

This drawing must be read in conjunction with the relevant Residual Design Hazard Schedule

**Elevation Notes**

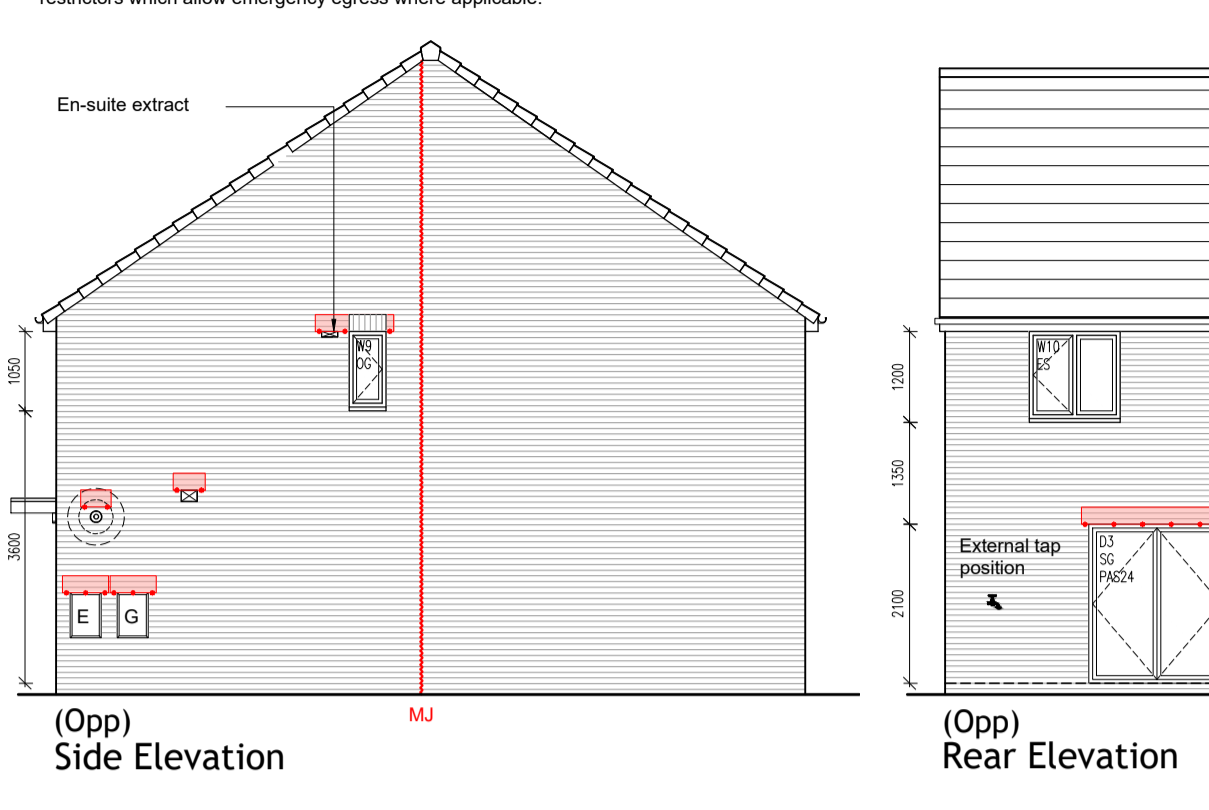
- Cavity trays with weepholes at 450mm centers (min 2) over all penetrations. Linked with Code 4 lead flashings abutments.
  - Cavity Tray Location (number of weep vents indicated)
  - Refer to Brick Roof for setting out height to extract fans and flues.
  - All windows to first floor habitable rooms to be escape windows with a minimum unobstructed openable area of least 0.33m<sup>2</sup> (min 450mm x 450mm). The bottom of the openable area not more than 1100mm above the floor.
  - All upper floor windows to have easy clean hinges and to be fitted with window opening restrictors where applicable. Escape windows to be fitted with an approved window opening restrictor to the satisfaction of Building Control. Where Lifetime Homes applies all window handles to be no higher than 1200mm from FFL.
  - Refer to table for background (trickle) ventilation requirements (system 1 ventilation)
  - Tie vents to be provided for extracts in mid terrace or when adjacent a party wall, or when SP requires venting - see general notes.
  - Maintain manufacturers required clearances for boiler flue: generally 300mm directly below, above or alongside an opening window or ventilation opening, 300mm<sup>(7)</sup> from an internal / external corner, 75 / 150mm<sup>(7)</sup> below / adjacent RWP's and soil pipes, 200mm<sup>(7)</sup> below eaves a 150mm/300mm zones indicated on elevations.
- <sup>(7)</sup> One reduction down to 25mm is allowable per install - refer to manufacturers details

Notes and dimensions apply to both sides (both As and Opp layouts). Shown separate for clarity.

Front Elevation 1:100 (As) (Opp)

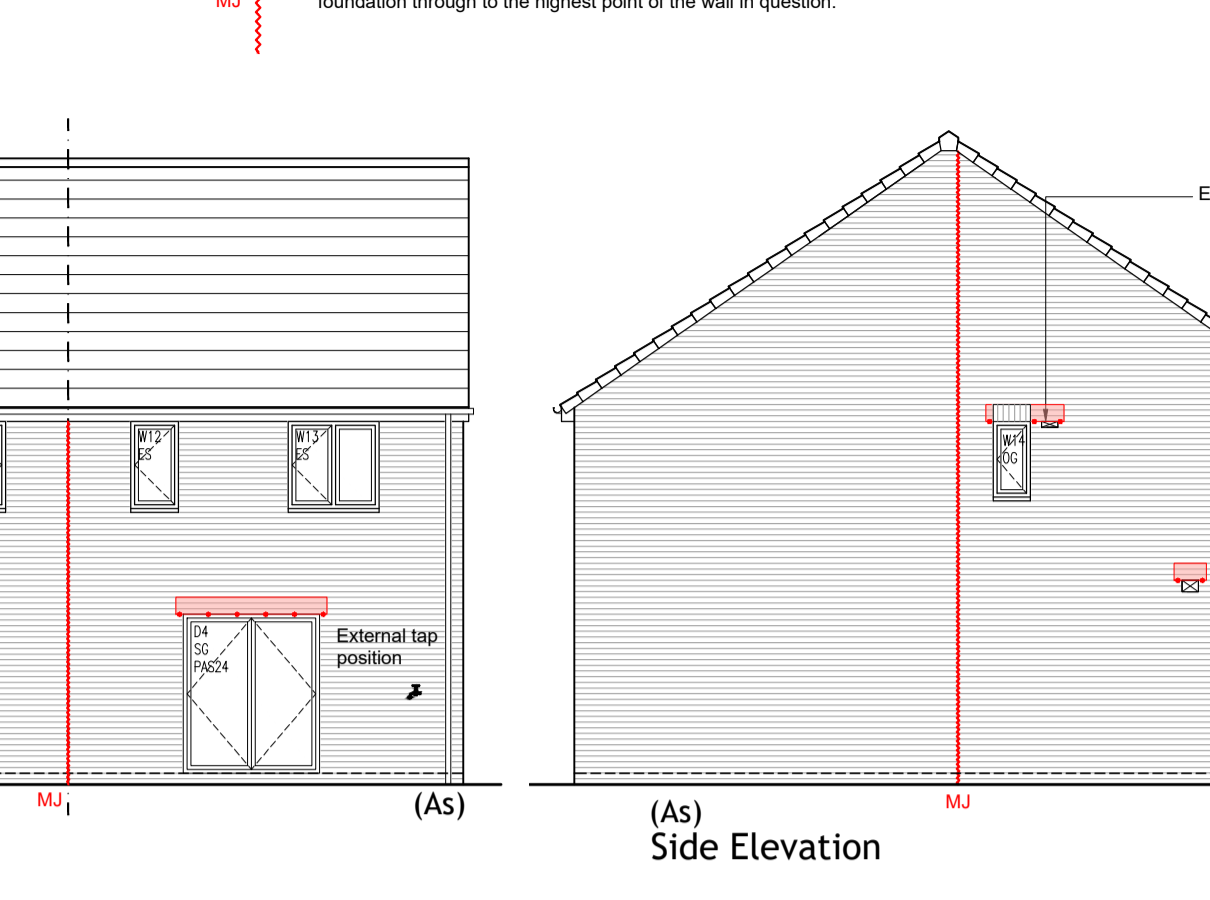
- Materials:  
Windows  
PVCu white windows throughout  
Brick soldier course to head where indicated  
Half brick soldier course to sill where indicated  
Canopy  
GRP Canopy above main entrance door
- Roof  
Concrete interlocking tiles and dry ridge/verge system  
Fascia  
Facing brick throughout  
Rainwater goods  
PVCu gutters and downpipes

Suitably approved restrictors to all upper floor windows with easy clean hinges to enable safe cleaning. Escape windows to be fitted with restrictors which allow emergency egress where applicable.

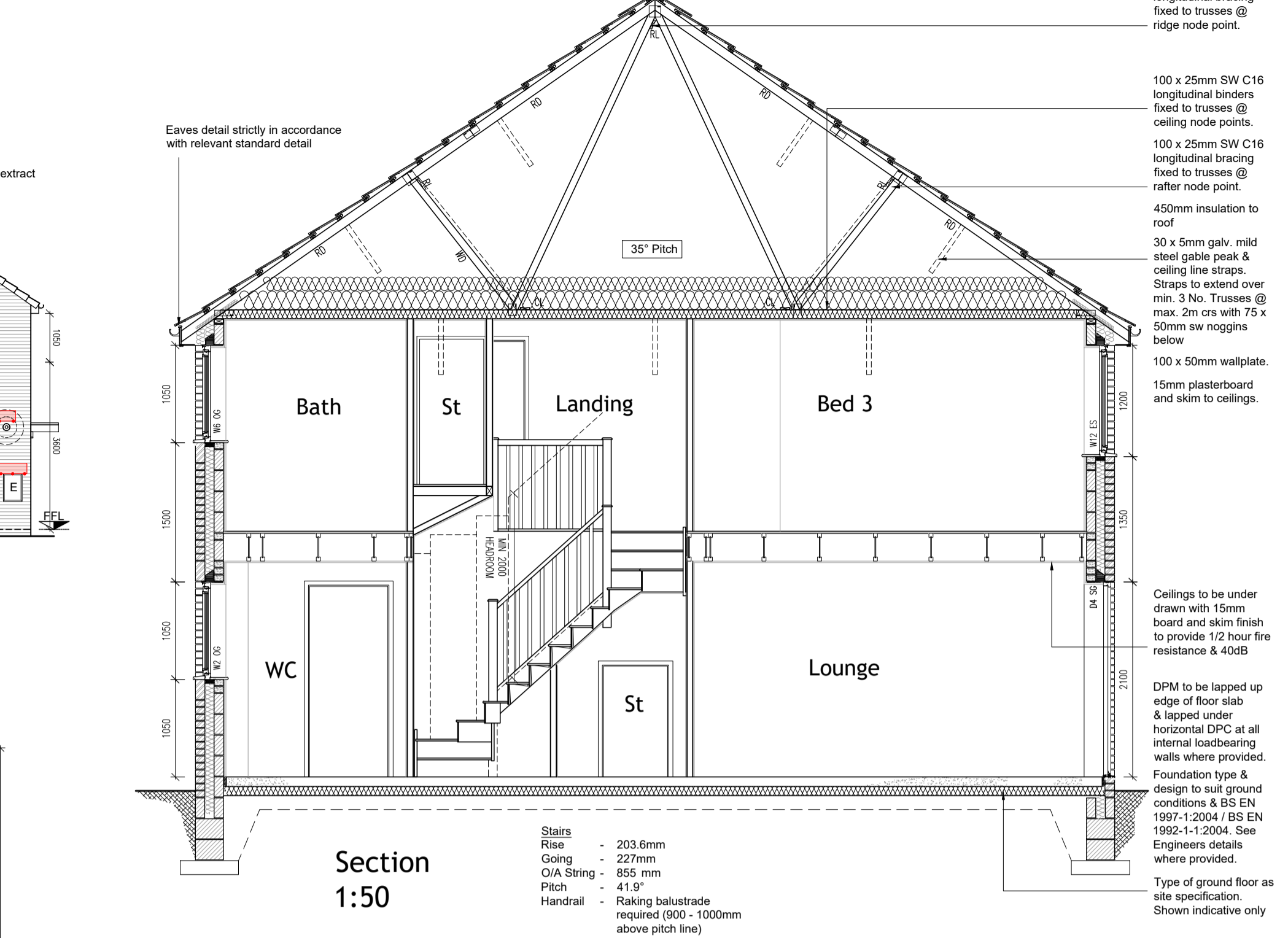


Side Elevation 1:100 (Opp) (As)

Movement joints are to consist of sleeved (on one side only) flat bar ties at 450mm vertical c/s with 15mm compressible filler and colored elastomeric sealant. Joint to be taken from top of foundation through to the highest point of the wall in question.



Rear Elevation 1:100 (Opp) (As)

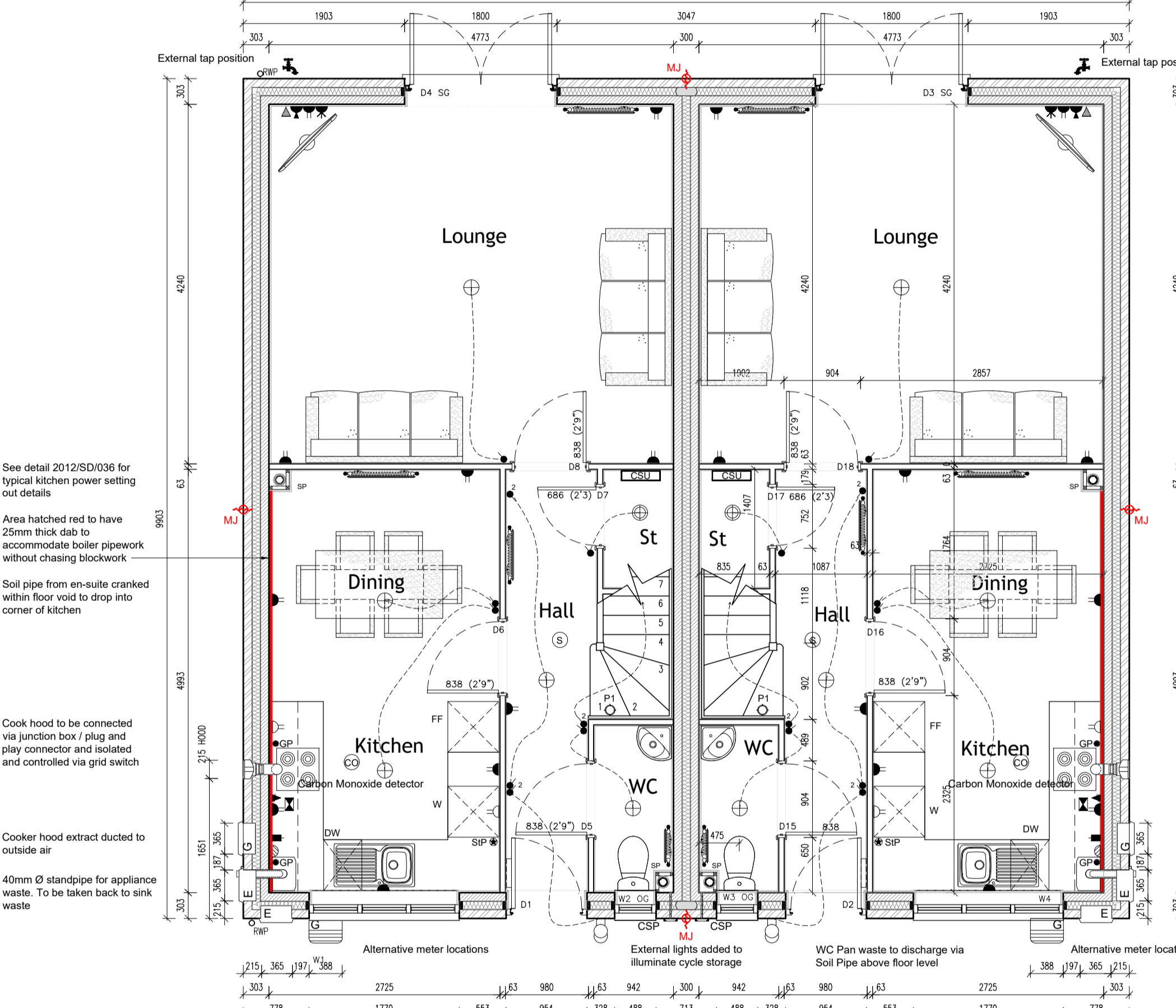


Section 1:50

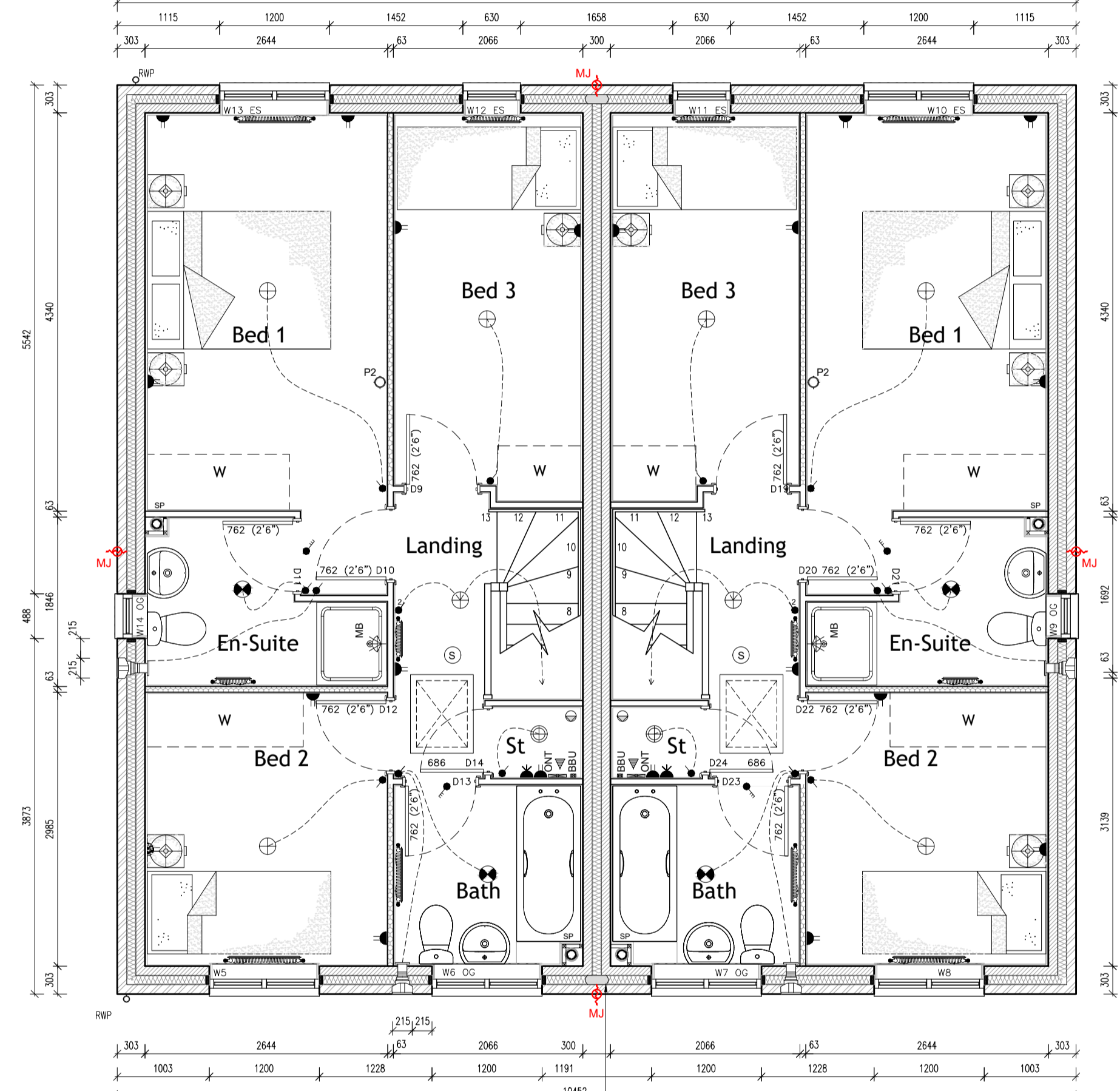
- Legend & Notes**
- Low level 13A socket (single / twin)
  - High level 13A socket (single / twin)
  - Twin low level 13A socket w/ 2x USB charge points
  - Twin high 13A level socket w/ 2x USB charge points
  - Modular plate w/ 2x USB charge points
  - Low Level RJ45 (Cat 5e) socket
  - Fibre network termination point & battery (300-1600AFL)
  - Door bell - Push button (1200 AFL)
  - Door bell - Scanner (1800 AFL)
  - Media Plate w/ 4x 13A, CAT 5, TV, BT (Slave) & Quadplex
  - Telephone point
  - TV Coaxial point
  - 45A DIP Cooker Control Switch w/ 13A switched socket & neon
  - Cooker outlet plate
  - 4/6 Gang Grid to control unswitched sockets (FF, WM, DW & Hood. Use 6 gang when undercounter Fridge & Freezer shown)
  - Isolator switch for extract fan
  - Lightswitch - multi-gang plate where required. Number = ways
  - 50A DP switch for electric shower. Fix next to light switch
  - Consumer unit fitted with switches between 1350 - 1450 AFL. Where required fit isolator, within external electricity meter housing, and extend lugs to indicated CSU position
  - Smoke / Heat detector with mains power supply and battery backup. To be interlinked as BS5446. To be 300mm from light fittings and walls.

**General Notes**

- This drawing is to be used in conjunction with suppliers joint, stair, truss and kitchen layouts and with company standard details.
- The top of all separating / compartment walls are to be fire stopped with a minimum of one layer of 25mm thick mineral wool laid above and below roofing membrane.
- Soil pipes are only to be open vented (900mm above openings or at roof level) at the head of the drains serving 5-10 dwellings, and at the head and mid-point drains serving 11-20 dwellings.
- In all other instances a stub stack and AAV should be provided. See site specific drainage / external works plan for further details.
- Soil pipes to be wrapped in minimum 25mm mineral fibre (and fire stopped where passing through intermediate floors) and to be encased full height with 2 layers 12.5mm plasterboard on 38x38mm sw framing in all cases.
- Unless noted otherwise - all drainage runs at first and second floor to be discharged to soil stack via floor void. No boozing / pipe work above floor. Where boozing required form with 6mm ply on 38x38mm sw framing.
- Refer to manufacturers literature for forming penetrations through joists.
- All dimensions are to the face of structure (i.e. timber stud / joist / truss / unfinished face of blockwork) unless otherwise noted.



Ground Floor Plan 1:50 (As) (Opp)



First Floor Plan 1:50 (As) (Opp)

All drainage runs at first floor to be discharged to soil stack via floor void.

Where the soil pipe is required to be open vented (see general notes - item 3) then the boxing should be full height to allow pipe to terminate at a tile vent.

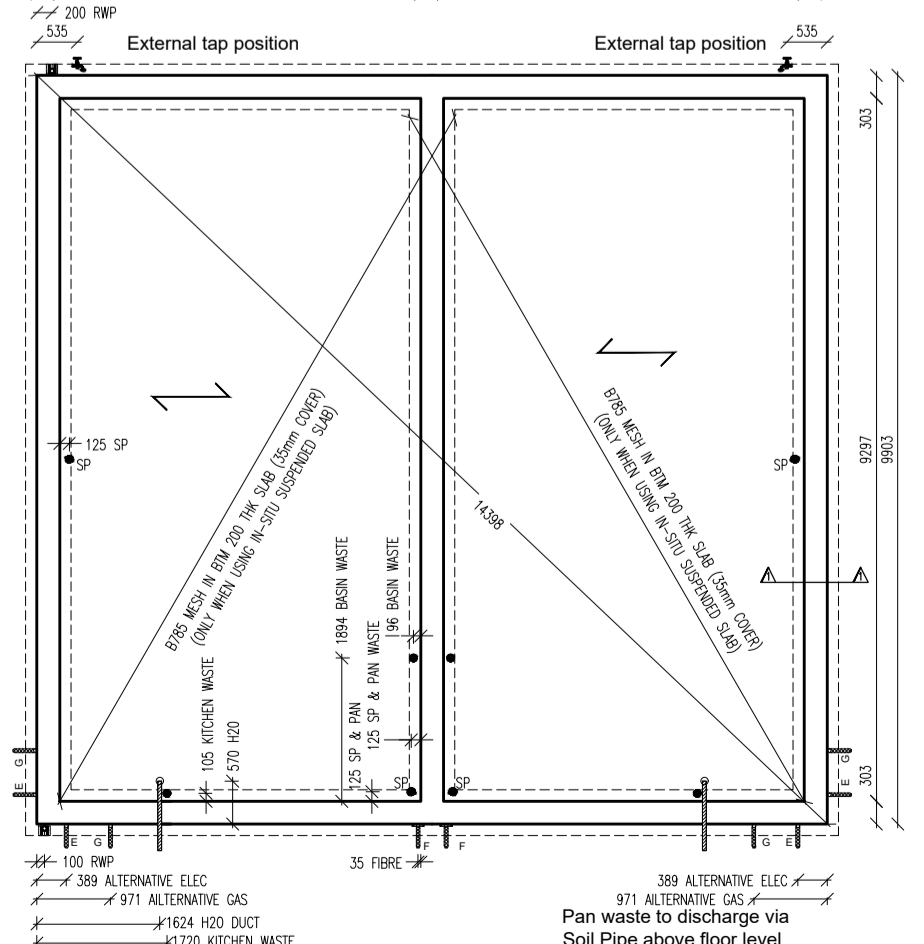
Use wall mounted extract fan to bathroom

**Type Specific Notes**

- Raking balustrade required.
- Stainless dishwasher required.
- Two heating designs - one for end / semi and one for all other situations.
- Boiler housing only to be ordered in mid terrace situations
- Heating Zone 1 - Lounge, Kitchen / Dining, Hall, WC & Landing
- Heating Zone 2 - Bed 1, Bed 2, Bed 3, Bathroom & En-suite
- No TRV to radiators in Lounge and Bed 1 (programmable room thermostat in these areas.
- Doors to understairs cupboard (D7 & D17) to be 1205mm high & cut square

**Foundation Notes**

- Foundations to be of a site specific design to suit individual site conditions, as produced and approved by site engineering consultant.
- Foundations to be to the satisfaction of the Building Inspector.
- Design should be in accordance with relevant Building Regulations (Section A12 Section 2E) and other statutory requirements with min. cover in accordance with BS 8004:1986 and BS 8110:1997
- Foundations to be taken down to a level below invert of any adjacent drainage. All services to pass through wall above foundation - provide PCC intel over services where they pass through walls.
- Ensure DPM is lapped up side of floor slab & returned under blockwork



Foundation Plan 1:100

**Foundation Key**

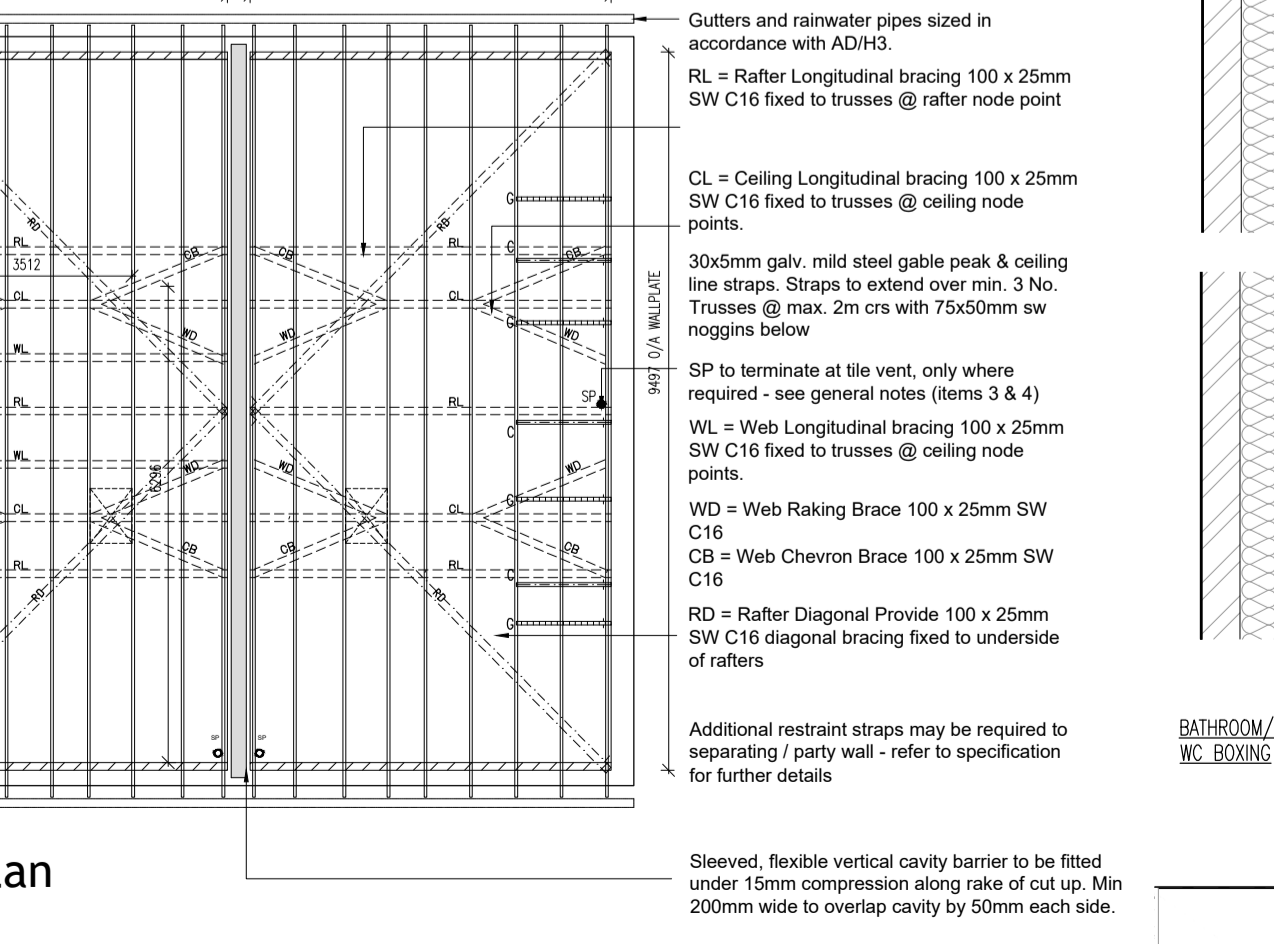
- 100mm Ø waste pipe & rest bend to I/C
  - Rainwater pipe with access gully
  - Main bars in the bottom mesh laid parallel to the direction at 100mm c/c (suspended in-situ slab only). Laps as below.
  - Lap 400 side 400 end 400 side 600 end
  - Mesh A193 / A252 / A305 B385 / B503 / B785
  - Note End is the end of the primary direction for the wires. Where possible laps should be staggered
  - A252 mesh in top of slab with 35mm cover (where indicated on plan - suspended in-situ slab only)
  - Floor slabs to be cast as one (per dwelling)
- For sites implementing a beam and block floor, please refer to beam and block manufacturers details / drawings for sleeper wall requirements.

**Wall Types**

- 102.5mm Facing brick
- Class B Engineering brick
- 100mm Blockwork - 2.8kn min.
- 100mm Blockwork - 7.0kn min.
- 63mm CLS Stud with 12.5mm plaster board & 2.5mm skim to each side
- Acoustic partition to provide 40dB sound reduction

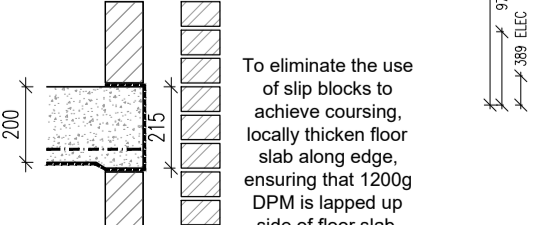
**Roof Plan Notes**

- All roof trusses to be @ 600mm c/s max. & fixed in accordance with BS 5268. Spandrel panels used where required
- Manufacturer to check dimensions prior to fabrication.
- 100 x 50mm sw wallplates throughout.
- All roof bracing to comply with BS5268. All timber bracing to trussed rafters to be 100x25mm min. C16 grade timber and nailed twice into each trussed rafter, and to the wall plate. Nailing should be 3.5mm (10 gauge) x 65mm long galvanized round wire nails.
- No longitudinal or diagonal bracing to penetrate any separating / party wall. Longitudinal bracing to tightly abut separating / party wall and be in line or nearly in line on both sides of separating / party wall.
- Long bracing members may be lap jointed, providing the overlap is nailed to at least 2 No. roof trusses.
- For alternative or 'Specialist' bracing refer to Truss Manufacturers or Engineers specific details.
- Adjacent ends of bracing members are to be fixed in close proximity to one another.
- Restraint straps to be provided where highlighted within separate specification notes.
- The top of all party walls to be fire stopped with minimum of 25mm thick mineral wool laid above & below roofing membrane.



Roof Plan 1:100

**Floor Slab Edge**



Floor Slab at Section 1-1

**Design Criteria**

- Based on Keepmoat Core House Type - Revision J
- Traditional Construction
- Keepmoat Bronze Specification
- Building Regulations Part A 2013, Part B1 2013, Part C 2013, Part D 2010, Part E 2010, Part F 2010, Part G 2010, Part H 2010, Part J 2010, Part L 2013, Part M 2016, Part P 2013, Part R 2010 & Part Q 2015

A Services relocated, additional information added 22.01.20 H51 H51

DATE	14/01/2020	DRAWN	H51
SCALE	1:20/50/100@A1	CHK	H51

**HOUSETYPE WORKING DRAWING**  
CADDINGTON PLUS HOUSETYPE

CARLTON ROAD  
GIFA 951ft<sup>2</sup> GIFA 88.4m<sup>2</sup>

Dwg No H51-CR-001 Rev A

**Keepmoat Homes**  
**HIVE**

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