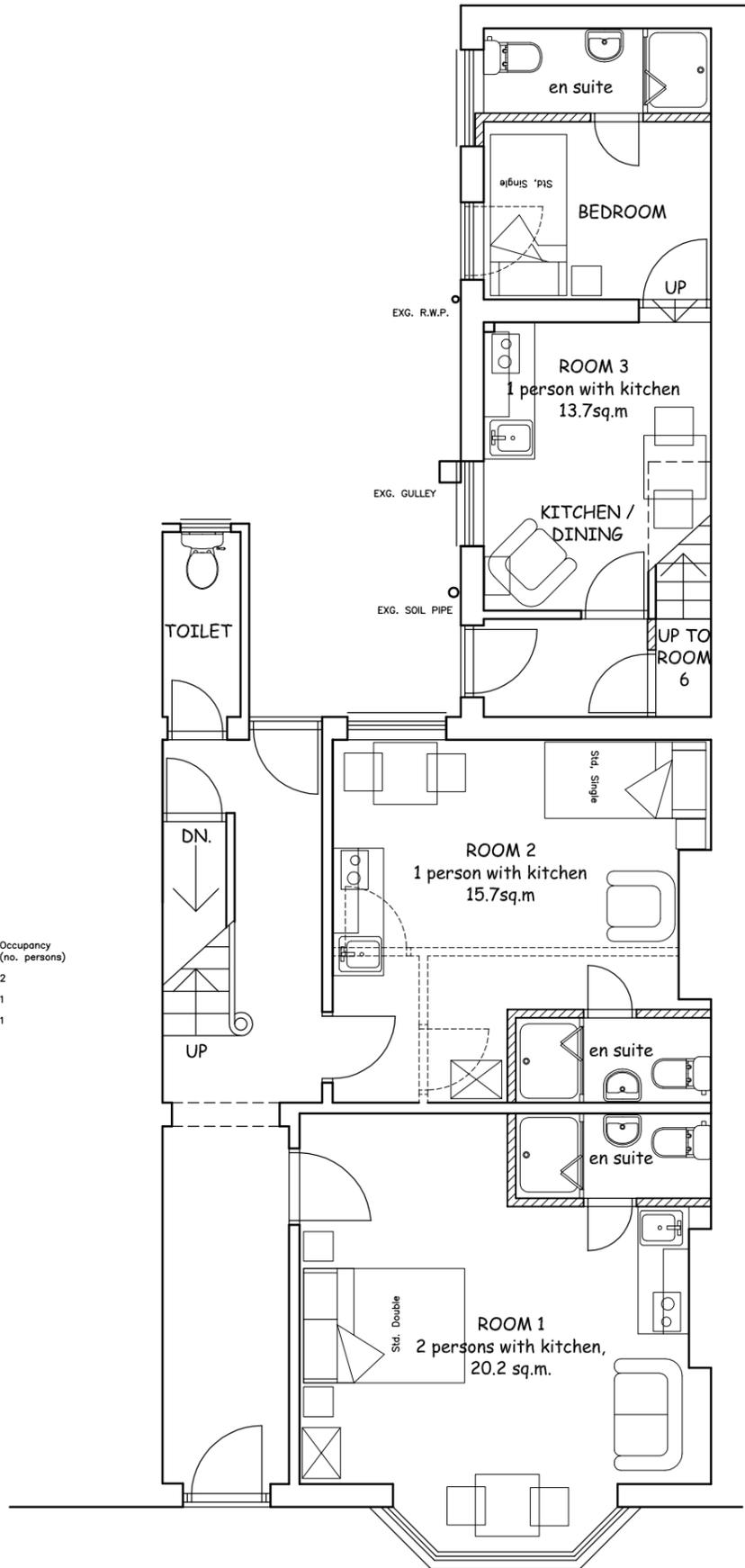


Kitchen to consist of:-
 A laminate covered worktop 600 deep x 1500 long accommodating a stand on top two ring cooker / electric oven and a single bowl sink with hot and cold water supplies separated by food preparation / draining space.
 Below the worktop should be an oven with a grill and a 500 wide x 850 high refrigerator and 2no. 500 wide single base units with a drawer.
 A 500 wide x 50 high wall unit with a microwave shelf to one side and a filtered extractor over the cooker

SCHEDULE OF ROOM AREAS / OCCUPANCY
 GROUND FLOOR

Room	Room area (not including ensuite)	Min. room area req.	Occupancy (no. persons)
1	20.2sq.m	18.7sq.m	2
2	15.7sq.m	13.7sq.m	1
3	13.7sq.m	13.7sq.m	1



GROUND FLOOR PLAN AS PROPOSED 1:75

Andromeda
 ARCHITECTURE
 105 HAWKSLEY AVENUE
 SHEFFIELD S6 2BD
 Tel: (0114) 2854 207

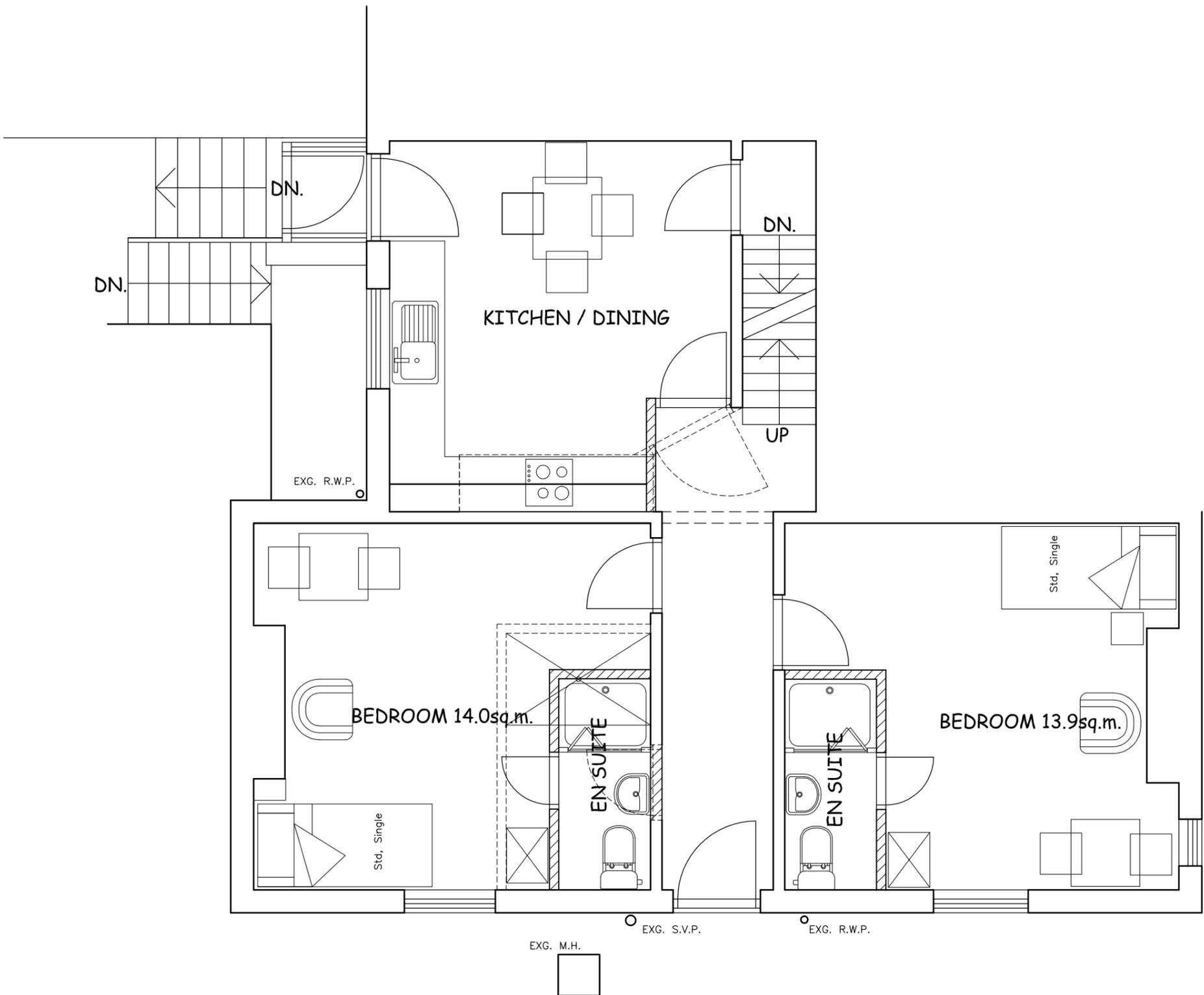
L.P.S. AT 109 DODWORTH ROAD, BARNSELY, S70 6HL
 REFURB OF H.M.O.

GROUND FLOOR PLAN AS PROPOSED

1/75 @ A3

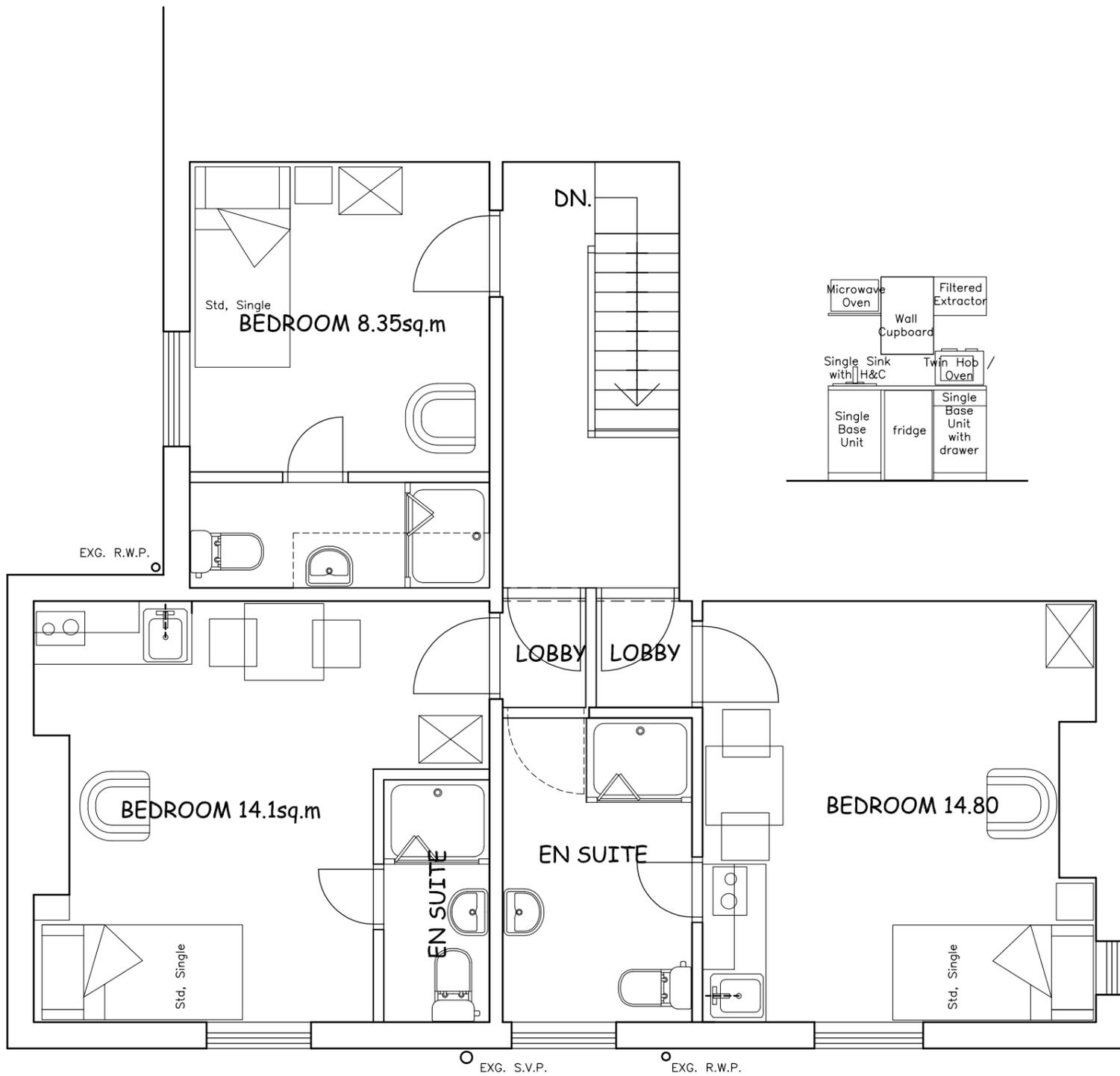
NOV.'17

02-0517-SK2.1



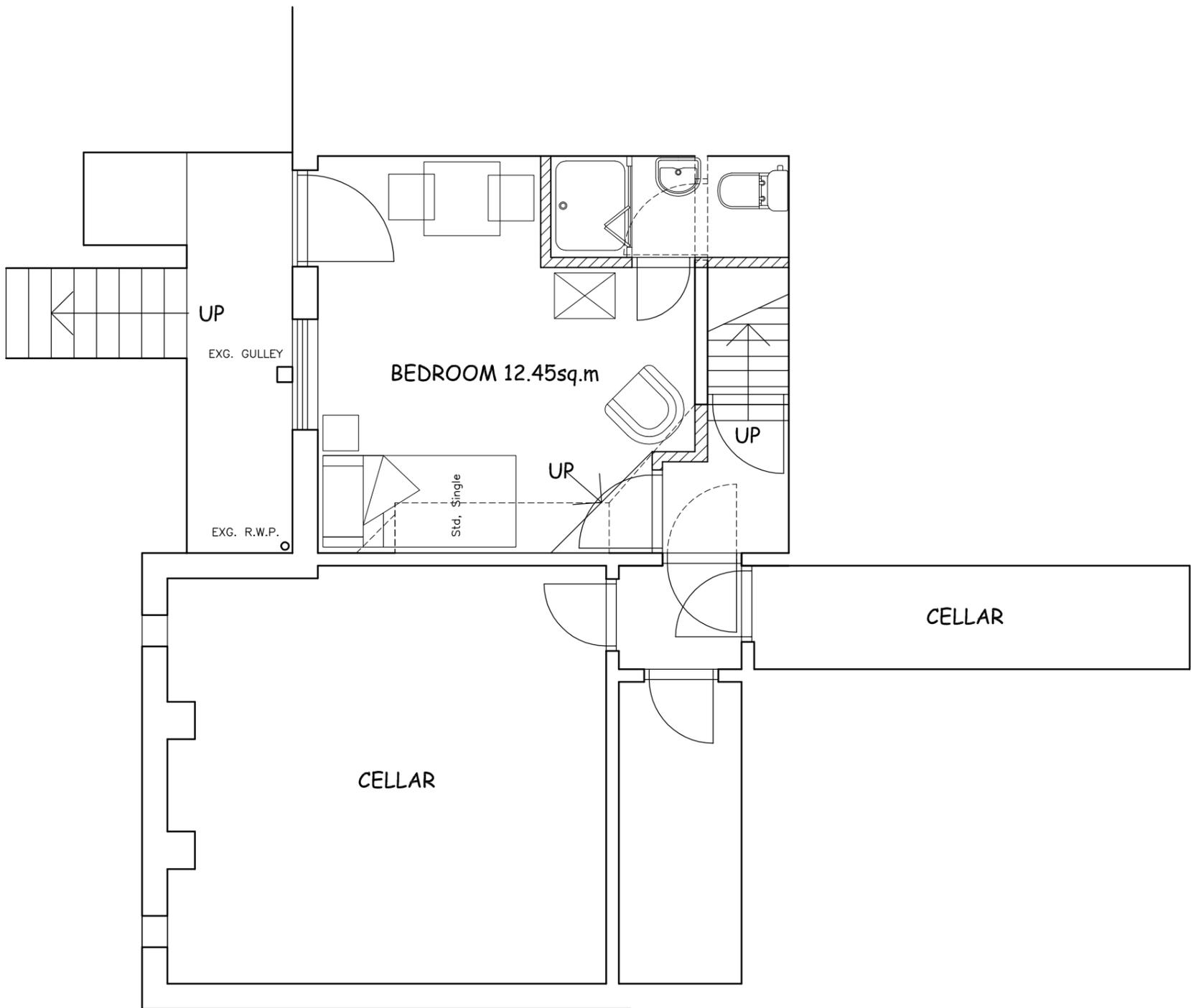
GROUND FLOOR PLAN AS PROPOSED 1:50

<p>Andromeda ARCHITECTURE 105 HAWKSLEY AVENUE SHEFFIELD S6 2BD Tel: (0114) 2854 207</p>	<p>L.P.S. AT 9 SPRINGFIELD STREET, BARNSELY, S70 6HF CONVERSION TO H.M.O.</p>		
	<p>GROUND FLOOR PLAN AS PROPOSED</p>	<p>1/50 @ A3</p>	<p>DEC.'17</p>



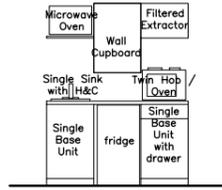
FIRST FLOOR PLAN AS PROPOSED 1:50

 105 HAWKSLEY AVENUE SHEFFIELD S6 2BD Tel: (0114) 2854 207	L.P.S. AT 9 SPRINGFIELD STREET, BARNSELY, S70 6HF CONVERSION TO H.M.O.		
	FIRST FLOOR PLAN AS PROPOSED	1/50 @ A3	DEC.'17



LOWER GROUND FLOOR PLAN AS PROPOSED 1:50

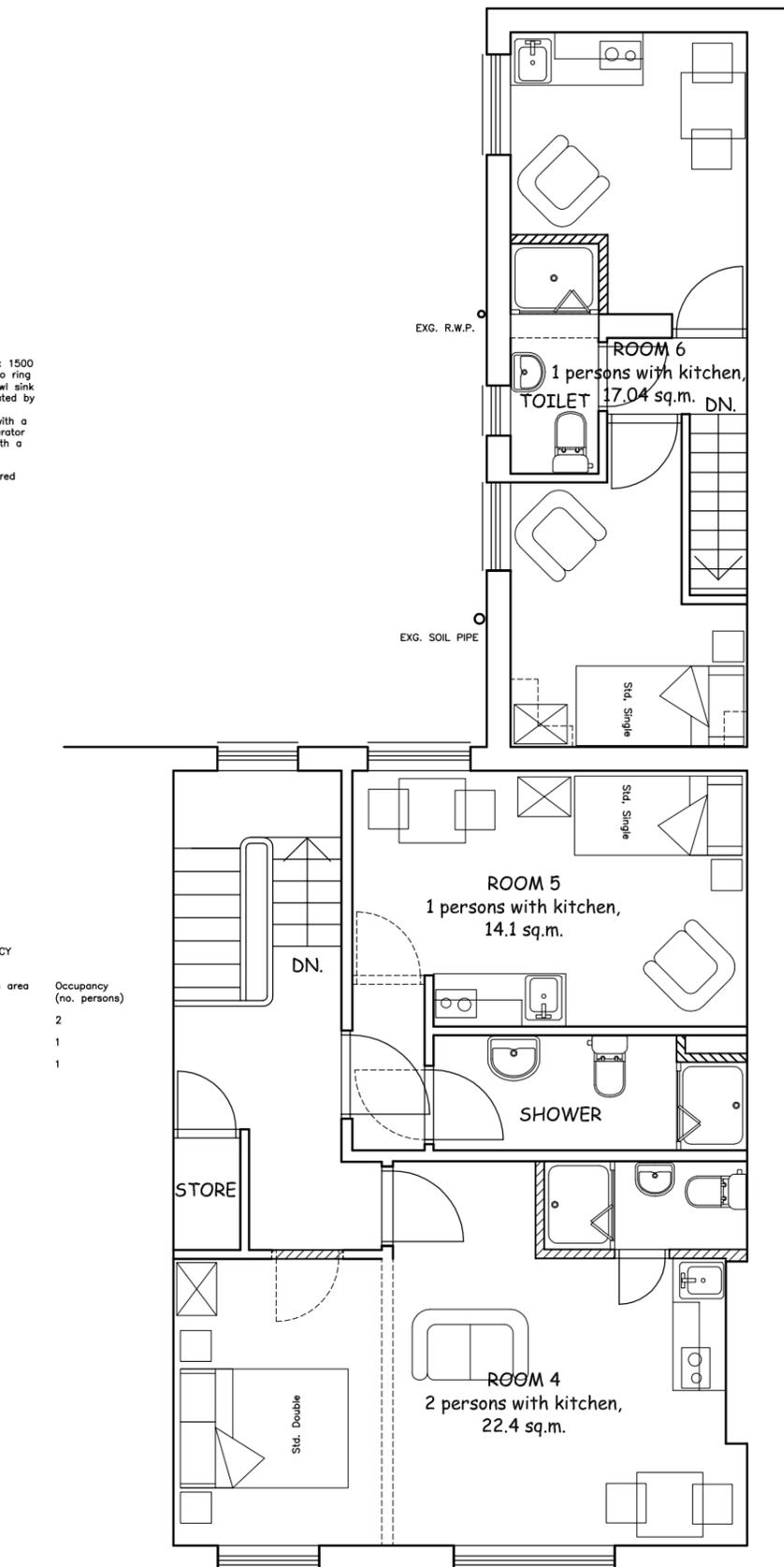
<p><i>Andromeda</i> ARCHITECTURE 105 HAWKSLEY AVENUE SHEFFIELD S6 2BD Tel: (0114) 2854 207</p>	<p>L.P.S. AT 9 SPRINGFIELD STREET, BARNSELY, S70 6HF CONVERSION TO H.M.O.</p>		
	<p>LOWER GROUND FLOOR PLAN AS PROPOSED 1/50 @ A3</p>	<p>DEC.'17</p>	<p>03-1117-SK2.3</p>



Kitchen to consist of:-
 A laminate covered worktop 600 deep x 1500 long accommodating a stand on top two ring cooker / electric oven and a single bowl sink with hot and cold water supplies separated by food preparation / draining space.
 Below the worktop should be an oven with a grill and a 500 wide x 850 high refrigerator and 2no. 500 wide single base units with a drawer.
 A 500 wide x 50 high wall unit with a microwave shelf to one side and a filtered extractor over the cooker

SCHEDULE OF ROOM AREAS / OCCUPANCY
 GROUND FLOOR

Room	Room area (not including ensuite)	Min. room area req.	Occupancy (no. persons)
4	22.4sq.m	18.7sq.m	2
5	14.1sq.m	13.7sq.m	1
6	17.0sq.m	13.7sq.m	1



FIRST FLOOR PLAN AS PROPOSED 1:75

Andromeda
 ARCHITECTURE
 105 HAWKSLEY AVENUE
 SHEFFIELD S6 2BD
 Tel: (0114) 2854 207

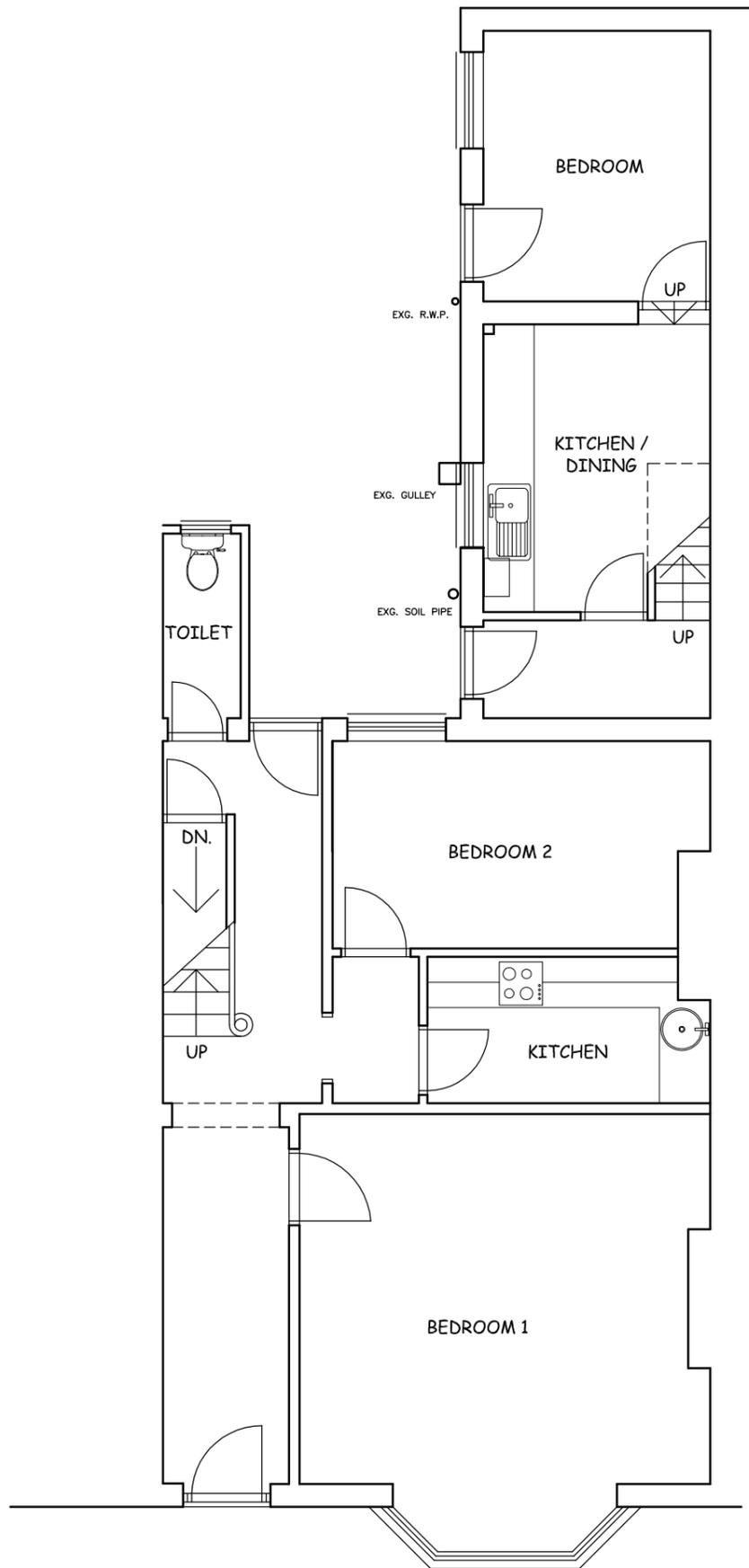
L.P.S. AT 111 DODWORTH ROAD, BARNSELY, S70 6HL
 REFURB OF H.M.O. / APARTMENTS

FIRST FLOOR PLAN AS PROPOSED

1/75 @ A3

NOV.'17

02-0517-SK2.2



GROUND FLOOR PLAN AS EXISTING 1:75

Andromeda
 ARCHITECTURE
 105 HAWKSLEY AVENUE
 SHEFFIELD S6 2BD
 Tel: (0114) 2854 207

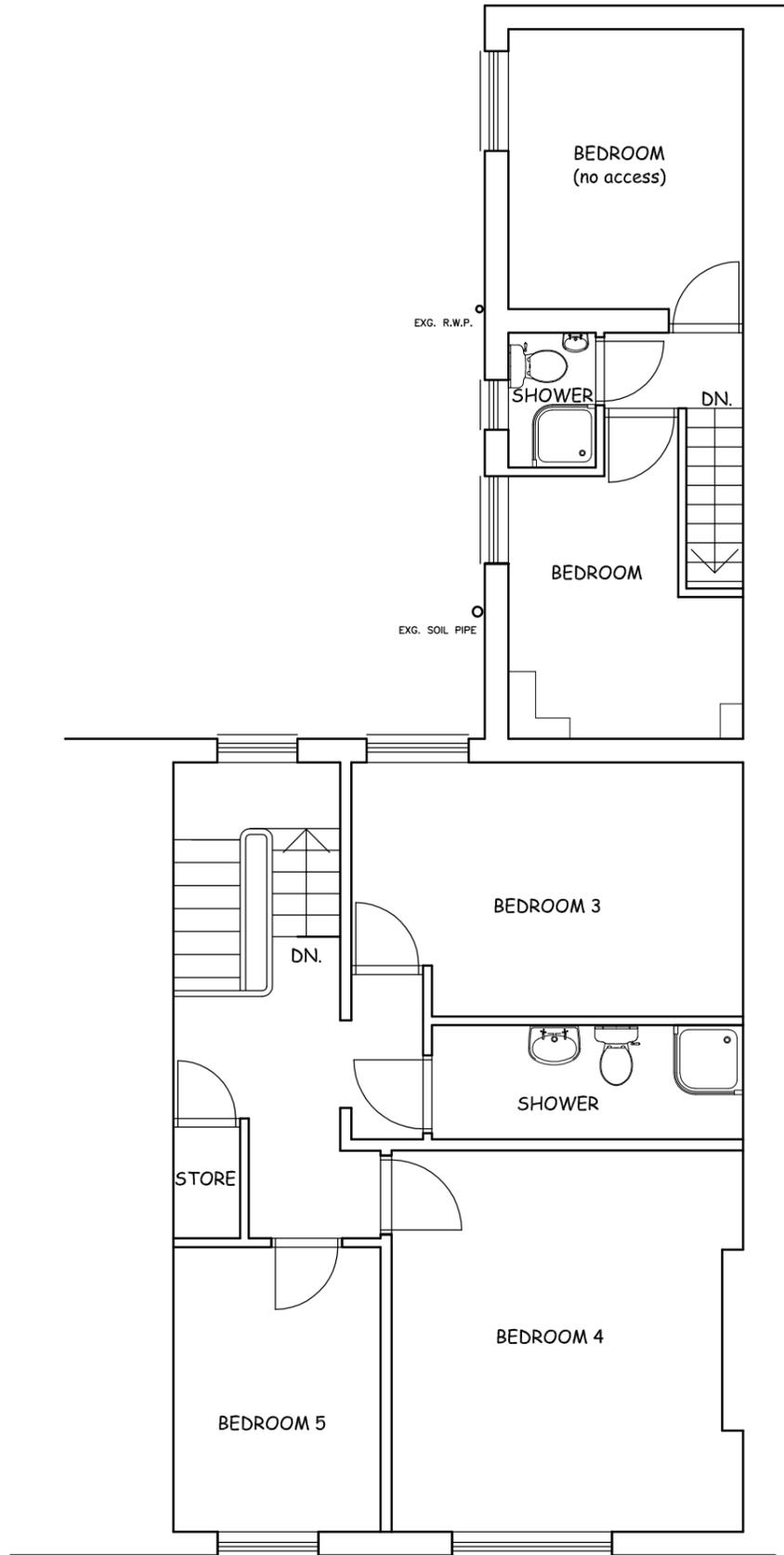
L.P.S. AT 109 DODWORTH ROAD, BARNSELY, S70 6HL
 REFURB OF H.M.O.

GROUND FLOOR PLAN AS EXISTING

1/75 @ A3

MAY'17

02-0517-S1.1



FIRST FLOOR PLAN AS EXISTING 1:75

Andromeda
ARCHITECTURE
105 HAWKSLEY AVENUE
SHEFFIELD S6 2BD
Tel: (0114) 2854 207

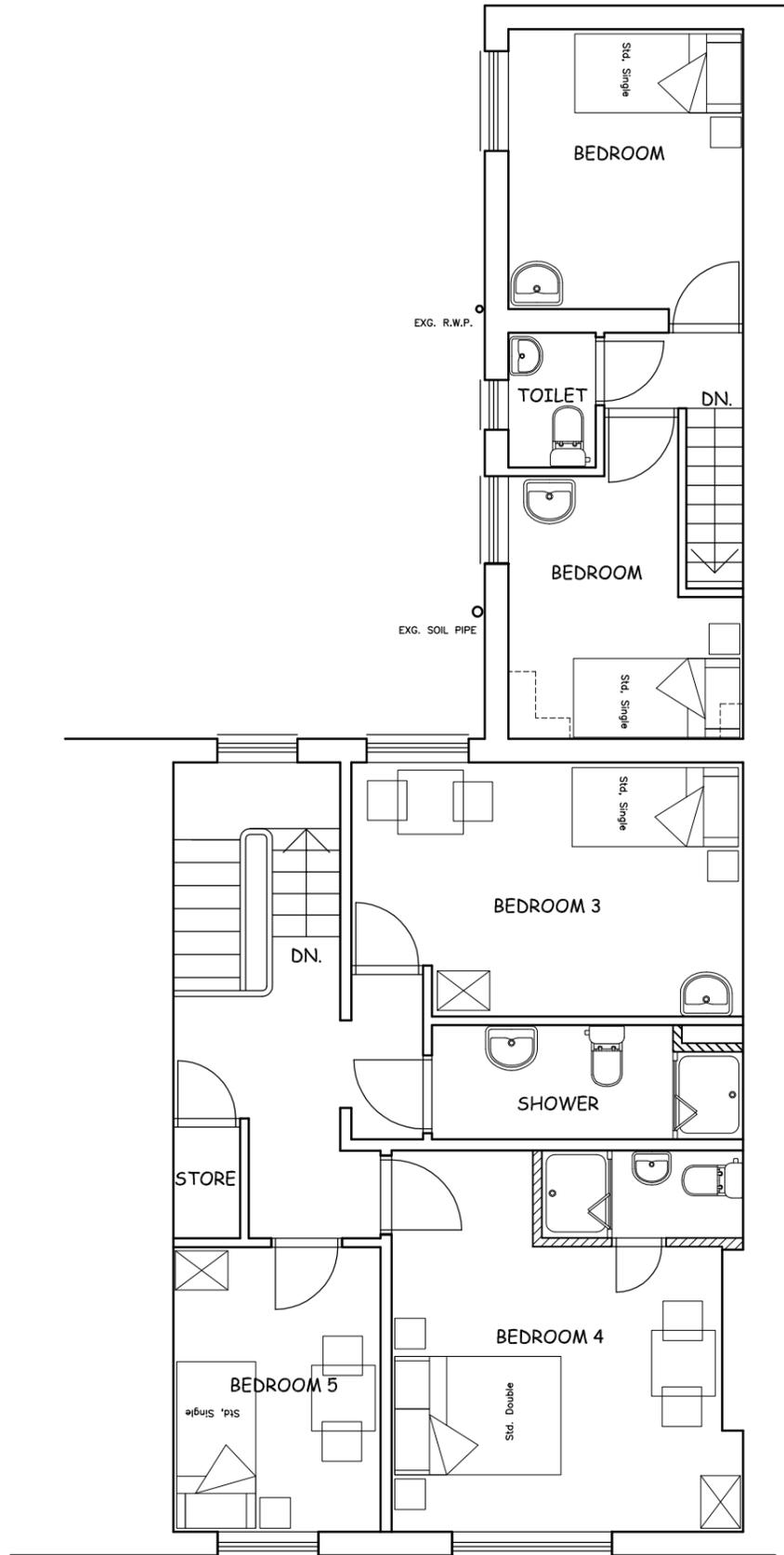
L.P.S. AT 111 DODWORTH ROAD, BARNSELY, S70 6HL
REFURB OF H.M.O. / APARTMENTS

FIRST FLOOR PLAN AS EXISTING

1/75 @ A3

MAY'17

02-0517-S1.2



FIRST FLOOR PLAN AS PROPOSED 1:75

Andromeda
ARCHITECTURE
105 HAWKSLEY AVENUE
SHEFFIELD S6 2BD
Tel: (0114) 2854 207

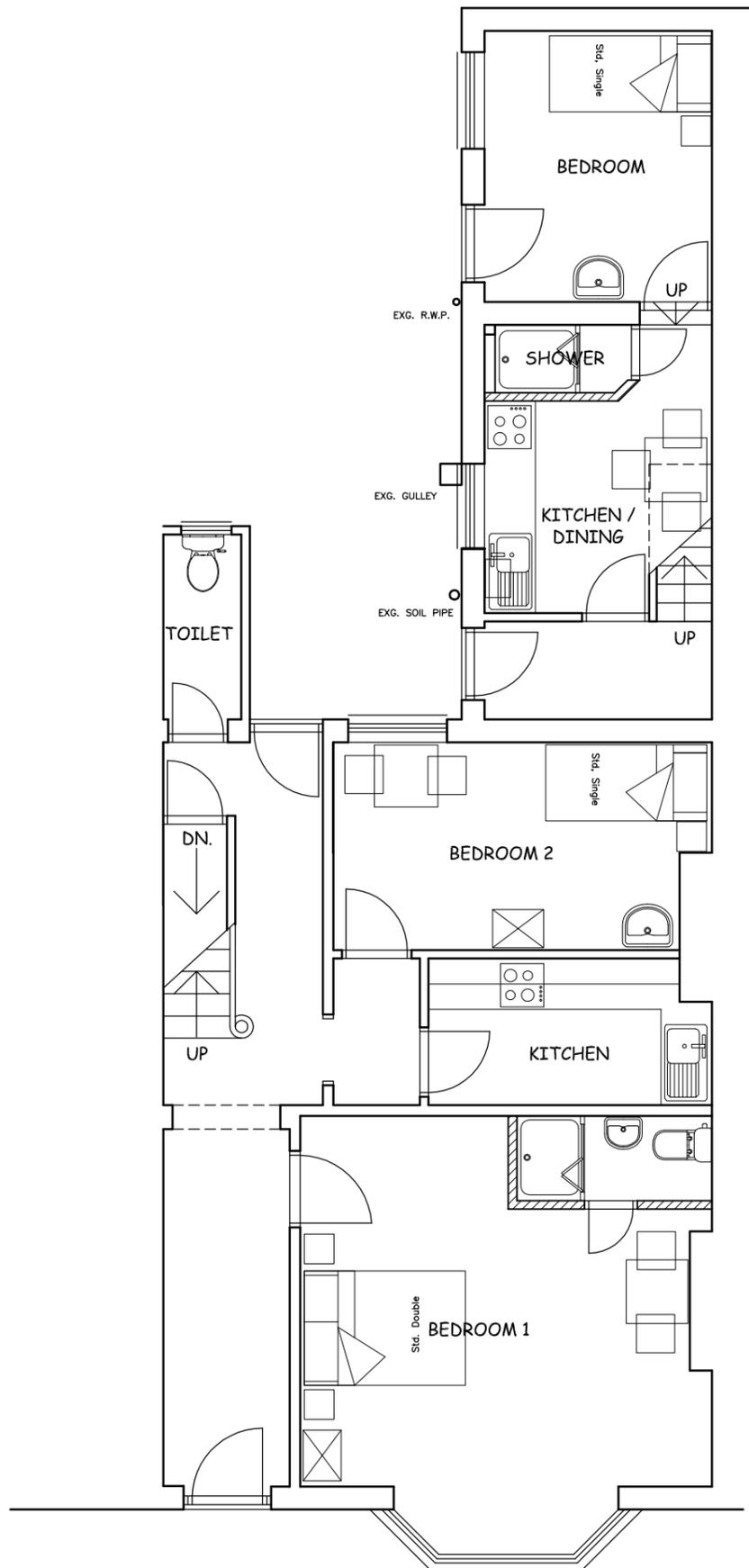
L.P.S. AT 111 DODWORTH ROAD, BARNSELY, S70 6HL
REFURB OF H.M.O. / APARTMENTS

FIRST FLOOR PLAN AS PROPOSED

1/75 @ A3

MAY'17

02-0517-SK1.2



GROUND FLOOR PLAN AS PROPOSED 1:75

Andromeda
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 105 HAWKSLEY AVENUE
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L.P.S. AT 109 DODWORTH ROAD, BARNSELY, S70 6HL
 REFURB OF H.M.O.

GROUND FLOOR PLAN AS PROPOSED

1/75 @ A3

MAY'17

02-0517-SK1.1