

2024/0981

Lesley Porter

111 Milton Road, Hoyland, Barnsley, S74 9AZ

Erection of single storey front extension and detached garden room.

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### Site Description

The application relates to a semi-detached dwelling on Milton Road within the Hoyland area. The property features a pitched tiled roof with a small flat roofed dormer facing the street. The north half of the property is set back. The property features a large garden to the front which is set approximately 1.8 metres above street level. The garden is fence lined along with substantial bushes and trees to the north. Access to the garden can be made from Milton Road. Vehicular access leads from a track to the north of the site and is considered the main entrance to the site. The property is formed from stone to the front along with white render to the rear and side. The surrounding area is characterised by semi-detached, terraced and detached bungalows. Stone is used by direct neighbours with the use of various brick colours for the remaining surrounding properties.



### Relevant Planning History

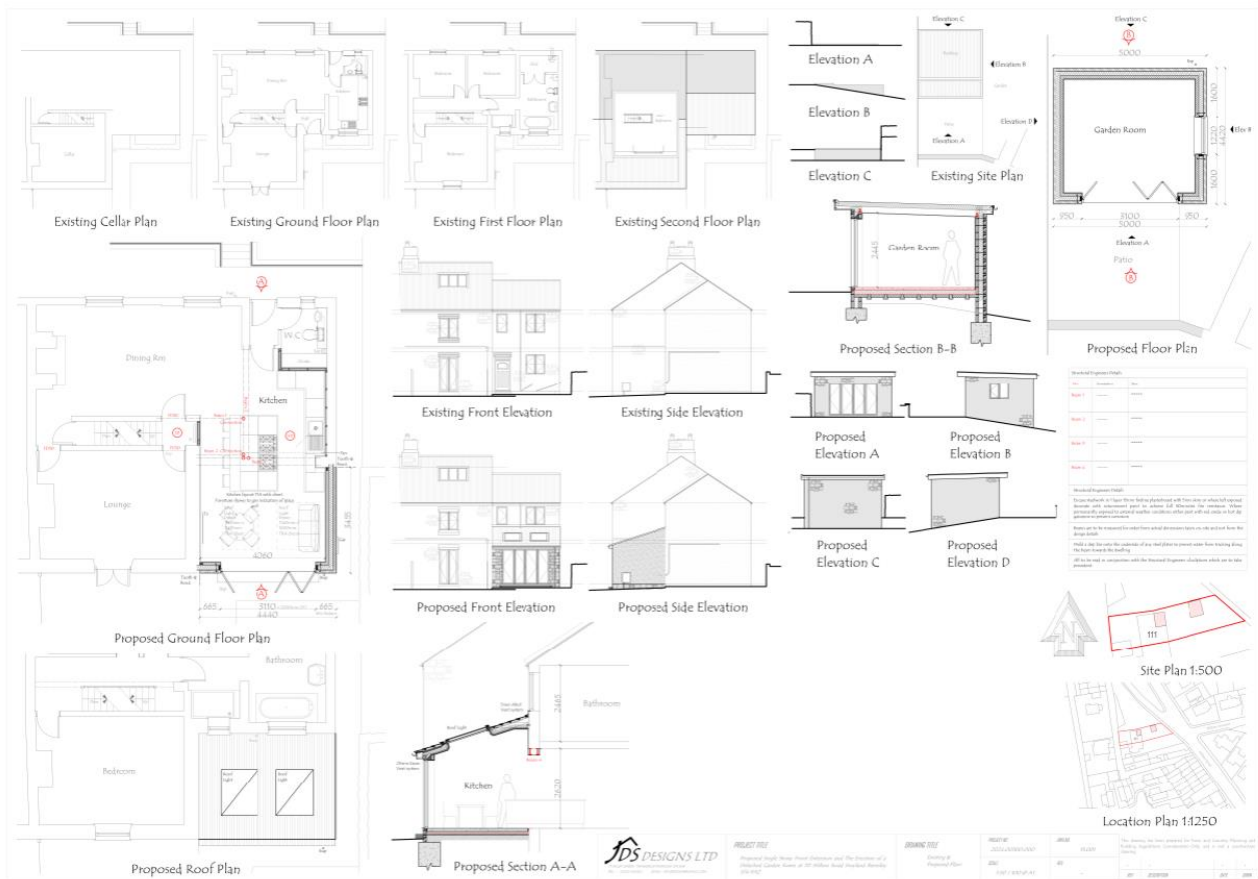
B/87/0846/HN - Extension to dwelling and erection of private garage – Historic Decision

**Proposed development**

The applicant is seeking permission for a front extension and outbuilding.

The proposed extension to the east would have a projection of approximately 3.5 metres with an approximate width of 4.5 metres. An approximate total height of 3.9 metres is proposed with an approximate eaves' height of 2.5 metres. The extension is effectively an infill extension. The extension features a lean-to roof utilising concrete tiles to match the existing property. Two roof lights are detailed facing east. Bifold doors are detailed facing east with a total span of approximately 3 metres. Stone is detailed to be used to match the property along with render to the side elevation to match the existing property.

The proposed garden room would have an approximate height of 3 metres using a flat sloping roof. An approximate width of 5 metres and length of 4.5 metres is proposed. Bifold doors facing west are proposed with an approximate span of 3 metres. A small window is detailed to the south elevation. The garden room is proposed to be constructed from stone to match the dwelling.



**Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

#### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High Quality Design and Place Making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

#### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

#### National Planning Policy Framework

The NPPF sets out the Government’s planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed places.***

#### **Consultations**

No consultees were consulted on this application.

#### **Representations**

Neighbour notification letters were sent to surrounding properties. No representations were received.

#### **Assessment**

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant

- Moderate
- Modest
- Limited
- Little or no

### Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety

### Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed extension is to be erected within the set back of the property on the north side elevation and to the front of the east elevation. The extension will therefore not be visible to any neighbouring properties. There are no neighbours within a reasonable distance to the north of the site and substantial boundary treatment screens the site. The extension will therefore cause no residential amenity issues. This weighs substantially in the proposals favour.

The garden room will be erected to the north of the garden and face westwards. There is limited possibility of overlooking towards garden space of 113 Milton Road, however, given substantial on-site boundary treatment this is reduced. Additionally, the proposed garden room would not provide a substantial increase in overlooking above that of the existing garden room on site and has not previously provided issues with the local authority is aware of. As such, this weighs significantly in the proposals favour.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

### Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The front elevation of a building is the most important for its contribution to the street scene. Generally, therefore, such extensions need to be of a high standard of design and will not be considered acceptable where they detract from the quality of the existing dwelling or character of the street scene or cause overshadowing to neighbouring dwellings. Large extensions and conservatories are likely to appear particularly intrusive and will not normally be acceptable.

Although the proposal is technically to the front of the dwelling, given the uniqueness of the site this proposal will not be considered strictly in accordance with paragraph 7.7 (Front Extensions) of the House Extensions and Other Domestic Alterations. Although between the dwelling and the highway, the garden understandably used as a rear garden as are neighbouring 113, 115 and 117A Milton Road. Substantial boundary treatment is evident and the majority of the garden is screened from street view. Although technically to the rear of the property, the rear of the property is considered the main entrance and provides vehicular access. Proposals forward of the principal elevation at this property would therefore not be considered to be substantially important to the street scene.

Given the above, the proposal provides a modest projection in line with the existing furthest forward elevation of the property. An appropriate eaves height of approximately 2.5 metres is proposed which

lessens the dominance of the proposal. The use of a pitched roof is to the proposals benefit given the proposal is to the front of the property. The rooflights and the bifold doors are proposed symmetrically to the property providing a high standard of design. The use of matching stone, render and concrete roof tiles is preferred and allows the proposal to remain inkeeping with the existing dwelling. Given the elevated position of the site and the substantial boundary treatment the proposed extension is not considered to have a detrimental effect on the street scene. This weighs considerably in the proposals favour.

The proposed garden room is considered modest given its size in relation to the garden and is positioned in the most discreet position available. Again, given the elevated position of the site and the substantial boundary treatment the proposed garden room is not considered to have a detrimental effect on the street scene. The use of stone to match the existing dwelling is welcomed and assists in matching the garden room to the site and surrounding properties. This weighs considerably in the proposals favour.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

#### Highway Safety

The proposal does not result in the loss of any parking facility or an increase in the number of bedrooms. This weighs substantially in favour of the proposed development.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

#### Planning Balance and Conclusion

In considering the above assessment, the proposed development is acceptable residential and visual amenity and highway safety. Although some concerns are present with regards to the visual amenity given the proposal is to the front of the dwelling, the uniqueness of the site and substantial boundary treatment allows for the proposal to be considered acceptable. On balance, this application is therefore recommended for approval.

#### **Recommendation** **Approve with Conditions**