

2024/0827

Mr Dean Schofield

1 Longside Way, Pogmoor, Barnsley, S75 2JL

Conversion of existing garage to bedroom and erection of a front linked garage

Site Description

The application relates to a detached bungalow on Longside Way within the Pogmoor area. Whilst the bungalow benefits from a gable front element, this forms part of the original design and is modest in scale and is characteristic of the surrounding bungalows. The surrounding area is characterised by detached houses and bungalows formed from similar materials. The property is formed from light brown brick with a tiled pitched roof.



Planning History

B/75/2765/BA - Outline for erection of two dwelling units – Historic Decision

B/76/1320/BA - Erection of 17 dwellings - Phase 2 – Historic Decision

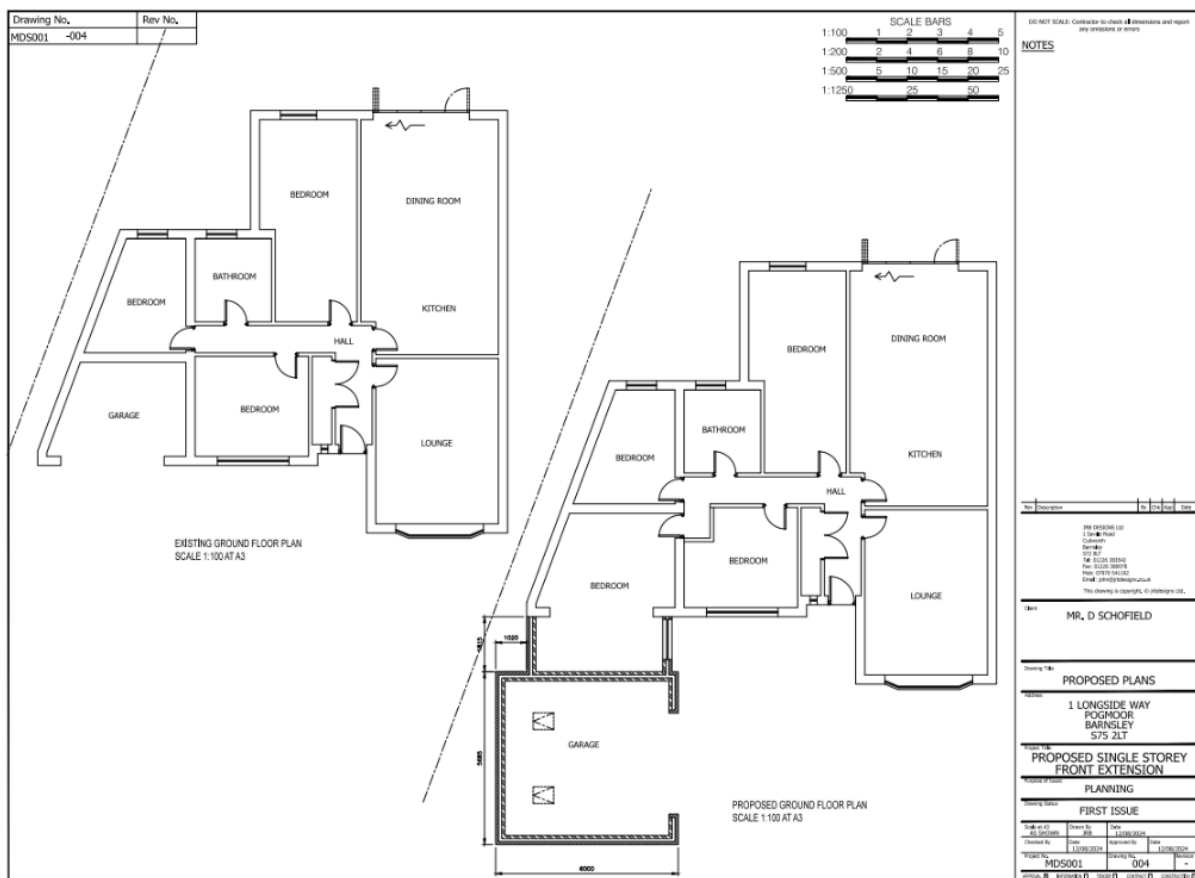
B/77/0566/BA - Erection of 24 dwellings (roads and drainage) – Historic Decision
B/78/1536/BA - Amendment of site layout of Phase IV housing development – Historic Decision

Proposed development

The applicant is seeking permission to erect a garage extension to the front elevation of the property.

The proposal would project forward of the principal elevation approximately 7.5 metres with a width of approximately 6 metres. The garage itself would be approximately 5.8 metres in length by approximately 6 metres in width. The existing garage would be converted into a bedroom providing an increase in length of approximately 1.8 metres. A window is proposed to the north side elevation of the converted bedroom. The proposal provides a gable roof form facing the highway with a ridge height of approximately 4.2 metres and an eaves height of approximately 2.4 metres. The existing front garden is proposed to be converted to a driveway. A garage door is proposed on the north side elevation of the proposal spanning approximately 3.3 metres. Two Velux windows are proposed on the south roof elevation of the garage.

Matching materials have been proposed.



Drawing No. MD5001	Rev No. -003
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PROPOSED FRONT ELEVATION
SCALE 1:100 AT A3

PROPOSED END ELEVATION
SCALE 1:100 AT A3

PROPOSED REAR ELEVATION
SCALE 1:100 AT A3

BRICK TO MATCH EXISTING
TILES TO MATCH EXISTING

PROPOSED END ELEVATION
SCALE 1:100 AT A3

SCALE BARS
1:100 1 2 3 4 5
1:200 2 4 6 8 10
1:500 5 10 15 20 25
1:1250 25 50

NOTES
DO NOT SCALE. Contractor to check all dimensions and report any variations in writing.

MR. D SCHOFIELD

PROPOSED ELEVATIONS
1 LONGSIDE WAY
POGMOR
BARNLEY
S75 2LT

PROPOSED SINGLE STOREY
FRONT EXTENSION

PLANNING
FIRST ISSUE

MD5001 003

Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- **Policy SD1: Presumption in favour of Sustainable Development.**
- **Policy D1: High Quality Design and Place Making.**
- **Policy GD1: General Development.**
- **Policy T4: New Development and Transport Safety.**

Adopted Supplementary Planning Document: House Extensions and Other Domestic Alterations

This adopted document establishes the design principles that specifically apply to the consideration of planning applications for domestic extensions, outbuildings, roof and other domestic alterations. The document reflects the principles of the National Planning Policy Framework which promotes high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

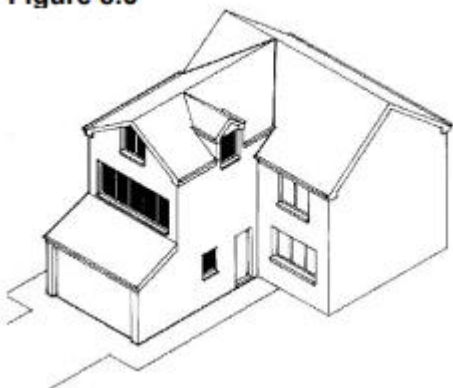
The *Supplementary Planning Document: House Extensions and Other Domestic Alterations* also provides guidance in relation to specific types of development. Front extensions are outlined in paragraphs 7.7, 7.8, 7.9, 7.10, 7.11.

Front Extensions

7.7 The front elevation of a building is the most important for its contribution to the street scene. Generally, therefore, such extensions need to be of a high standard of design and will not be considered acceptable where they detract from the quality of the existing dwelling or character of the street scene or cause overshadowing to neighbouring dwellings. Large extensions and conservatories are likely to appear particularly intrusive and will not normally be acceptable.

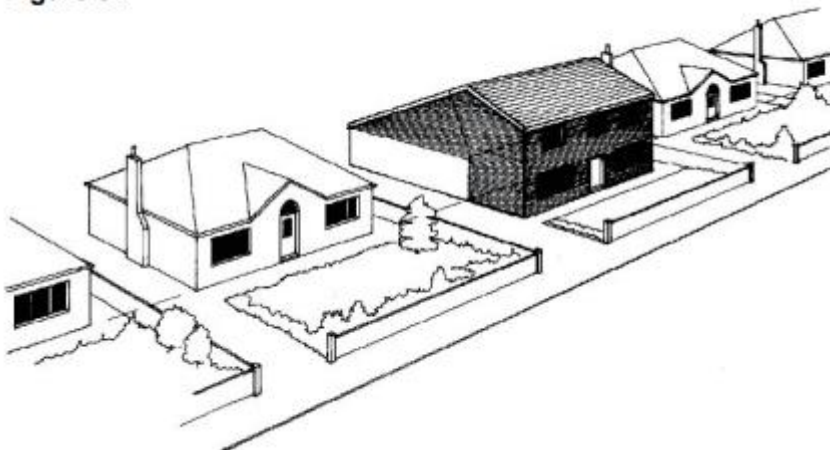
7.8 The front extension in Figure 8.3 would not be acceptable. It alters the character of the original by overwhelming it in an unsympathetic manner. For example, the front door has been removed from the main elevation, and the garage door given excessive prominence.

Figure 8.3



7.9 In Figure 8.4, the forward extension, which changes a hipped-roof bungalow into a gable-roofed two storey dwelling, has broken the common roof ridge line and clumsily interrupted the harmonious pattern and continuity of the street scene, to its detriment. Again, this is unacceptable.

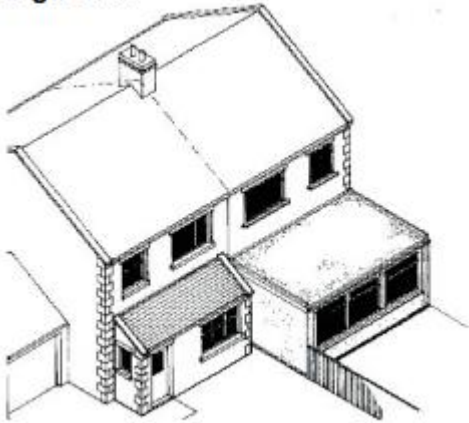
Figure 8.4



7.10 Extensions at the front of individually-designed, detached houses, which are set back from the highway or set on staggered building lines, may, in certain circumstances, be acceptable. However, the extension must complement the original house and not adversely affect any adjacent property or the street scene.

7.11 Modest single storey front extensions, which are in keeping with the style of the existing house, may be allowed. For example, the left-hand semi shown in Figure 8.5 with a small extension to form a porch and provide some extra space in the front living room, would be acceptable because it is sufficiently discreet and adopts the form and features of the original. But the right-hand semi in Figure 8.5, with a larger extension, made more prominent by the alien form of the flat roof and conservatory-like front, is unacceptable.

Figure 8.5



National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed extension is not likely to cause any detrimental overshadowing of neighbours. The proposal is to the north of 20 West Moor Crescent. No overshadowing is therefore likely to be an issue. The proposal would not cause an overbearing impact on this neighbour due to existing boundary treatment and the existence of the neighbours' garage, screening the proposal from the site. The two Velux windows proposed to the south elevation will have little overbearing impact on neighbouring 20 West Moor Crescent and do not service a habitable room. Given no glazing is proposed to the front elevation of the extension no impact in terms of overlooking will be caused to neighbouring properties 2 and 4 Longside Way. A sufficient distance of greater than 12 metres is provided given the proposal is a blank gable wall as set out within the House Extensions and Other Domestic Alterations SPD.

Although some impacts would be caused, the proposal is not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have a significantly overbearing impact. The proposal is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The proposed front extension is considered overly dominant on the street scene. The proposal would create a blank gable elevation in close proximity to the highway, detracting from the character of the street scene. The proposed blank elevation detracts from the character of the property by the loss of the existing garage door facing the highway with the replacement of an overly prominent blank gable elevation. The proposal is forward of the general principal elevation line of the surrounding area which is not consistent with the street character and is not in compliance with the adopted supplementary planning document House Extensions and Other Domestic Alterations and the harmonious pattern and continuity of the street scene to its detriment.

Although single storey and gable roofed, the proposal is considered overly dominant and detracts from the character of both the host dwelling in that it is of a larger scale than the existing gable element, and windowless which cause the dwelling to appear asymmetrical and unbalanced. This would make the dwelling appear incongruous and out of character within the street scene. This would be exacerbated by the significant frontways extension which would be prominent within the streetscene in an area where there are no similar large front extensions. The use of matching materials is acknowledged.

The proposal is therefore considered to significantly alter or detract from the character of the street scene and is considered to not comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would therefore be unacceptable regarding visual amenity.

Highway Safety

Although the proposal would result in an increase in bedroom accommodation, the alteration to the sites parking facilities still allows for enough parking facilities for 2 or more cars so will not require any additional parking facilities.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Recommendation Refuse