
2023/0575

McDonald's Restaurants Ltd.

Alterations to elevations to include single storey extensions totalling 66.5sqm, incorporating sections of new shopfront, extended roof line, new entrance lobby and replacement drive thru booths. Installation of a new access door, high level window and aluminium cladding. Reconfiguration of the back of house areas with an extended corral, finished with timber effect trespa cladding and the relocation of existing patio furniture with associated works to the site

McDonald's Restaurants Ltd, Wombwell Lane, Stairfoot, Barnsley, S70 3NT

Site Location and Description

The application site is a longstanding McDonald's Restaurant located at the Stairfoot roundabout with access taken off Wombwell Lane. The building sits on ground which is significantly elevated above the roundabout, but highway planting reduces the impact on this part of the street scene. The building is more readily visible from Wombwell Road as the levels difference reduces and access is secured.

Site History

Variety of planning applications relating to the restaurant/takeaway which has been on the site since around 2000, including:

B/99/0161 – Demolition of existing public house and erection of restaurant with car park spaces

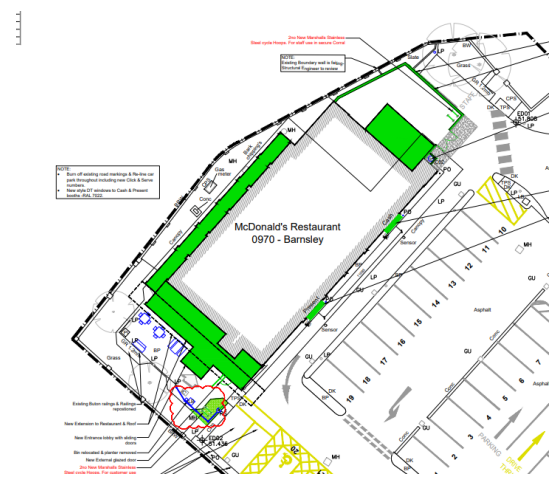
Proposed Development

The applicant seeks permission for a number of alterations and extensions, remodelling the appearance of the building. In particular, the proposal includes extensions on the main front (south west facing) elevation of the building to create a larger entrance area with an extended roof over; extension on the side (north west facing) elevation under the existing roof overhang; and an extension to the existing corral to the rear of the building. In addition, the proposal includes internal alterations and external works including replacement drive thru booth windows and alterations to the existing dining patio.

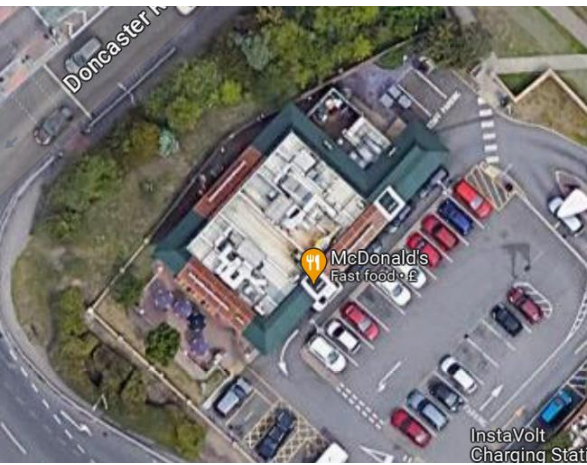
The layout plan has been modified to reflect the comments of the Forestry Officer; to secure bike parking provision and to illustrate the internal layout and show that the dining space will be increased by only 8 sqm and it has been confirmed that there will be no uplift in staff numbers.

There is an associated application for advertisement consent to relocate two existing fascia signs following alternations to the roof.

Proposed layout plan



Existing aerial view



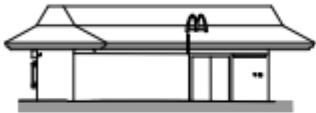
Proposed elevations



EXISTING ELEVATION A



EXISTING ELEVATION B



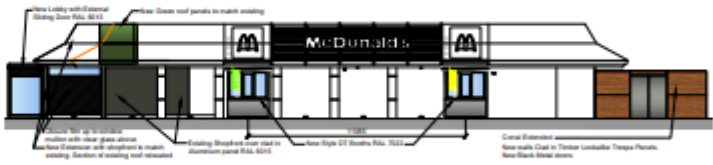
EXISTING ELEVATION C



EXISTING ELEVATION D



PROPOSED ELEVATION A



PROPOSED ELEVATION B



PROPOSED ELEVATION C



PROPOSED ELEVATION D

Policy Context

Planning decision should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making.

Local Plan

The Local Plan was adopted by the Council in January 2019. Council has also adopted a series of Supplementary Planning Documents which are other material considerations.

The Local Plan review was approved at the full Council meeting held on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances require it.

The site is in an area designated as Urban Fabric on the Local Plan Proposals Maps reflecting the existing built-up character. The following policies are relevant:

Policy SD1 Presumption in favour of Sustainable Development – indicates that we will take a positive approach reflecting the presumption in favour of sustainable development in the National Planning Policy Framework and that we will work proactively with applicants to find solutions to secure development that improves the economic, social and environmental conditions in the area

Policy GD1 General Development – sets a range of criteria to be applied to all proposals for development.

Policy T3 New development and Sustainable Travel – expects new development to be located and designed to reduce the need to travel, be accessible to public transport and meet the needs of pedestrians of cycles. Also sets criteria in relations to minimum levels of parking; provision of transport statements and of travel plan statements.

Policy D1 High Quality Design and Place Making – indicates that development is expected to be of high quality design and to reflect the distinctive, local character and features of Barnsley.

Policy BIO1 Biodiversity and Geodiversity - Indicates that development will be expected to conserve and enhance the biodiversity and geodiversity features of the borough and that harmful development will not be permitted unless effective mitigation and/or compensatory measures can be ensured.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be

granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Supplementary Planning Documents (SPD):

SPD Parking – gives guidance on parking standards and indicates that the Council encourages the provision of electric vehicle charging infrastructure.

Trees and Hedgerows SPD – offers guidance on how to deal with existing trees and hedgerows on development sites.

Consultations

Highways DC – required additional information in relation to internal layout, staff numbers and how parking requirements will be met.

Revised comments – the scheme would not have a significant impact on vehicle numbers given the relatively small increase in dining space and the intention to retain existing staff numbers. The scheme is acceptable, and no highway conditions are deemed necessary.

Public Rights of Way – There is a public bridleway which forms part of the Trans Pennine Trail to the north east of the site. An informative should be included on any permission advising of the need for access on the right of way to remain available.

Trans Pennine Trail – construction should not impede on the Trail users and the developer should provide details of the number of cycle parking spaces to be provided

Drainage – no objections

Pollution control – no objections

SYMAS – the site does not lie within a Coal Authority Referral area, there is no requirement for a coal mining risk assessment, an informative with the Coal Authority's standing advice should be included on any permission

Forestry – the layout plan shows paving over part of the rooting area of the tree opposite the entrance. Ideally this small area should be omitted from the scheme, in which case I would be content for tree protective barriers as part of a tree protection plan to be conditioned to provided pre-approval.

Ward Councillors – No response

Representations

The application has been advertised by means of letters to nearby properties and a site notice (22 June to 13 July); no representations have been received.

Assessment

Principle of development

The application site has a designation of urban fabric in the Local Plan where Policy GD1 sets a range of criteria against which planning applications must be judged.

As the proposal is for modest extensions and alterations to an existing building, the principle of development is acceptable subject to consideration of details.

Visual Amenity/Design

The proposed extensions are relatively modest additions to the existing building and together with the proposed alterations will have limited impact on the appearance of the building.

It is considered that the design and impact on visual amenity are acceptable in this setting and in compliance with Local Plan Policy D1.

Highways safety

Noting the advice of the highways officer it is considered that the proposed will not have a significant impact on vehicle numbers given the relatively small increase in dining space and the intention to retain existing staff numbers. The proposals are therefore considered acceptable from a highways safety perspective and in compliance with Local Plan Policy T3.

Other

Amendments have been secured to address the concerns relating to the proximity of works to a tree and to provide bicycle racks within the site and conditions are recommended to ensure that the tree is protected, and the bicycle racks are provided. Informatives are recommended as requested by Public Rights of Way and South Yorkshire Mining Advisory Service.

Conclusion

The proposal is considered acceptable in visual amenity and highways safety terms. Amendments have been secured to address the concerns relating to the proximity of works to a tree and to provide bicycle racks within the site and conditions are recommended to ensure that the tree is protected, and the bicycle racks are provided. It is concluded that the proposal is acceptable.

Recommendation

Grant subject to conditions