GARAGES UNDER:- SITE ADJACENT TO 187 GREENSIDE MAPPLEWELL BARNLSLEY.				
 <b>P. Dimelow</b> B.A. (hons) Dip Arch. M.A. Architectural Design and Planning Consultant				
The Coach House, 40 Victoria Road Barnsley S70 2BU Tel. (01226) 283222 Fax. (01226) 283222				
SCALE 1:100	DATE MAY 2001	DRAWN PD		
DRAWING No KM - 501 - 2		REV A		