



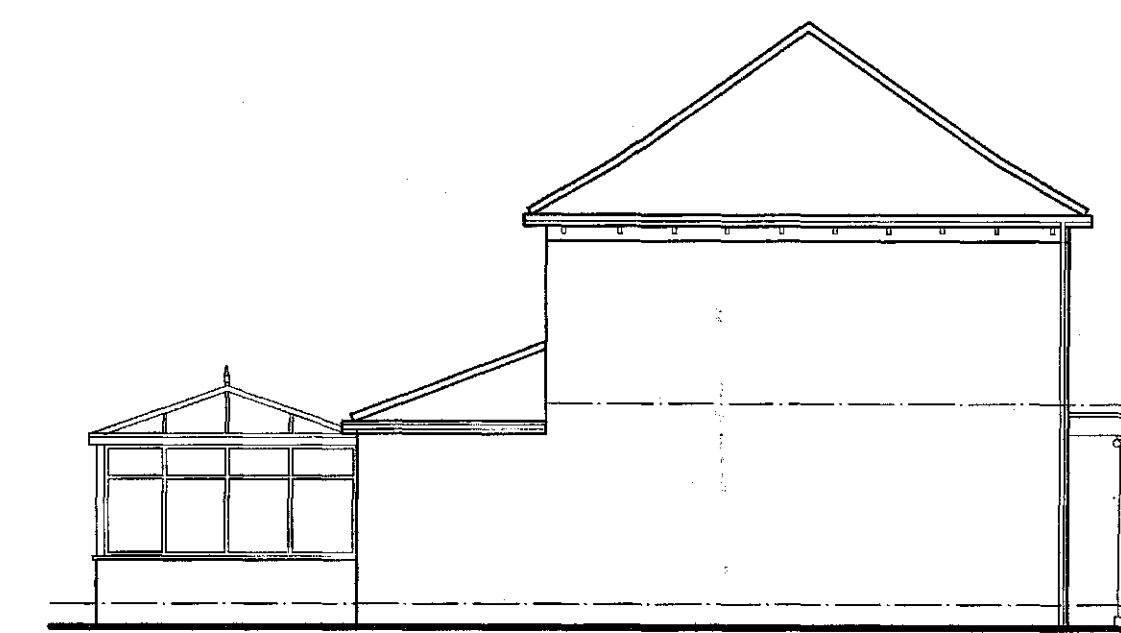
**FRONT ELEVATION**



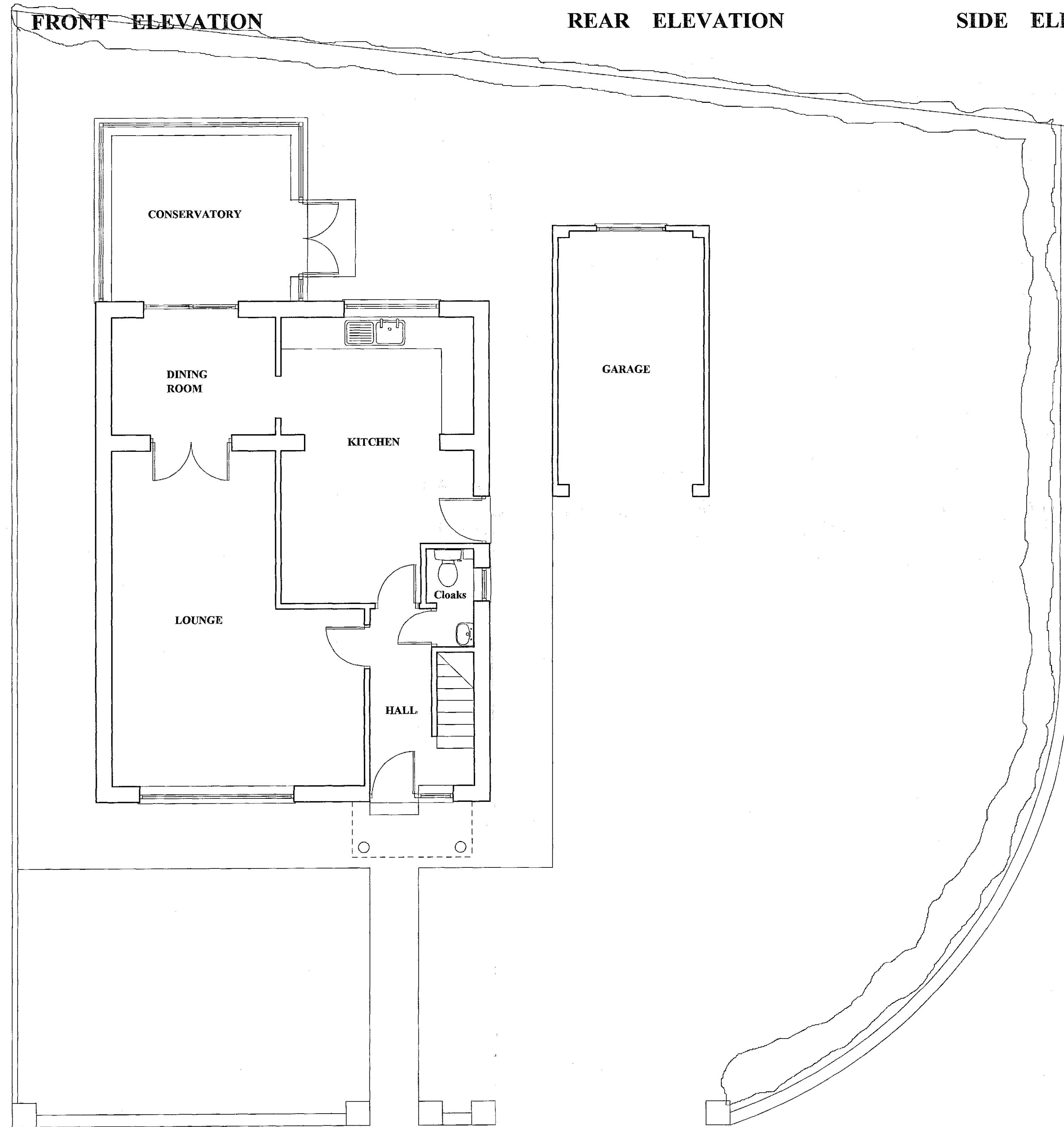
**REAR ELEVATION**



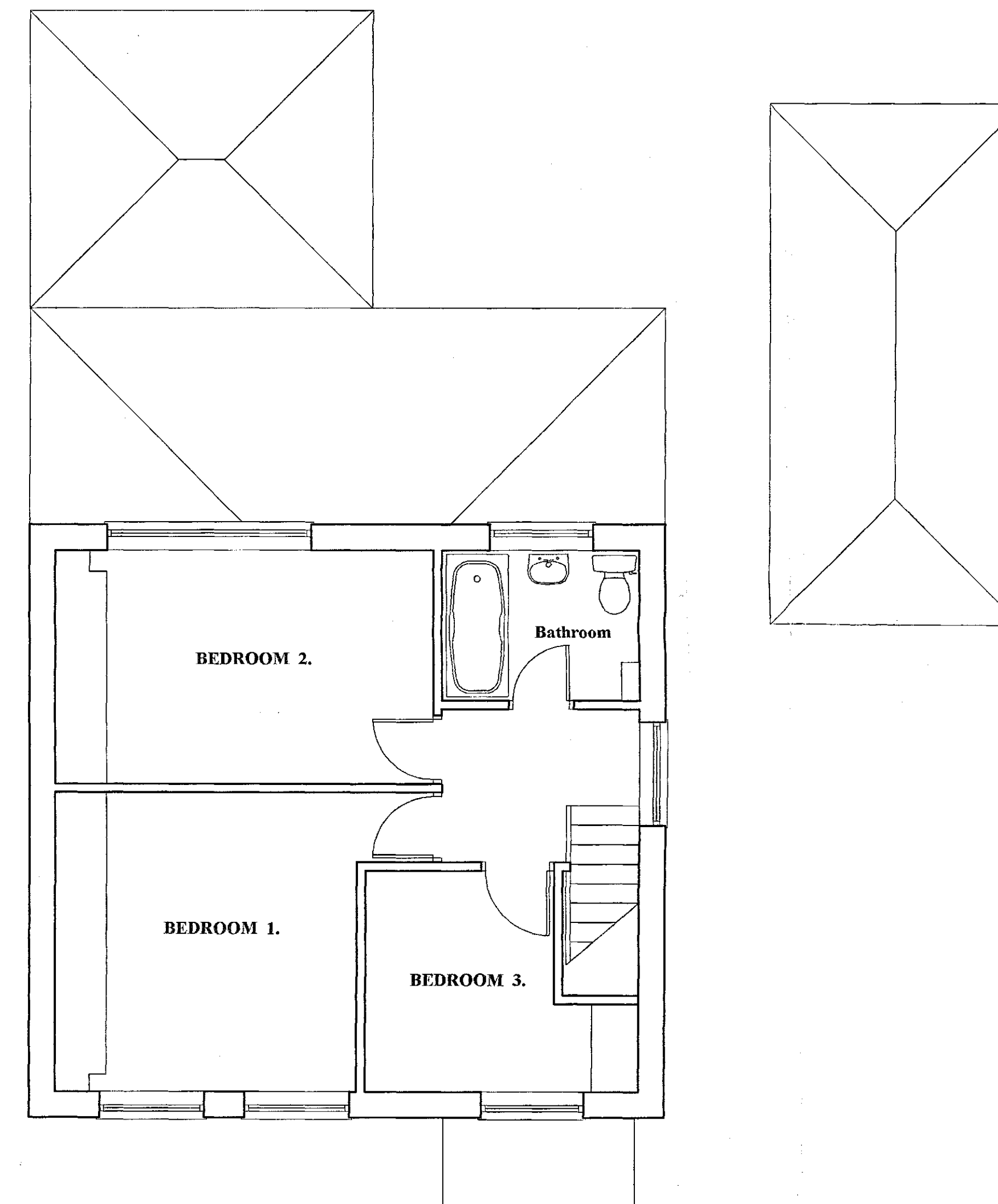
**SIDE ELEVATION**



**SIDE ELEVATION**



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**

**General notes**

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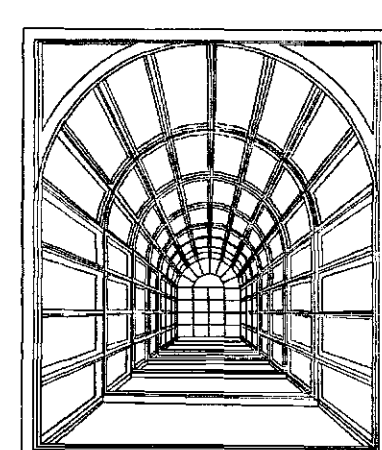
**EXISTING DRAWING**

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23 MAY 2014  
GENERAL CLERK

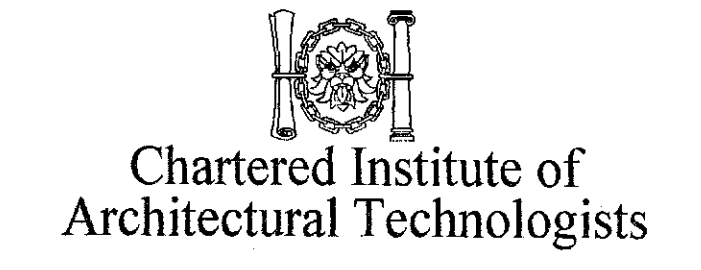
REVISION	DATE	DESCRIPTION

**PROJECT:** PROPOSED EXTENSIONS  
**ADDRESS:** 2, MELLWOOD GROVE, HEMMINGFIELD, BARNESLEY, S73. 0PW.  
**CLIENT:** MR & MRS SINGH

**DRAWING No:** 2014-51-1  
**DATE:** MAY 2014  
**SCALE:** 1:50 & 1:100



**JOHN KNOWLES**  
**ARCHITECTURAL DESIGN**  
Deancroft, Chestnut Court,  
Thrybergh,  
Rotherham, S65. 4RA.  
Telephone: 07966 394425





Roof Tiles and Facing Bricks are to match existing and samples are to be submitted and approved by Planning Officer prior to commencement

### FRONT ELEVATION

All new windows to first floor of dwelling are to have opening lights with unobstructed openable areas of 0.33m<sup>2</sup> and minimum 450mm x 750mm for escape purposes. Bottom of openable area is not to exceed 1100mm from floor level and windows are to comply with Part B of current Building Regulations and to satisfaction of District Building Surveyor.

#### ROOF CONSTRUCTION

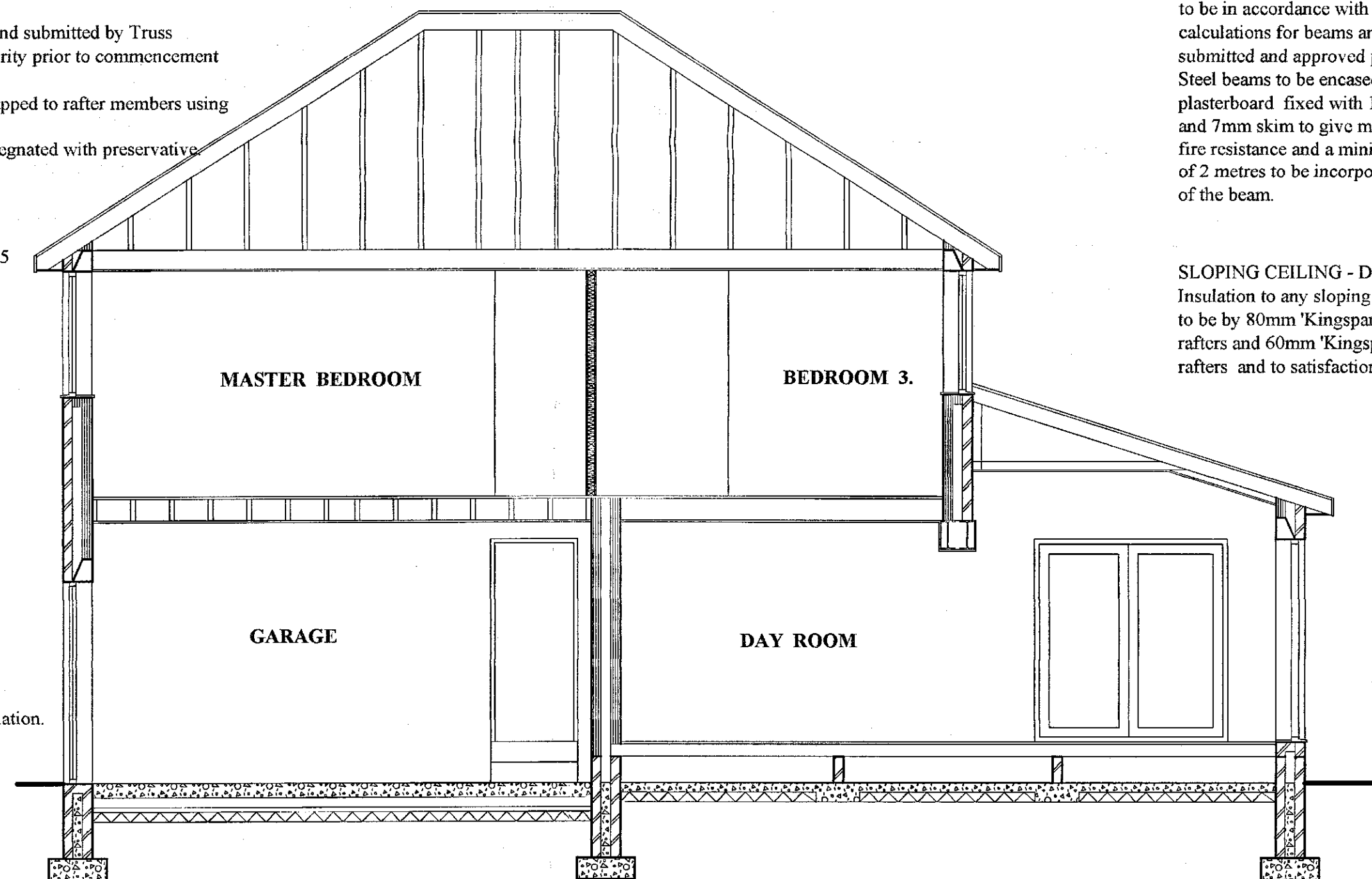
Concrete interlocking roof tiles on 50mm x 25mm tile battens with 1no. layer "Tyvek" Breathable heavy duty felt onto gang nailed roof trusses fixed at 600mm centres. 150mm fibreglass insulation to be laid between ceiling joists with 150mm laid on top in opposite direction and ceilings to be 12.5mm plasterboard and skim. Every second truss to be tied down with 32mm x 6mm galvanised mild steel straps minimum 450mm long. Calculations for roof trusses to be supplied and submitted by Truss Manufacturer, and approved by Local Authority prior to commencement of work. 100mm x 50mm timber wall plates to be strapped to rafter members using truss clips. All roof timbers to be vacuum pressure impregnated with preservative.

#### WIND BRACING

All wind bracing to be to BS5268 Part 3 1985 and is to incorporate:-  
100mm x 25mm diagonal bracing  
100mm x 25mm binders  
100mm x 25mm runner at ridge level  
100mm x 25mm bracing at 45° on top of ceiling joists  
100mm x 25mm bracing to 3no. webs of roof trusses.

#### GARAGE FLOOR

150mm thick concrete trowelled smooth on Visqueen 1200g damp proof membrane linked to d.p.c. in external walls. 100mm "Kingspan" or similar approved insulation. 50mm sand blinding. 100mm well consolidated hardcore.

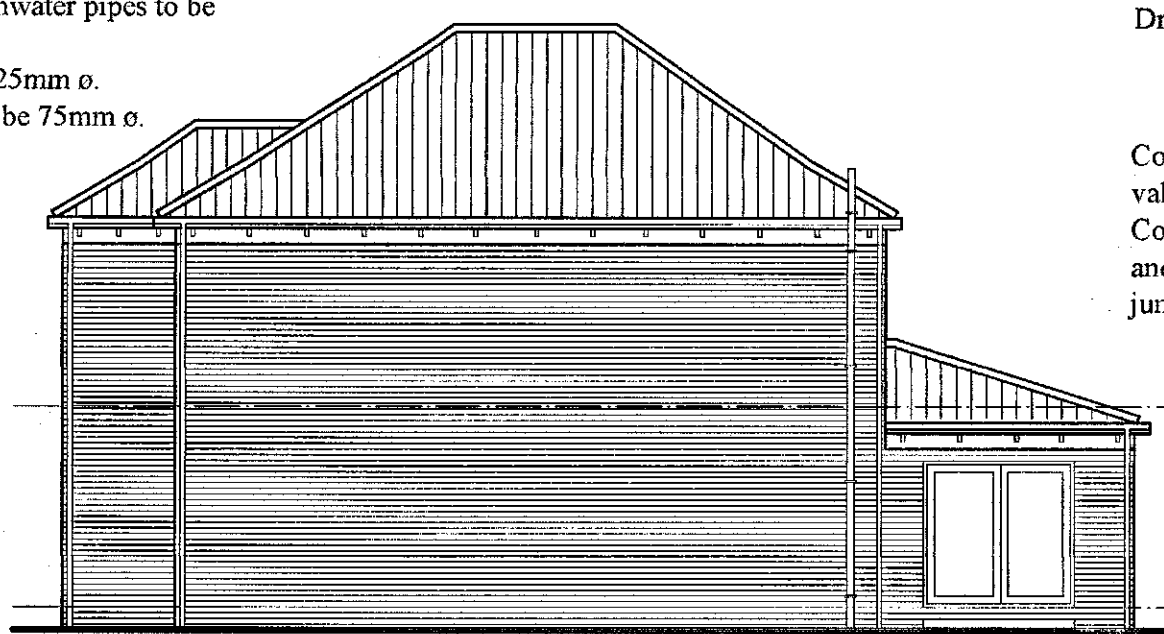


D.P.C.'s to heads; sills and jambs of all external openings.  
D.P.C. to external wall minimum 150mm above finished ground level.

### REAR ELEVATION



D.P.C.'s to heads; sills and jambs of all external openings.  
D.P.C. to external wall minimum 150mm above finished ground level.



Gutter and rainwater pipes to be U.P.V.C.  
Gutter to be 125mm ø.  
Downpipes to be 75mm ø.

### SIDE ELEVATION

**TIES**  
Galvanised lateral restraint straps to be fixed at first floor level; roof level and up roof slopes to span 3no. rafters/ceiling joists and at maximum 1800mm centres and where applicable incorporate timber noggins between joists and packed out from brickwork face. Dragon ties to be included to all hip roofs where applicable.

#### LINTOLS

Catnic insulated lintols to all external openings with minimum 150mm end bearing and to have proprietary weep holes at 450mm centres. All internal block walls to have 150mm x 100mm pre-cast reinforced concrete lintols and to be "Naylor Spanlite" or similar approved.

**STEELWORK** All steel beams and sizes of padstone to be in accordance with Engineer's details and calculations for beams and padstones to be submitted and approved prior to commencement. Steel beams to be encased in 2no. layers 12mm thick plasterboard fixed with 1.6mm wire binding at 450mm pitch and 7mm skim to give minimum 1 hour fire resistance and a minimum vertical headroom of 2 metres to be incorporated to the underside of the beam.

#### SLOPING CEILING - DAY ROOM

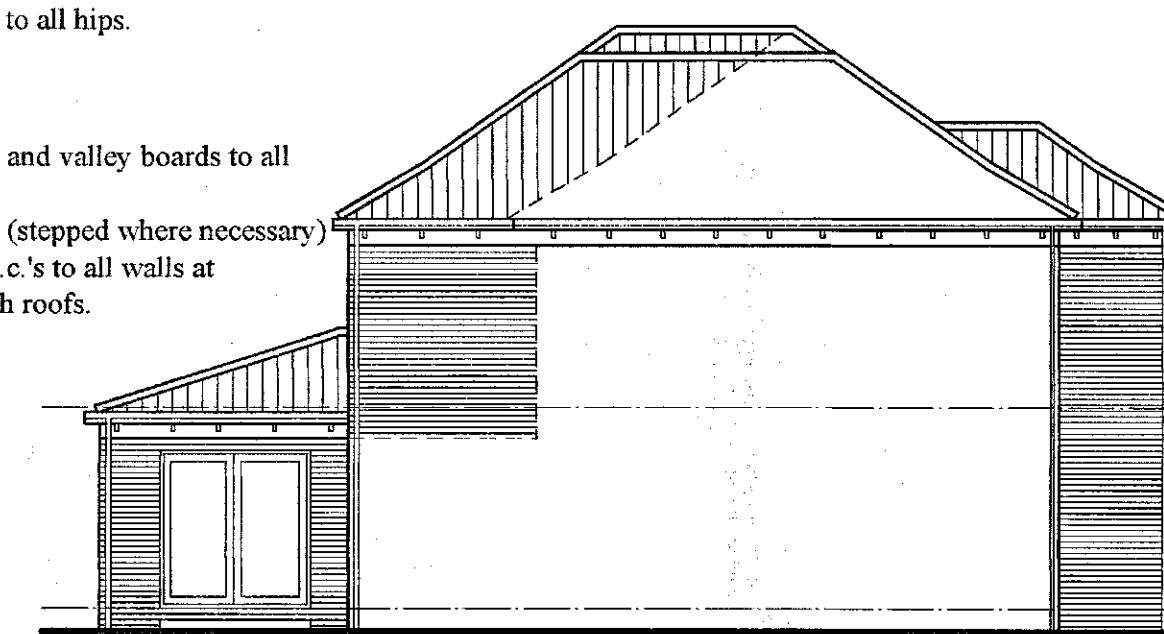
Insulation to any sloping ceilings incorporated to be by 80mm "Kingspan" insulation between rafters and 60mm "Kingspan" fixed to face of rafters and to satisfaction of District Building Surveyor.

#### FOUNDATIONS

600mm x 225mm concrete foundations minimum 900mm deep in clay and with minimum 450mm frost cover and if within 1 metre of drains to be taken down to invert level and all foundations to satisfaction of District Building Surveyor. 450mm x 225mm concrete foundations below internal loadbearing partitions with minimum 450mm frost cover.

Dragon ties to all hips.

Code 4 lead and valley boards to all valleys.  
Code 4 lead (stepped where necessary) and tray d.p.c.'s to all walls at junction with roofs.



### SIDE ELEVATION

**ROOF CONSTRUCTION - FRONT EXTENSION**  
Concrete interlocking roof tiles on 50mm x 25mm tile battens with 1no. layer "Tyvek" Breathable heavy duty felt or similar approved onto 150mm x 50mm rafters on 150mm x 50mm ceiling joists at 400mm centres. 100mm x 50mm vertical tie member. 150mm fibreglass insulation to be laid between ceiling joists with 150mm laid on top in opposite direction. Ceilings to be 9mm plasterboard and skim. Every third joist / rafter to be tied down with 32mm x 6mm galvanised mild steel straps minimum 450mm long. All roof timbers to be vacuum pressure impregnated with preservative.

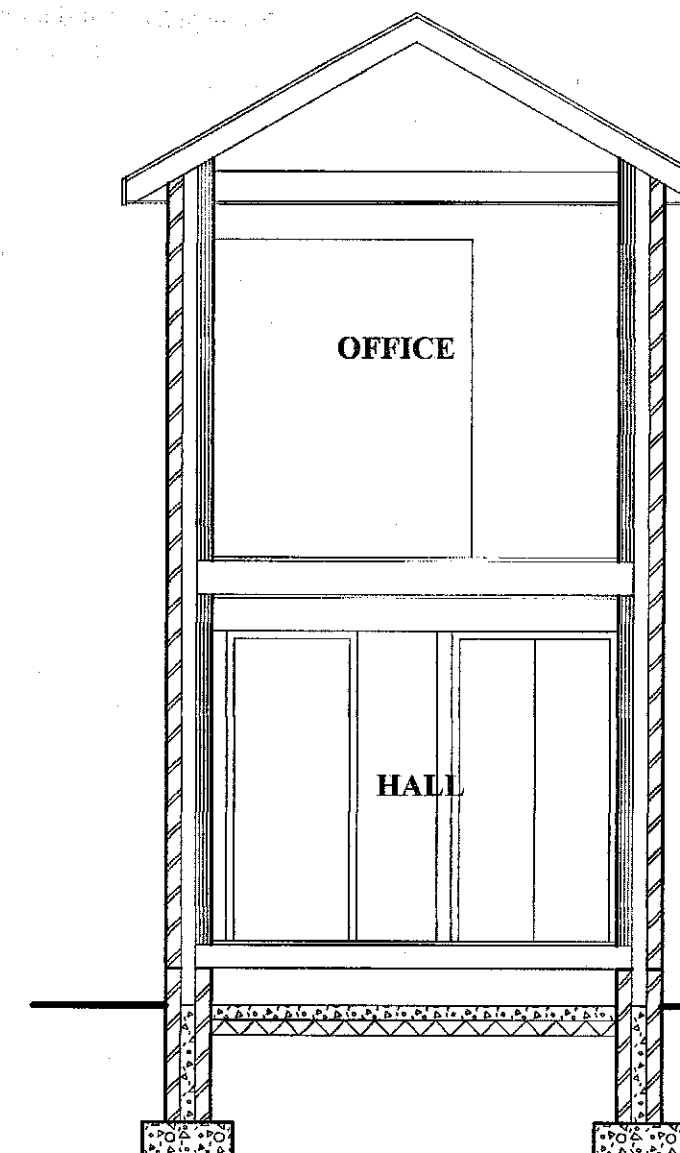
All joists built into walls are to have minimum 90mm end bearing; and ends to be treated with preservative.

#### FIRST FLOORS

25mm t&g boarding on 220mm x 50mm joists at 400mm centres. 9mm plasterboard and skim ceiling. 50mm x 50mm herringbone strutting to first floor joists at mid span and equal to minimum 2/3rds depths of joists. 100mm insulation to be laid between floor joists with a mass density of 10Kg/m<sup>3</sup>

#### GROUND FLOORS

Are to achieve a minimum 'U' value of 0.22W/m<sup>2</sup>K. 25mm t & g boarding. 150mm x 50mm joists at 400mm centres. 100mm "Kingspan" insulation or similar approved between joists. 100mm brick honeycomb sleeper walls to be minimum 150mm high taken down to 450mm x 225mm concrete foundations. 100mm oversite concrete. 100mm well consolidated hardcore.



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## PROPOSED ELEVATIONS & SECTIONS

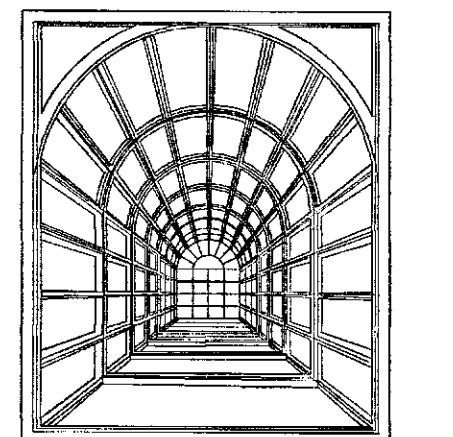
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23 MAY 2014

REVISION	DATE	DESCRIPTION

<b>PROJECT:</b>	PROPOSED EXTENSIONS
<b>ADDRESS:</b>	2, MELLWOOD GROVE, HEMMINGFIELD, BARNSELEY, S73. 0PW.
<b>CLIENT:</b>	MR & MRS SINGH

**DRAWING No:**  
2014-51-3  
**DATE**  
MAY 2014

**SCALE:**  
1:50 & 1:100



### JOHN KNOWLES ARCHITECTURAL DESIGN

Deancroft, Chestnut Court,  
Thrybergh,  
Rotherham, S65. 4RA.  
Telephone: 07966 394425

**EXTERNAL WALLS**  
 Are to have minimum 'U' value of 0.28W/m<sup>2</sup>K achieved by 100mm facing brick with 100mm cavity filled with 100mm Rockwool cavity batts and 100mm Thermalite "Shield 2000" blockwork and 13mm lightweight plaster and skim.

**NOTE:**  
 Insulation to walls to be taken up to ridge level to all gable ends  
 External walls to have 5no. stainless steel wall ties/m<sup>2</sup> and at 225mm vertical centres to all reveals and damp proof course at minimum 150mm above proposed ground levels.  
 All external reveals to have 'U' value of 0.28W/m<sup>2</sup>K achieved by using "Damcor" or similar approved cavity insulation.  
 "Flexcell" or similar approved expansion joints to external walls at maximum 12 metre centres.  
 Damp proof course to all external walls at heads, sills, and jambs, and cavity walls to be sealed at roof level and openings.  
 Concrete cavity fill to external walls minimum 225mm below dpc level  
 No projection over boundaries of walls or foundations.

**ADDITIONAL VENTILATION REQUIREMENTS**  
 All Ventilation is to be strictly in accordance with the requirements of Building Regulations Part F  
 Kitchen.....requires mechanical extractor fan with a minimum capacity of 60 litres/sec. or a cooker extractor hood ducted direct to external air and with a minimum capacity of 30 litres/sec. to be incorporated.  
 Bathroom, En-Suite, Shower Room and Cloak Room.....requires mechanical fan to give a minimum of 3no. air changes per hour and with a minimum capacity of 15 litres/second and with minimum 15 minute over run facility operated by light switch

new brickwork and blockwork to be bonded to existing and cavities to be maintained where applicable

**WINDOWS**  
 All windows to be double glazed sealed units with a 16mm air gap and "K" glass by Pilkington or similar approved "soft" low-E coating to the inner pane to give a U value of 1.6W/m<sup>2</sup>K and doors to be 1.8W/m<sup>2</sup>K and to have opening lights to equal 1/20th floor area and incorporate trickle vents with minimum area 8000mm<sup>2</sup> to habitable rooms, 4000mm<sup>2</sup> to other rooms.  
 All glazing to windows to be in accordance with Part N Building Regulations; i.e., to be toughened/ annealed glazing to any windows with sills below 800mm from floor level and to glazed panels in doors, adjoining side screens and any windows within 300mm of doors below 1500mm from floor level.

All new windows to first floor of dwelling are to have opening lights with unobstructed openable areas of 0.33m<sup>2</sup> and minimum 450mm x 750mm for escape purposes.  
 Bottom of openable area is not to exceed 1100mm from floor level and windows are to comply with Part B of current Building Regulations and to satisfaction of District Building Surveyor.

**STEELWORK** All steel beams and sizes of padstone to be in accordance with Engineer's details and calculations for beams and padstones to be submitted and approved prior to commencement.  
 Steel beams to be encased in 2no. layers 12mm thick plasterboard fixed with 1.6mm wire binding at 450mm pitch and 7mm skim to give minimum 1 hour fire resistance and a minimum vertical headroom of 2 metres to be incorporated to the underside of the beam.


**CLOAKS**  
 Cloaks to comply with Part M Building Regs i.e door to open outwards and wash basin to be positioned so as to achieve a minimum space of 760mm between wc and wash basin

**SANITARY PIPEWORK**  
 Sink unit(s) to have 40mm p.v.c. waste and 75mm deep seal trap and to discharge into gully below grate level.  
 Baths; Showers; Bidets; to have 40mm p.v.c. wastes and 75mm deep seal trap.  
 Wash basins to have 32mm p.v.c. waste and anti-vac trap.  
 All wastes other than W.C. are to connect into soil and vent pipe above, or minimum 200mm below W.C. connection.  
 Soil and vent pipe to be 100mm p.v.c. and to terminate minimum 1 metre above window heads where external and to have weathering slate incorporated where taken through roof construction  
 100mm fibre glass insulation to be incorporated around soil and vent pipes where boxed in.  
 Non-return valves to be incorporated to stub-stacks.

**NOTE:**  
 All Electrical Work is to be carried out by an approved Electrician registered with the NICEIC and on completion, a design installation and Test Certificate is to be issued in accordance with BS7671  
 Switches and socket outlets for lighting and other equipment in all habitable rooms are to be positioned between 450mm & 1200mm from finished floor level in accordance with Section 8 of Part M of current Building Regulations.

**LIGHTING**  
 Lighting System is to comply fully with Approved Document L1B and is to have:

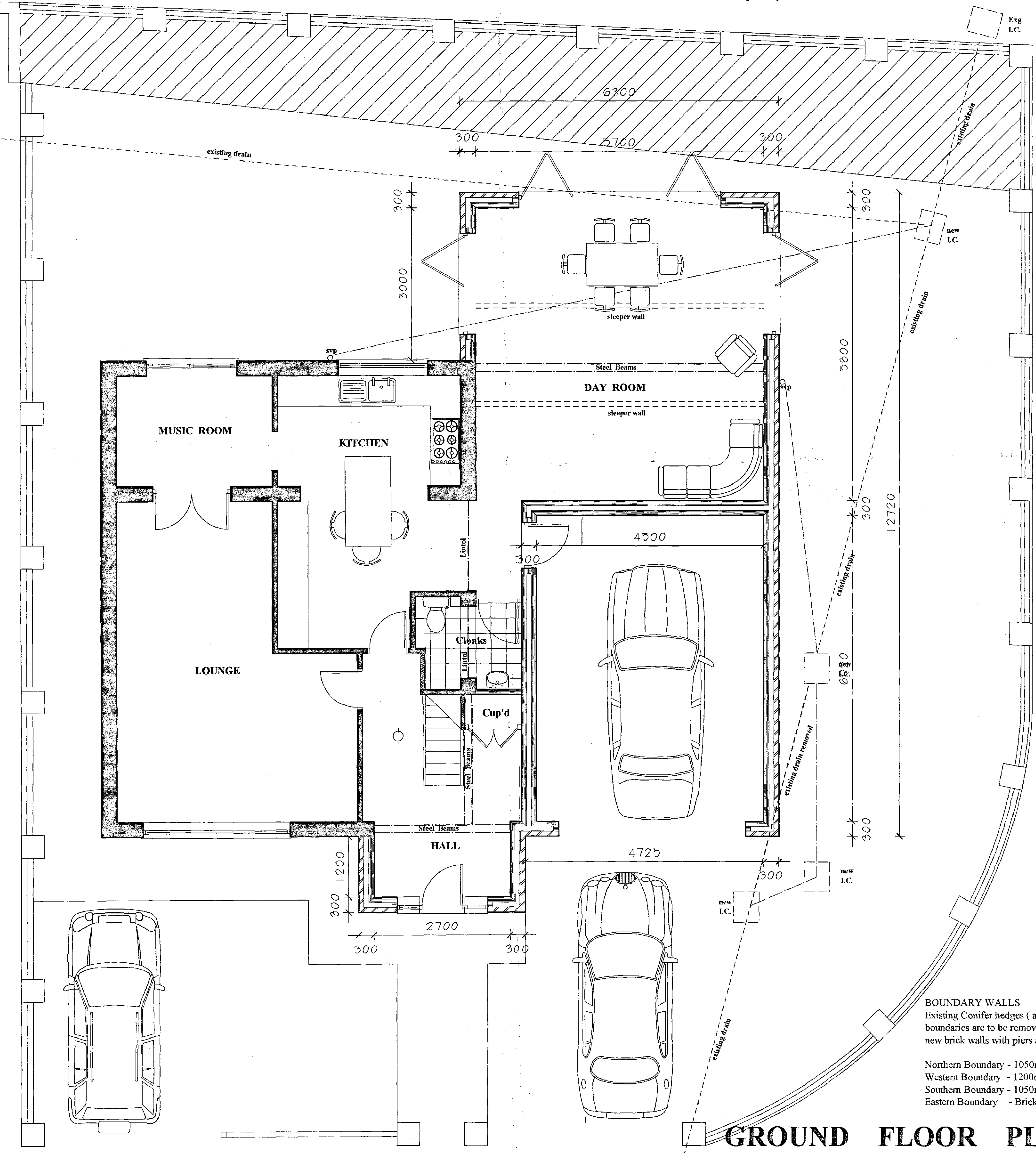
- 1) Fixed Energy Efficient light fittings that number not less than the greater of:
  - a) 1 fitting per 25m<sup>2</sup> floor area or part thereof
  - b) 1 fitting per four fixed light fittings
- 2) Energy Efficient fittings are those which will only accept lamps with a luminous rating greater than 40lumens per circuit-watt

**SMOKE DETECTION**  
 Smoke detectors shown thus  to be incorporated and interconnected and wired to a separate fuse at the distribution board.  
 They are to be positioned minimum 300mm from any ceiling lighting point and maximum 3 metres from bedroom doors.

**INTERNAL WALLS**  
 Load bearing walls to be 100mm "Celcon Aircrete" blockwork with a minimum density of 450Kg/m<sup>3</sup> with 13mm dense plaster or plasterboard on dabs and skim.  
 Non-load bearing walls to be 75mm x 50mm timber studding with 25mm quilt insulation laid between and 12.5mm plasterboard and skim to both sides and double joists under walls where running parallel.  
 100mm brick honeycomb sleeper walls minimum 150mm high and shown dotted.

D.P.C.'s to heads, sills and jambs of all external openings.  
 D.P.C. to external wall minimum 150mm above finished ground level.

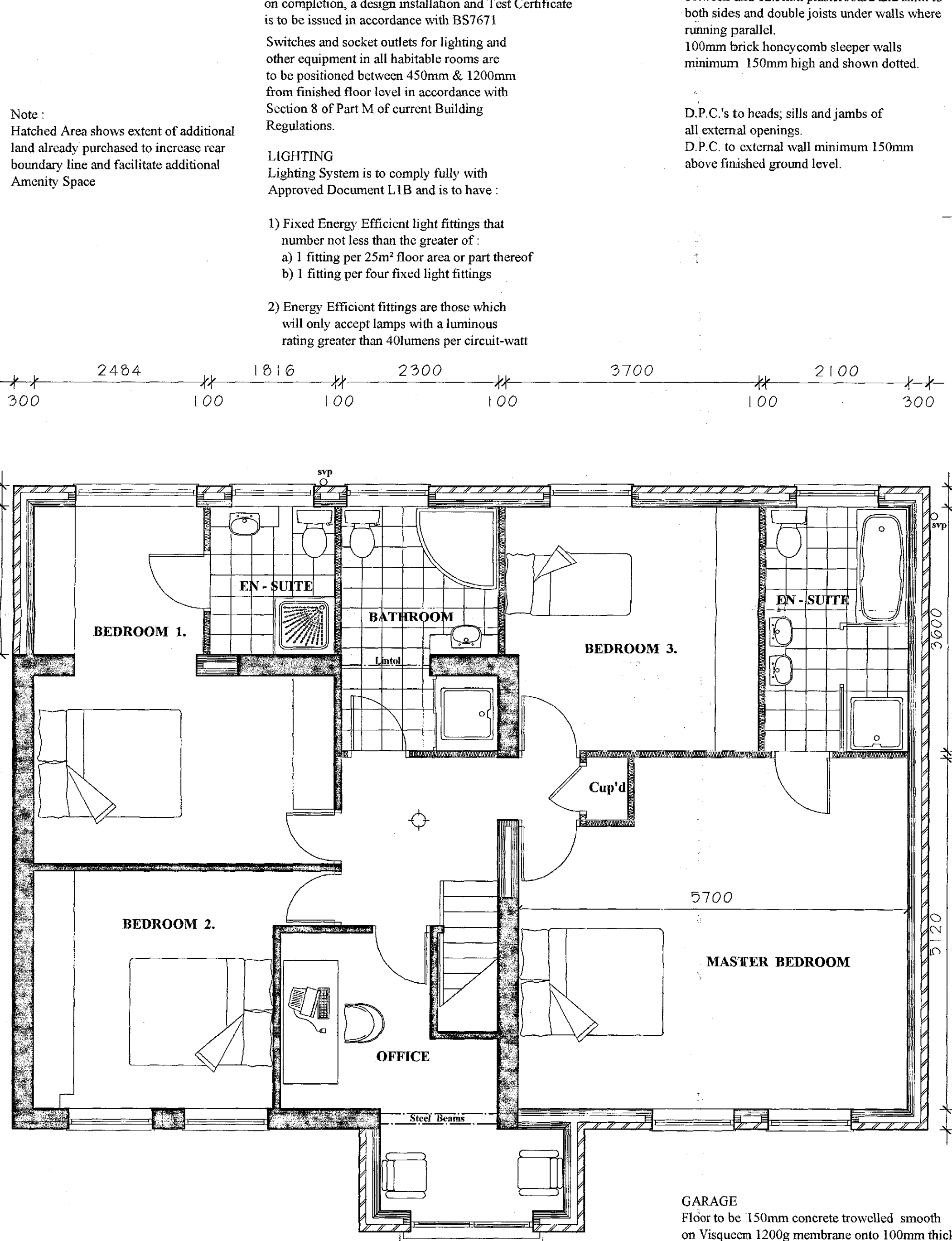
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**GROUND FLOOR PLAN**

**BOUNDARY WALLS**  
 Existing Conifer hedges (approx 3.00m high) to North and West boundaries are to be removed and all boundaries are to have new brick walls with piers and timber fencing as follows:

Northern Boundary - 1050mm brick wall & 1050 mm timber fence  
 Western Boundary - 1200mm brick wall & 1050mm timber fence  
 Southern Boundary - 1050mm brick wall & 1050mm timber fence  
 Eastern Boundary - Brick piers with Timber sliding gates approx 1350mm high



**FIRST FLOOR PLAN**

**DRAINAGE**  
 All drainage to be 100mm "Hepsleve" pipes or similar approved with flexible joints, bedded and surrounded in granular material and laid to a minimum fall 1:40.  
 Any drains passing under buildings to be encased in minimum 150mm concrete and to be bridged where passing through walls.  
 Inspection chambers to be 225mm Class 'B' Engineering brick or precast concrete sections on 150mm concrete base, and chambers deeper than 1 metre are to have step-irons incorporated and internal sizes of chambers to comply with B.S. 8301.  
 All drainage is to be to the satisfaction of and approval of the District Building Surveyor.

**GARAGE**  
 Floor to be 150mm concrete trowelled smooth on Visqueen 1200g membrane onto 100mm thick 'Kingspan' insulation on 50mm sand blinding on 100mm well consolidated hardcore.  
 Wall between garage and dwelling to be 300mm cavity wall and Blockwork to achieve a 'U' value of 0.3W/m<sup>2</sup>K, and taken up to underside of ceiling and fire stopped to satisfaction of the District Building Surveyor.  
 Door between garage and dwelling to be half hour fire resisting door with self closer and minimum 25mm rebates to frame/lining and to incorporate approved smoke seals and a minimum 100mm non combustible threshold to be incorporated between garage and dwelling.  
 Framelining to be machined to accept intumescent strips

**PROPOSED PLANS**

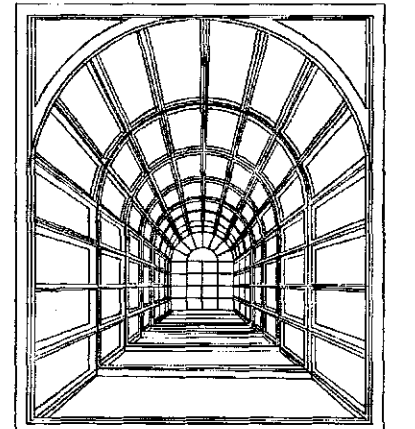
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