

PROPOSED SECURE DETACHED DOUBLE GARAGE + GARDEN
STORE @ WOOD VIEW DOGWELL LAKE HIGHAM BOTTOM ST5-1PG

FOR
MR DAMIAN GREEN

SHEET ONE :- LOCATION PLAN.

" TWO :- SITE PLAN.

" THREE :- TYP CALCULATION.

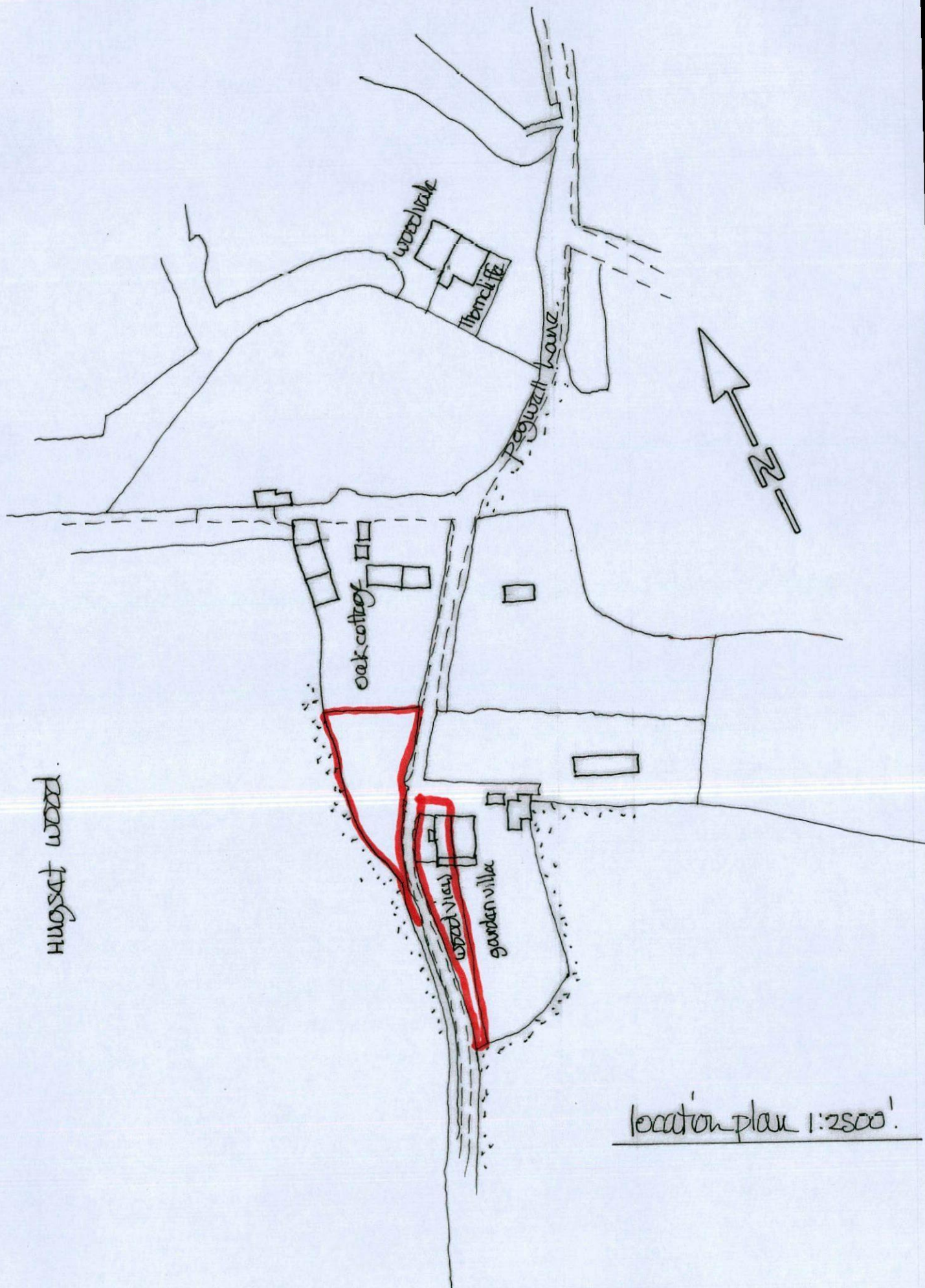
" FOUR :- FLOOR PLAN.

" FIVE :- ELEVATIONS.

" SIX :- SECTION/CONSTRUCTION DETAILS

SCALES @ 1:2500 - 1:500M - 1:100M - 1:50M.

hugst wood



location plan 1:2500'

retain all
hedges

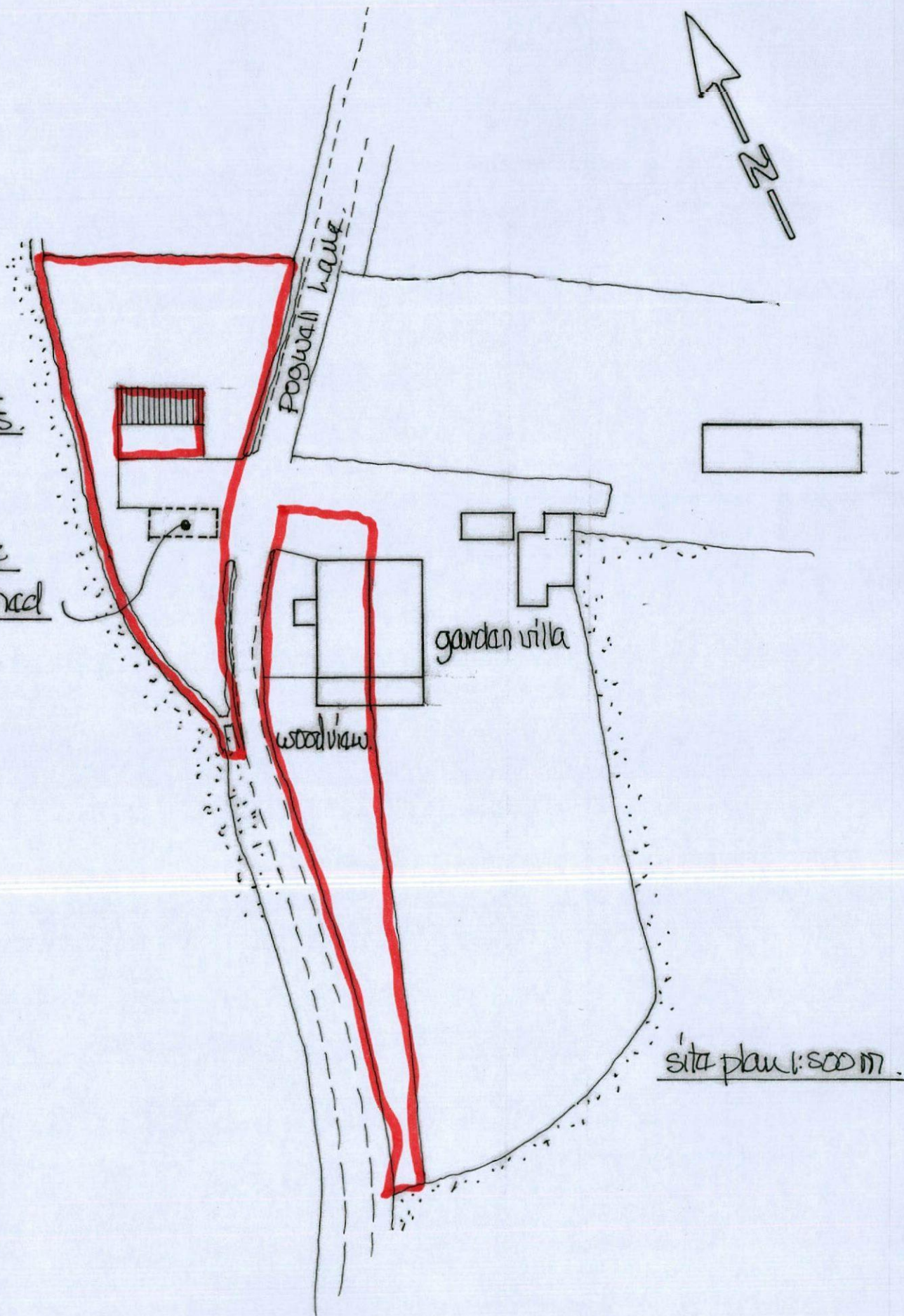
o/b to be
demolished

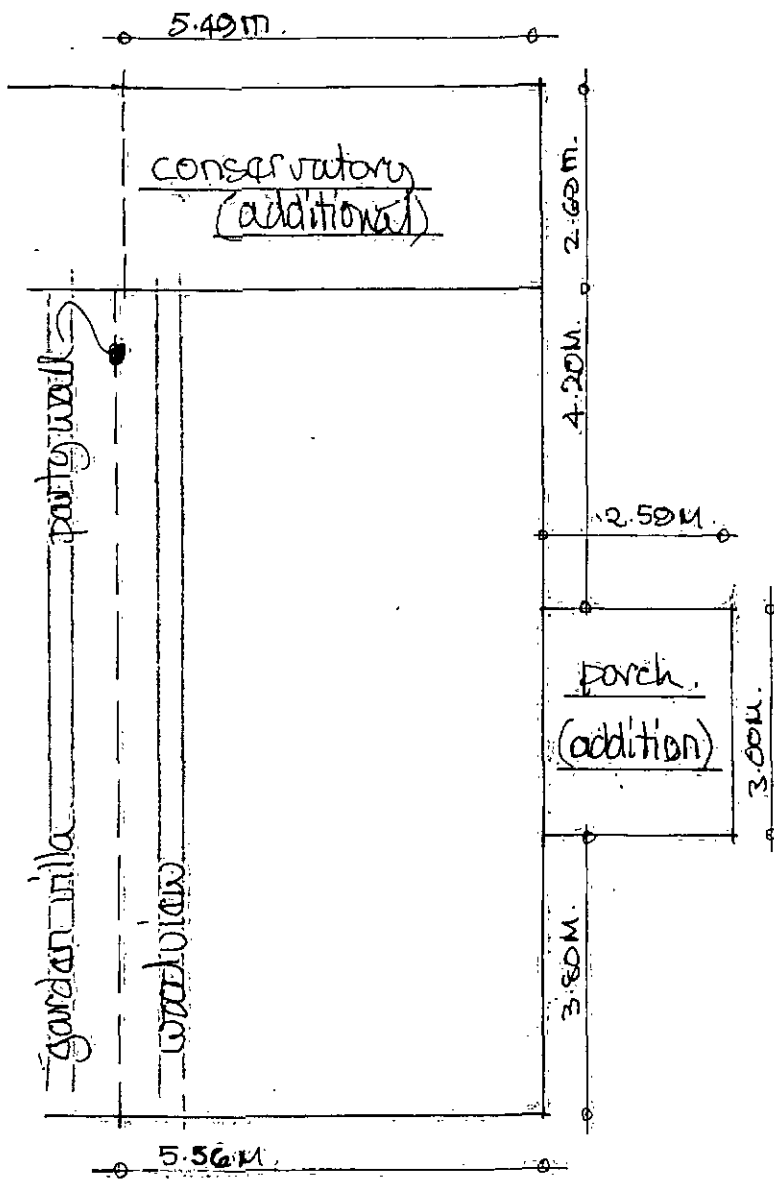
Pogwall Lane

garden villa

wood view

site plan 1:500 m.





* note: - all dimensions are external.

scale 1:100M.

existing on site details: -

original footprint =

$$11.00 \times 5.56 = 61.16 \text{ M}^2$$

$$\text{1st floor} = 61.16 \text{ M}^2$$

$$\text{total} = 122.32 \text{ M}^2$$

conservatory (later addition to ex) =

$$5.49 \times 2.69 = 14.53 \text{ M}^2$$

garage/outbuilding =

$$6.40 \times 2.54 = 16.26 \text{ M}^2$$

entrance porch =

$$3.00 \times 2.59 = 7.77 \text{ M}^2$$

∴ total floor area of additions

to existing footprint =

$$14.53 + 16.26 + 7.77 = 38.56 \text{ M}^2$$

original - additions =

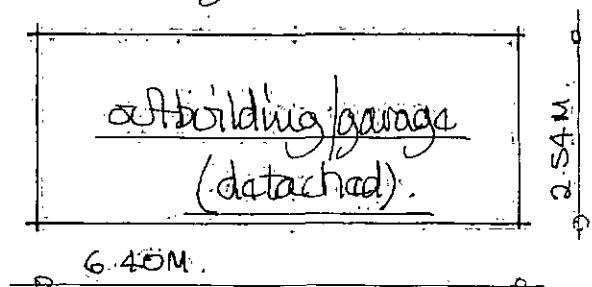
$$122.32 - 38.56 = 83.76 \text{ M}^2$$

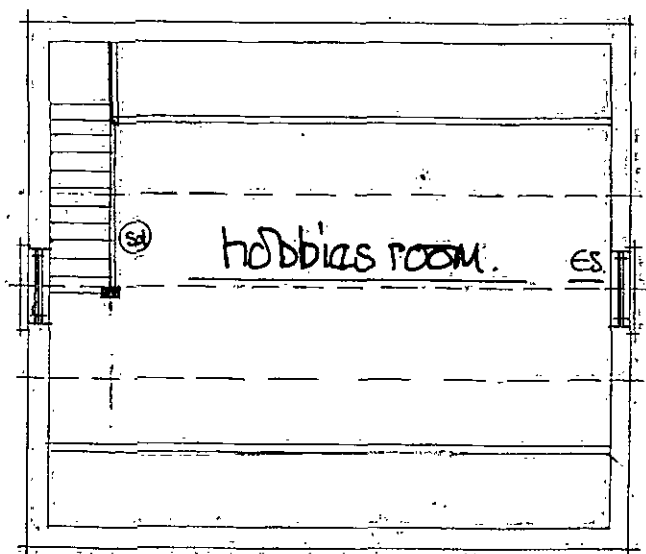
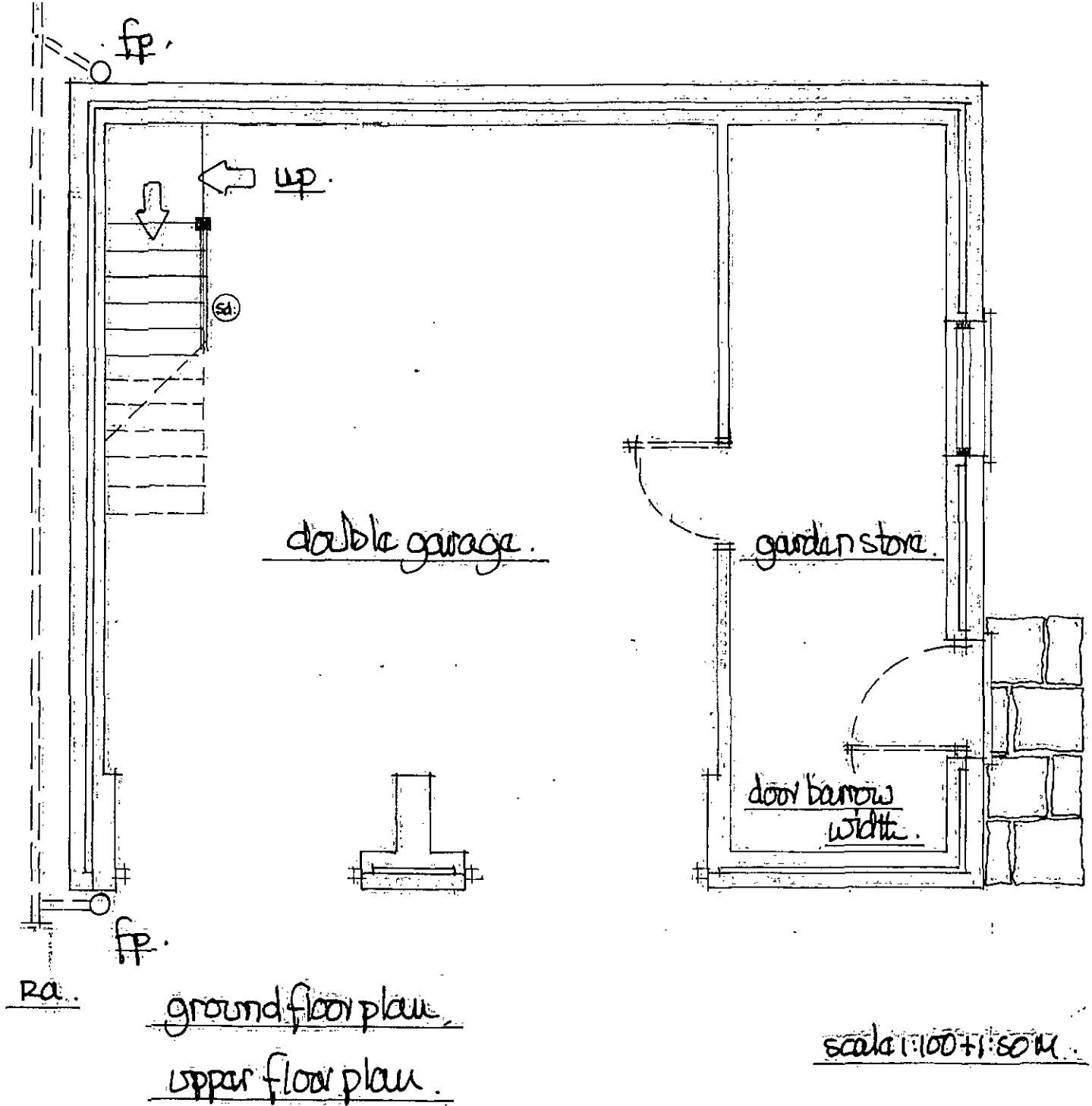
The new proposal has a footprint

of $8 \text{ M} \times 7 \text{ M} = 56 \text{ M}^2$ + therefore

satisfies BMBC's countryside

policy.





- SD shows ceiling mounted smoke detectors wired back to fuse bd + interlinked - battery back up - fixed 300mm min from wall junctions + light fittings.
- ES shows fire safety escape sash 750mm high x 450mm wide to open thro' 90° bottom of sash between 800/1100 above floor.