

2022/0099

Mr Mark Fitch

Alterations and extensions to the dwelling including first floor extensions to the front and side, single storey and 1.5 storey extensions to the rear, front and rear facing dormer window extensions, front porch extensions and changes to the external facing materials. (*Amended Plans*)

6 Vicarage Lane, Royston, Barnsley, S71 4QY

Site Description

The application relates to a detached 1.5 storey property located within a predominantly residential area. There is an enclosed garden area to the front of the property and a driveway from Vicarage Lane leading down the Western elevation of the property to the rear. On the Eastern elevation of the property is a single storey extension which was approved under application 04/1835. To the rear of the dwelling is an enclosed garden area and outbuildings within close proximity of the rear elevation of the building.

There are dormer bungalows adjacent to each side boundary and a detached dwelling, access from Church Street, to the rear. Opposite the site are the grounds associated with Parkside Primary School.



Site History

2021/0804 - Alterations to dwelling consisting of first floor extensions to front and on one side, one and a half storey extension on other side, installation of front and rear dormer windows, single storey rear extension, porch extension to front and changes to the external facing materials – Refused for the following reasons;

In the opinion of the Local Planning Authority the proposed extensions and alterations would be contrary to Policy D1 of the Local Plan and the Council's Supplementary Planning Document 'House Extensions and Other Domestic Alterations' in that their bulky design, excessive size, width and eaves height would be architecturally inconsistent with the character of the host property and immediately adjacent neighbouring properties and would as a consequence appear as a cramped and oversized incongruous feature in the street scene that would be harmful to the visual amenity of the locality.

The proposed development fails to provide sufficient and suitable car parking provision within the site, as recommended by SPD 'Parking'. Consequently, the proposal would be likely to result in on-street car parking along Vicarage Lane to the detriment of the safe and free flow of traffic on the highway and contrary to Local Plan Policy T4.

Proposed Development

The applicant seeks permission for alterations and extensions to the dwelling including first floor extensions to the front and side, single storey and 1.5 storey extensions to the rear, front and rear facing dormer window extensions, front porch extensions and changes to the external facing materials.

The existing side extension would be converted to a garage with a store room extension to the rear. Above that a new pitched roof with front and rear dormers is proposed to accommodate 2no. bedrooms. A single storey rear extension is proposed to the full width of the existing rear elevation which, together with the existing lounge and kitchen, would create an open plan living/dining/kitchen. An open fronted, pitched roof porch is also proposed around the existing front elevation.

Existing

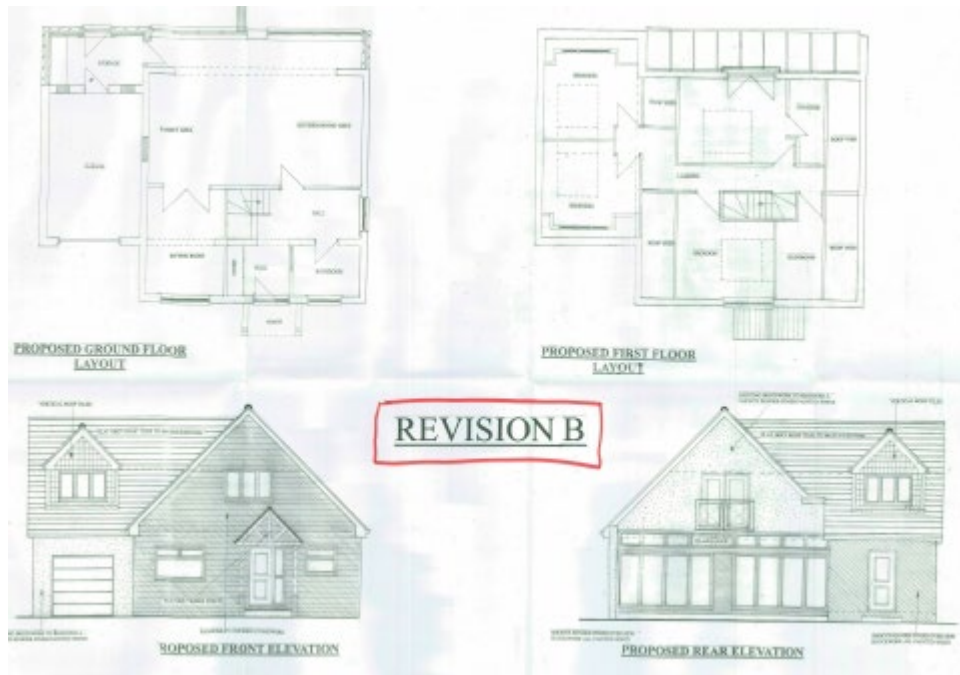
Proposed



Existing



Proposed



Policy Context

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004.

The Local Plan was adopted by the Council in January 2019 and the Council has also adopted a series of Supplementary Planning Documents which are other material considerations.

The National Planning Policy Framework represents up-to-date government planning policy and is a material consideration that must be taken into account where it is relevant to a planning application.

The site is allocated as Urban Fabric within the Local Plan Proposals Maps and therefore the following Local Plan policies are relevant:

Policy GD1 General Development

Policy D1 High Quality Design and Place Making

Policy T4 'New Development & Transport Safety

Policy HE1 'The Historic Environment'

Policy HE3 Development Effecting Historic Buildings

SPD's

Supplementary Planning Document (SPD) – 'House Extensions and other domestic alterations' sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals for should:

- I. Be of a scale and design which harmonises with the existing building
- II. Not adversely affect the amenity of neighbouring properties
- III. Maintain the character of the street scene and
- IV. Not interfere with highway safety.

These policies are considered to reflect policies set out in the revised NPPF, which requires development to be of high-quality design and provide a good standard of amenity for all existing and future occupants of land and buildings.

SPD 'Parking' – 1no. parking space required for dwellings with 2 bedrooms or less and 2no. spaces for dwellings with 3 bedrooms or more.

NPPF

The NPPF sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Paragraphs of particular relevance to this application include:

Para 7 - The purpose of the planning system is to contribute to the achievement of sustainable development.

Para 11 – Plans and decisions should apply a presumption in favour of sustainable development.

Para 91 - Planning policies and decisions should aim to achieve healthy, inclusive and safe places

Para 111 - Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

Para 126 - The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Para 200: Great weight given to an asset's conservation, irrespective of the degree of harm

Para 194: Any harm to or loss of significance will require clear and convincing justification

Para 206: LPA's should look for opportunities for development within conservation areas and within the setting of heritage assets that enhance or reveal significance

Consultee Responses

Conservation Officer - no objection in heritage terms. Questioned the width of the extension which has since been reduced.

Representations

8no neighbouring properties have been consulted on the original plans and also re-consulted on the amended plans. No objections have been received.

Assessment

Principle of Development

The site is allocated as Urban Fabric within the Local Plan, as such, extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the

host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Extensions and alterations have previously been refused on the property under application 2021/0804. Since that refusal amendments have been made including omitting the 1.5 storey extension on the Eastern elevation. Whether the amendments have now overcome the previous reasons for refusal will be explored under the headings below;

Visual Amenity

It is noted that there are differing property styles, ages, designs and styles within the immediate area, including detached and semi-detached 2 storey properties on the opposite side of Vicarage Lane. It is also recognized that the property itself differs from the neighbouring properties and has limited architectural merit. However, the application property sits between 2 detached dormer bungalows, as such, the extended property would need to harmonise with those properties in order to maintain the visual amenity of the streetscene and reflect the development pattern of the immediate area.

The main alteration to the property is the extensions to the existing side projection including a modest extension to the rear and a new roof, including front and rear dormers, above. The roof space would accommodate 2no. bedrooms. The width of the side projection would remain the same, as would the eaves height but the ridge would be increased. The ridge would, however, be lower than the main dwelling ridge, in accordance with the SPD and given it would be set back from the main front elevation would remain a subordinate addition.

In terms of the dormers, they meet the requirements of the SPD in that they sit within the roof plain, set away from the gable, eaves and ridge. They also incorporate a pitched roof and line up vertically with the openings below. Dormers are also evident on the front roof plane of the neighbouring dwellings to both sides of the application property. The dormers are also proposed to be tile hung on the front and side cheeks to match the materials of the host property.

The front extension would be located above the existing ground floor projection and would maintain the same eaves and ridge height as the host dwelling. Arguably the proposed extension would simplify the front elevation of the property by removing the first floor French doors and the awkward lean to roof cut out which accommodates the doors. The proposed fenestration at both ground and first floor levels would also sit more comfortably within the elevation and be more symmetrical. It is proposed that the front elevation would be entirely stone, whereas, the existing front elevation is a mix of brick stone and tile, again, arguably an improvement.

Also on the front elevation is an open, feature timber porch. It is modest in size but aids in making a feature of the front entrance to the property and adding interest to the front elevation. A similar porch could also have been built under permitted development rights. Furthermore, there are a number of porches evident within the streetscene.

The proposed rear extension is modest in projection and is in a non-prominent position. In addition it would harmonise with the host property inline with Local Plan Policy D1 and the SPD. A similar extension could also have been built under permitted development rights.

Given the amendments to the scheme and the comments above, the current proposal overcomes the previous reason for refusal relating to visual amenity.

Residential Amenity

The proposed extensions and increase in height on the Eastern elevation would be in close proximity to number 10, however, that property does not have habitable room windows on the side elevation and the proposed extensions would not project beyond the neighbouring front or rear elevations. As such, overshadowing would not be increased significantly and the

extensions would not result in overbearing features, in accordance with Local Plan Policy GD1 and the SPD. The other alterations and extensions are set in from the boundaries and a relatively modest in scale, therefore, would not have a negative impact on the residential amenity of neighbouring residents.

There are no habitable room windows proposed on the side elevations facing the shared boundaries and the proposed front and rear habitable room windows meet the required separation distance from the neighbouring dwellings, in line with the SPD, as such privacy levels for the existing neighbouring residents and the future occupants of the extensions would be maintained.

It should also be noted that the scheme has been reduced in scale since the previous refusal and that scheme was not refused on residential amenity levels in any case.

Heritage

The question from the heritage perspective is whether the proposal site contributes to the setting of the adjacent highly graded (II*) St John the Baptist and whether the proposal would harm this setting.

The site is part of a small development that appears to have been constructed sometime after 1960. Gransden House is approximately 25m to the south and has some clear and evident heritage significance being associated with the church. However, 6 Vicarage Lane is quite different being much later and has no functional relationship with the church or the church land. Moreover, the position of Gransden House means there is limited intervisibility from the proposal site to the church and the church yard which is approximately 100m to the south.

In heritage terms the Conservation Officer has little objection. The current dwelling and proposal site contribute little to grade II* church either historically, functionally or in terms of the related setting. Consequently, he advised the proposal is unlikely to cause harm.

However, he did question the size and scale of the previously refused proposal and also the original proposal under this application. That scale has since been significantly reduced and, as outlined in the visual amenity section, has overcome the previous concerns regarding scale and the impact on visual amenity.

Highway Safety

The previous application was partially refused on highway safety grounds; however, the current application proposes to retain the existing driveway to the West of the property, which can accommodate several vehicles, and also create an additional driveway to the East of the property in order to gain access to the garage. The actual creation of the access and driveway could be done under permitted development rights as the road is not classified. In any case, the current scheme provides ample in curtilage parking, in line with SPD 'Parking' and also overcomes the previous reason for refusal.

Conclusion

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004.

The National Planning Policy Framework represents up-to-date government planning policy and is a material consideration that must be taken into account where it is relevant to a planning application.

Following on from the previous approval, and throughout the course of this application process, the scheme has been significantly amended and now overcomes the previous reasons for refusal. The extensions and alterations are acceptable in that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

As such, taking into account the relevant development plan policies and other material considerations the application is in accordance with the development plan (most notably policies GD1, D1 and T4) and is assessed to be a suitable and sustainable form of development that accords with Local Plan Policy SD1 Presumption in favour of Sustainable Development in overarching terms. Similarly in National Planning Policy terms (NPPF) the presumption in favour of sustainable development is considered to apply also (para 11) which is that proposals that accord with an up to date development plan should be approved without delay.

Recommendation

Approve Subject to the following conditions