

Application Reference: 2025/0843

Site Address: 38 Newhill Road, Smithies, Barnsley, S71 1XH

Introduction: Erection of a two storey side extension incorporating single storey front, and single storey rear extensions

Relevant Site Characteristics

The application relates to a semi-detached dwelling within the Smithies area. A small garden is located to the front of the dwelling and a modest garden to the rear of the dwelling. A detached single storey flat roofed garage is located to the south of the dwelling with an outbuilding attached to the rear of the garage. The dwelling is constructed from light brown brickwork with a tiled pitched roof.

The street scene is characterised by semi-detached dwellings with pitched roofs and constructed from brickwork. Some other two storey side extensions are evident in the street scene.

Detailed description of Proposed Works

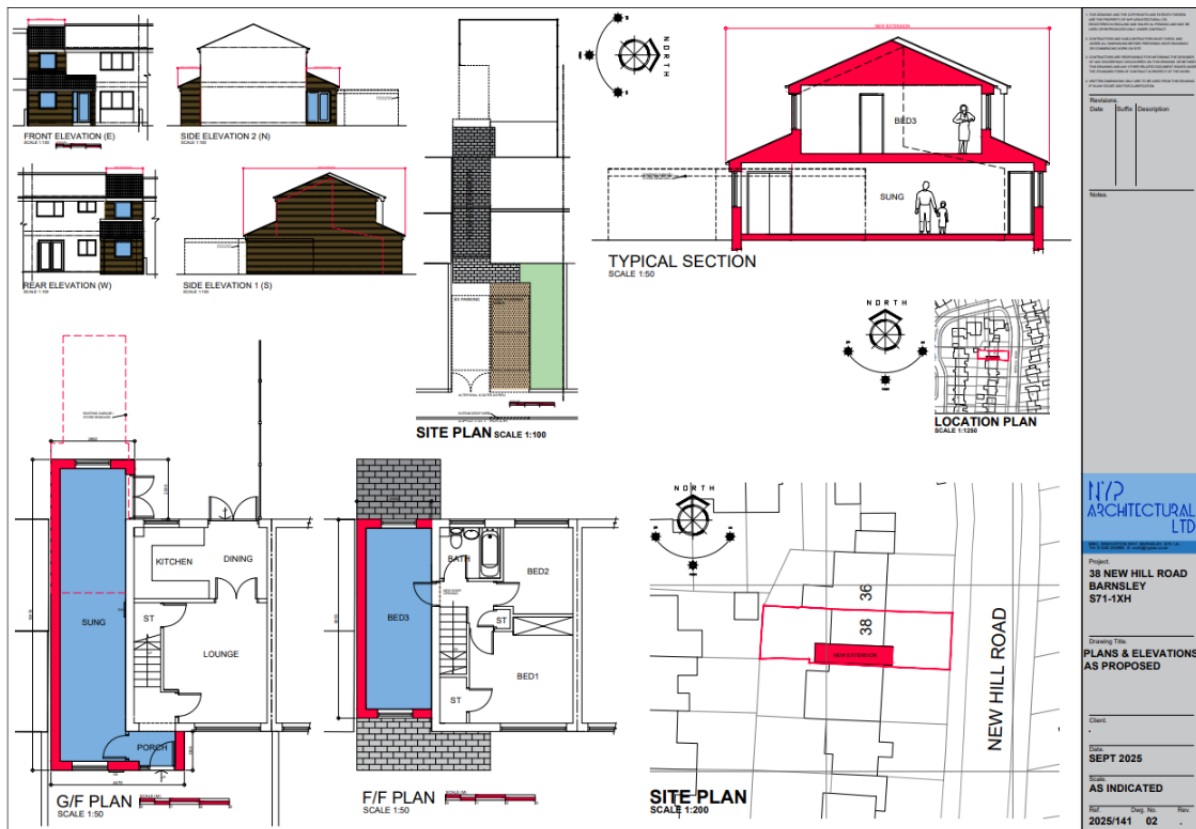
The applicant is seeking permission to erect a two-storey side extension to the south elevation of the dwelling incorporating a single storey extension to the front and rear of the side extension. The proposal would have an approximate length at ground floor level of 10.4 metres and an approximate length at first floor level of 6.6 metres. The proposal would project sideward by approximately 2.5 metres. The side extension is detailed to be set back at first floor level from the front elevation of the dwelling by approximately 0.45 metres. The proposal is also detailed to be set down at the ridge. An approximate eaves height of 5 metres is proposed along with an approximate ridge height of 6.7 metres.

The proposal is detailed to extend to the front of the dwelling creating a porch area. The front extension would project forward of the existing front elevation by 1.3 metres. A proposed width of approximately 4.5 metres is detailed. A lean-to roof form is proposed with an approximate eaves' height of 2.5 metres and an approximate total height of 3.5 metres.

A similar proposal is detailed to the rear of the side extension with an approximate rearward projection of 2 metres and an approximate width of 2.8 metres. A lean-to roof form is also proposed with an approximate eaves' height of 2.5 metres and an approximate total height of 3.6 metres.

Glazing is detailed to the front and rear elevation at both ground and first floor level and a door and elongated window arrangement is detailed to the porch. Matching materials are detailed throughout.

Additionally, some of the existing front garden is detailed to be resurfaced in permeable tarmac. The development also includes the removal of the existing detached garage and store outbuilding.



Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework

for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric where extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

The Supplementary Planning Document for House Extensions states 'All two-storey side extensions should have a pitched roof following the form of the existing roof. To prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 500mm from the main front wall of the dwelling. A setback from the front elevation allows for a vertical break in the roof plane and a lowering of the ridge line.

The sideways projection of a two storey side extension should not exceed more than two thirds the width of the original dwelling. Where located on a corner plot the sideways projection should not exceed more than half the width of the gap between the side elevation of the original dwellings and the side boundary (unless the gap exceeded more than two thirds the width of the original dwelling).

Extensions at the front of individually-designed, detached houses, which are set back from the highway or set on staggered building lines, may, in certain circumstances, be acceptable. However, the extension must complement the original house and not adversely affect any adjacent property or the street scene.

To combat the problems of loss of light, as well as loss of privacy and outlook, the size and projection of rear extensions need to be strictly controlled. Single storey extensions to the rear of terraced houses should not exceed 3.5 metres in projection and where they exceed 3 metres in length the eaves height should not exceed 2.5 metres. On semi-detached dwellings an extension should not project more than 4 metres and again, the eaves height should not exceed 2.5 metres where the extension would project beyond 3 metres.'

The proposal provides sideways projection less than two thirds the width of the existing dwelling and is therefore compliant with the house extension SPD. The proposal has been detailed to be set back at first floor level and the ridge set down, reducing the dominance of the proposal and allowing the extension to remain subordinate to the existing dwelling and prevent a terracing affect. The use of a pitched roof to the two-storey side extension and the porch allows the proposal to remain in keeping with the dwelling and street scene. It is acknowledged the proposal does not allow for a 1 metre set in from the boundary, however given other sites on the street have similar extensions and due to the size of the site, it would be unreasonable to restrict the proposal to this element.

The proposed front extension would provide what is considered to be a minor forward projection of approximately 1.3 metres. The use of a lean-to roof is welcomed and is in keeping with the character of the dwelling. Additionally, other similar front extensions are evident in the street scene.

The rear extension also provides a minor projection at approximately 2 metres. The use of a lean-to roof form is again welcomed and, in any case, would not be seen in the street scene.

Glazing to the front and rear elevations has been detailed symmetrically to the extension and is of a similar fenestration to the existing on-site glazing. The use of matching brickwork allows the proposal to remain in keeping with the character of the dwelling and street scene.

It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making and as such carries considerable weight in favour of the application.

Impact on Neighbouring Amenity

The proposed extension would be erected to the north of 40 Newhill Road. Given the proposal would be to the north, there would be little impact on loss of light. The proposal would be in close proximity to the southern boundary, however given the southern neighbour already has a two storey side extension, the impact would be reduced. The reduced ridge height and set back from the front elevation assists in reducing the dominance of the proposal. No side elevation glazing has been proposed, preventing opportunity for direct overlooking. Although the existing garage and outbuilding which provides substantial screening would be removed to make way for the proposal, there is significant boundary treatment to the rear of the south boundary.

It is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level and is in compliance with Local Plan Policy GD1 General Development. This carries significant weight in favour of the application.

Highways

The proposal would result in the increase of bedrooms in the dwelling from two to three. The development would result in the loss of a garage. However, the existing garage is not a sufficient size to be considered as a parking space, and the site currently provides parking facility for two cars on the driveway. Although the proposal would result in the loss of a parking space on the current driveway, the proposal details the creation of a second parking space on the existing front garden. The site would therefore maintain two parking spaces and therefore provides sufficient parking facility for a dwelling with more than two bedrooms and is compliant with the Parking SPD.

Given the front driveway is proposed to be formed from hardstanding, in order to allow for adequate provisions for the disposal of surface water from the site, a condition will be added to ensure adequate measures shall be so designed into the proposed vehicular areas to avoid the discharge of surface water from the site on to the highway.

As such, the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries considerable weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

It has not been necessary to make contact with the applicant in relation to any amendments to the proposal.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.