

Design & Access Statement

Planning application for:

**Erection of Agricultural/stable
Building on land adjacent to:**

**Lower Maythorne Farm,
Lower maythorne Lane,
Holmfirth,
West Yorkshire,
HD9 7TW**

(Revision 2)

Introduction

This Design and Access statement has been prepared by Hockey Architectural on behalf of Mr Edwards of Lower Maythorne Farm.

This statement has been written in accordance with Government Circular 01/206 Section 3 Design and Access statements, and has been prepared to demonstrate how the physical characteristics of the scheme submitted have been influenced throughout the process of assessment, involvement, evaluation and design.

This statement will address the following factors:

- Context
- Use
- Amount
- Layout
- Scale
- Landscaping
- Appearance
- Access

1: Context

This proposal is for the erection of an agricultural stable block within a field belonging to Lower Maythorne Farm, Holmfirth.

Surrounding the site are open fields, farms and general agricultural areas including large farm buildings, stores and stables as can be seen in the images below.



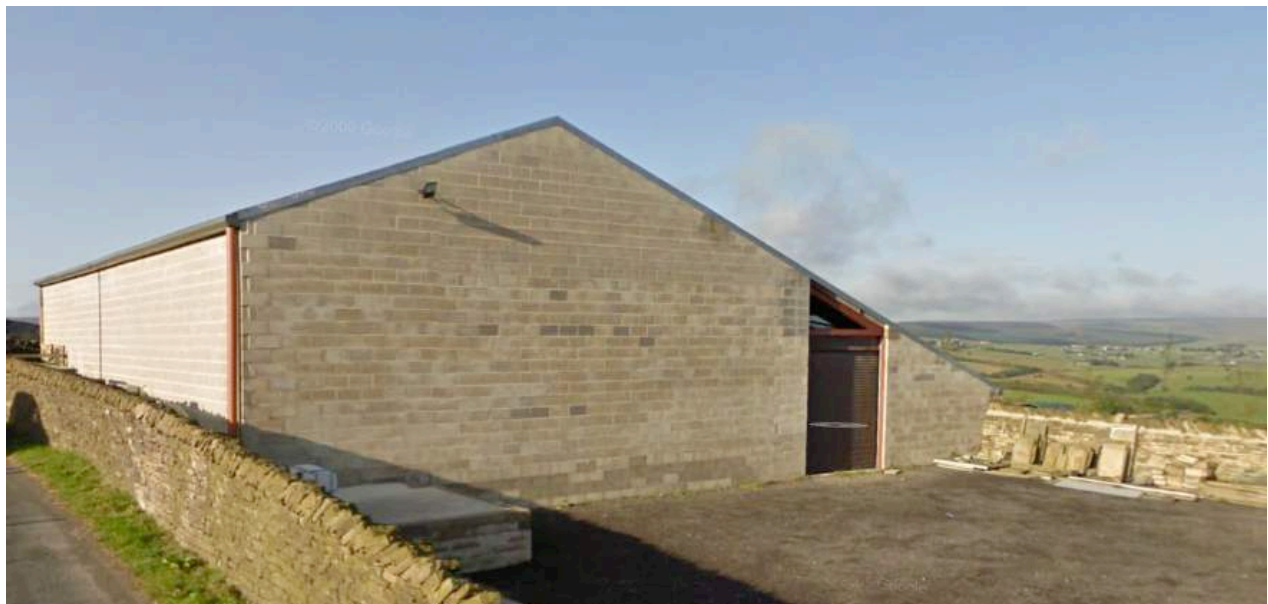
This design and access statement should be read in conjunction with the accompanying drawings, detailing the proposed works and existing site.

The Site is not located within a conservation area and there are no buildings on or adjacent to the site that are of any historic or special interest that may be affected by the development of the land.

A search has been undertaken on the local authority database for the location of Tree preservation orders and protected trees, and the site has none of the aforementioned orders.

The site does not lie within a flood Risk Zone.

The images below show the typical buildings within the vicinity of the proposed as can be seen on the aerial photographs above. The design of the proposal has taken these buildings into account along with what one would typically expect within the area.





2: Use

The current site is a grazing field and would remain as such. The erection of building would accommodate the storage of a tractor, Feed Store and Tac room for the associated 6 stables.

3: Amount:

The proposal amounts to the construction of 1 building to serve the site, which is approximately 2.35 hectares.

The building will accommodate 6 horses within stables, provide storage space for their feed, a tac room and space to accommodate a small tractor.

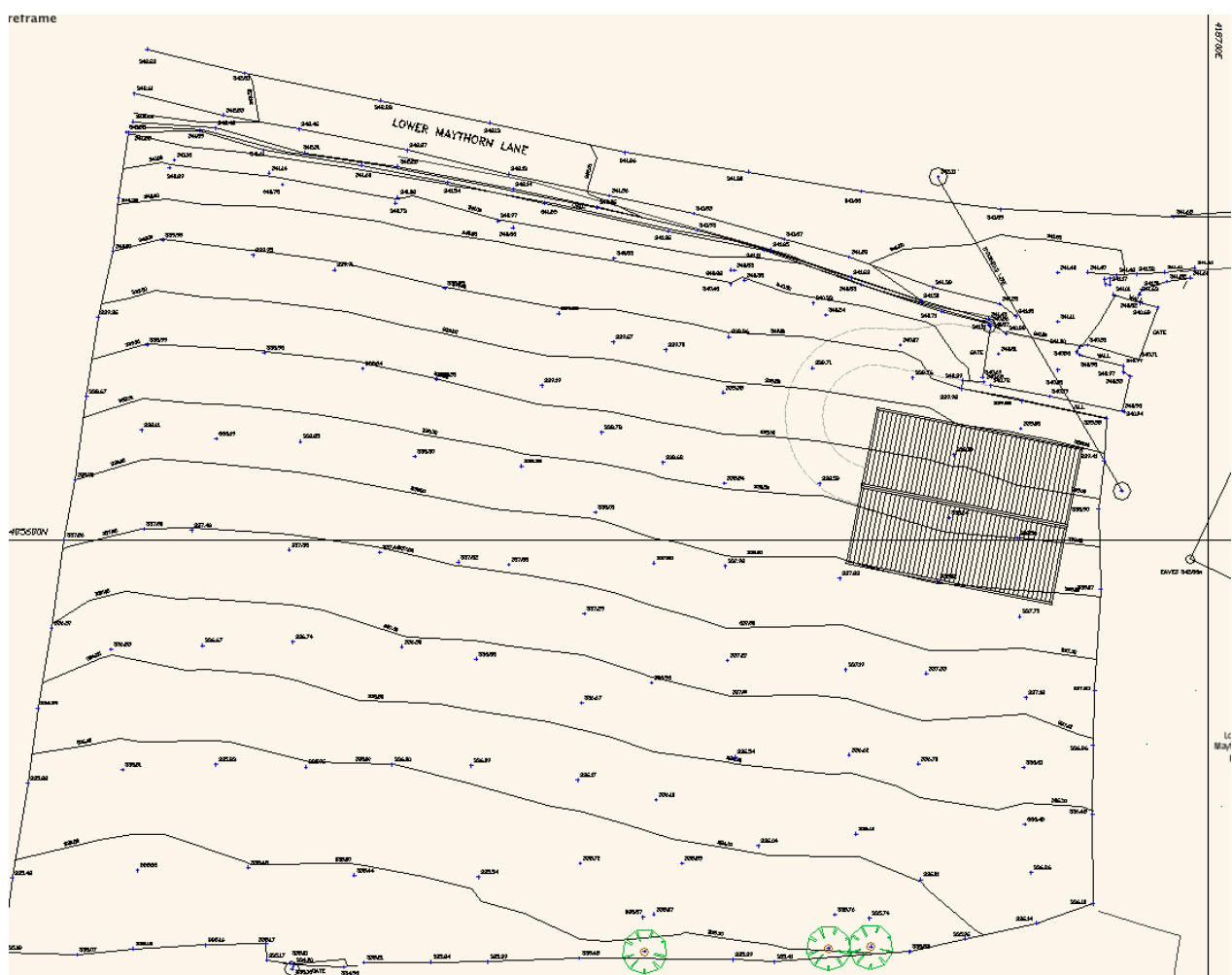
The size of each stable has been designed to be in line with recommendations from professional bodies and institutes for the minimum space standards, namely 'The British Horse Society' who recommend

"The British Horse Society recommends a minimum stable size of 12ft x 12ft for horses, the height of the stable should be between 9 and 11 feet".

Each stable would therefore conform to the minimum recommended standards.

4: Layout

The layout will be shown as on the attached proposed plans. The proposed entrance to the site will be accessed as existing from Lower Maythorn Lane, adjacent to Lower Maythorne Farm (this can be seen below).



5: Scale

The height, mass and scale of the proposed barn would be in keeping with the agricultural nature of the building and would be sited to levels that would not affect the neighbouring properties.

The height of the building and its mass has been dictated by the minimum standards as provided by the British Horse Society.

Due to the positioning of the building behind the current access road, the majority would be shielded by the difference in levels of approximately 1500mm, along with the wall (approx. 1500mm high)

6: Landscaping

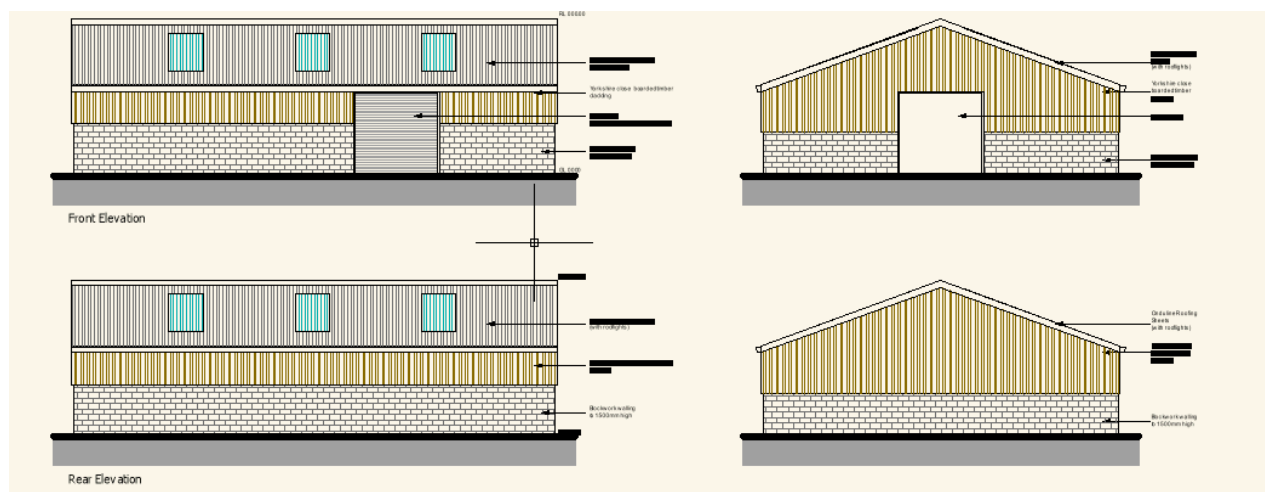
Landscaping to the site would remain as existing.

7: Appearance

The Appearance of the barn would be that of an agricultural nature with low level blockwork under Yorkshire close boarded timber and onduline roofing. Typical elevations can be seen below.

Due to the positioning as mentioned above behind the access road wall and difference in level the majority of the building would be shielded from the roadside.

Along with the above, the agricultural nature, height, mass and design of the proposed would mean that the building would not have any adverse affect on the green belt and would be a building of a nature that one would expect to see in such a location.



8: Access

Access to the site will be as existing from Lower Maythorn Lane.

9: Heritage Statement.

1. Description

The proposed works are for the construction of an agricultural stable block to the west of to the West of Lower Maythorne Farm, Holmfirth.

2. Significance of Heritage Asset

The site on which the proposed block would sit, lies to the West of Lower Maythorne Farm, Holmfirth. The farmhouse was grade II listed in July 1986 (English heritage ID: 333794).

The heritage listing states:

Farmhouse. Late C17 with early C19 and C20 alterations. Deeply-coursed, dressed stone to early part, the rest squared, coursed rubble. Stone slate roof. L-shape plan. Two storeys. C17 gabled, projecting, single-bay wing to right. This has a 4-light (now 2-light) double-chamfered window to each floor each with hood-mould with square decorative stops. Small single-light with hood-mould in gable apex. Moulded gable copings on moulded kneelers. Ornamental finial at apex. In the left return of the projecting bay is a 2-light double-chamfered window to each floor. The rest of the front has C19 and C20 features of no special interest apart from the remains of a possible former doorway and 1st-floor hood-mould stops at the right end. Ashlar stack with moulded cornice and cap to right wing. The rear elevation has 4 early-C19 single lights to each floor. Right return has 2 small double-chamfered openings, one with hood-mould. Interior not inspected.

The Farmhouse can be seen in the image below:



3. Setting of the site as a Heritage Asset

The settings and surroundings of the site are that of a rural area with farmhouses and outbuilding typical of this nature.

4. Impact of the proposal

The nature of the building and its surroundings suggests that there will be no impact on the site or its surroundings, and the proposed can only improve the impact on the site by way of a covered storage area and facilities for animals within the site associated with the farmhouse.

The proposed barn will be sited to the west of the farmhouse, approximately 8.5m away and set at a lower level. The floor level of the barn would be 338.640m, eaves level of the proposed building would be set at 341.293m which is 1267mm lower than that of the eaves at the farmhouse. The proposed

than the ridge of the farmhouse.

There is also a dry stone wall surrounding the field and at the point of the proposed works which stands at approx.. 1500mm above the ground level of 340.96m. This means that from the roadside the proposed ridge line would only be 720mm above the dry stone wall. The wall and difference in levels can be seen in the image below:



Due to the distance from the house, agricultural nature of the building & its surroundings, and the drop in levels it would be envisaged that there would not be a detrimental affect on the listed property.

5. Justification for proposal

At present the site is owned by the occupants of the farmhouse.

They currently rent out the fields to a local farmer who cuts the grass for feed twice a year and also has a large number of sheep grazing there. In the past years the site has been rented to a neighbour who had four horses on the land.

The proposal would be predominantly for stable use as per the drawings and would be ancillary to the farmhouse, providing a barn/storage/stable area that one would associated with such a farmhouse and the land encompassed within its ownership.

The materials and construction of the proposed would be of the highest quality and would be of a quality and construction that would be expected of such a building within the area.

The scale, form, massing and appearance of the proposed would also be of a type that would be expected within the area and due to their lower location within the adjacent field, should have no detrimental affect on the listed building.