

May 2025

# Planning and Heritage Statement

33 Darton Road,  
Cawthorne, Barnsley, S75 4HU

Householder and Listed Building Application for erection  
of a rear gable extension.

Produced By:

Planning & Design Practice Ltd  
3 Woburn House, Vernon Gate, Derby, DE1 1UL

[www.planningdesign.co.uk](http://www.planningdesign.co.uk)

RIBA   
Chartered Practice



Architects  
Registration  
Board



**Derby Head Office**

Second Floor, Suite 3 Woburn House  
Vernon Gate, Derby, DE1 1UL  
01332 347371

**Matlock Office**

Cromford Creative, Cromford Mills  
Mill Lane, Cromford, Matlock,  
Derbyshire, DE4 3RQ

**Macclesfield Office**

Waters Green House, Walters Green,  
Macclesfield, SK11 6LF  
07969 871264

**Sheffield Office**

First Floor, Unit 4,  
Westbrook Court,  
Sharrowvale Road, Sheffield,  
S11 8YZ

## Document Control Sheet

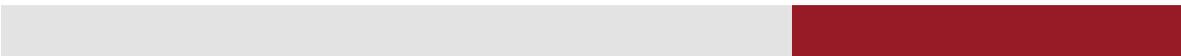
<b>Project Name</b>	33 Darton Road, Cawthorne
<b>Client</b>	Fraser Properties Ltd
<b>Project Reference</b>	5374
<b>Project Manager</b>	Michael Bamford
<b>Team Members</b>	Mollie Arif

Version	File Name	Description	Prepared	Checked	Date
01	5374_PHS_V1	Planning and Heritage Statement	MBA	MB	09/05/2025



## Table of Contents

1	Introduction.....	3
2	Site Description and Planning History .....	4
	Site Location .....	4
	Relevant Planning History .....	5
3	The Proposed Development.....	6
4	Planning Policy Context.....	9
	The Development Plan .....	9
	Other Material Considerations.....	11
5	Heritage impact Assessment.....	14
6	Key Planning Issues .....	22
7	Conclusions.....	24



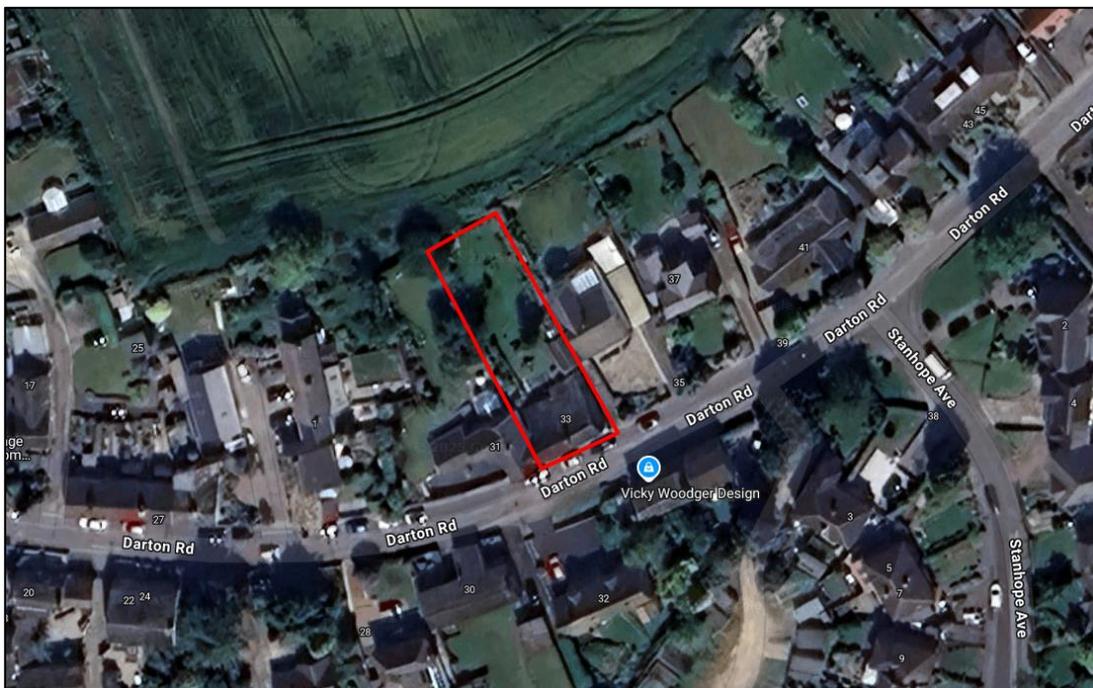
# 1 Introduction

- 1.1 Planning & Design Practice is a multidisciplinary practice consisting of chartered town planners, architects and heritage specialists. The practice operates across England and Wales and has an exemplary track record of submitting successful planning applications and in facilitating sustainable development.
- 1.2 This report has been structured to provide an introduction to the site and discuss its planning history; details of the proposed development and the rationale for it; and an examination of the key planning issues to be considered.
- 1.3 Also submitted to accompany the report are the following:
- A Full set of Drawing comprising:
    - Site Location Plan
    - Site Plan as Existing
    - Site Plan as Proposed
    - Floor plan as Existing
    - Floor plan as Proposed
    - Elevations as Existing
    - Elevations as Proposed
    - 3D Visuals of Proposed

## 2 Site Description and Planning History

### Site Location

- 2.1 The Site is located to the north of Darton Road, Cawthorne and comprises a semi-detached 3-bedroom house, sharing a wall with the connecting dwelling to its left. The immediate surroundings of the Site are residential dwellings of similar form, structure and building materials as shown in Figure 1.
- 2.2 The Site has one allocated parking bay within its premises and fronts onto Darton Road, with additional roadside car parking. The Site is sustainably located within Cawthorne with two bus stops within 250m of the site on Church Street and Maltkiln Road, which provide regular services to Barnsley and Denby Dale.
- 2.3 33 Darton Road is a Grade II listed cottage within the Cawthorne Conservation Area, which is addressed in further detail in Section 4 of this report. There are no TPOs on site.
- 2.4 The Site is located in Flood Zone 1 and is at a very low risk of flooding.



*Figure 1 Aerial View of the Site*

## Relevant Planning History

2.5 The site itself does not have any relevant planning history, however the adjoining dwelling at 31 Darton Road has benefitted from the following planning consents which have facilitated a rear extension:

- B/78/0756/PR | To erect extension to existing dwelling.
- B/00/0828/PR | Erection of rear conservatory extension.
- B/00/0818/PR/LB | Erection of rear conservatory extension (Listed Building Consent)

### 3 The Proposed Development

- 3.1 The proposed development seeks to introduce a two-storey rear gable extension to 33 Darton Road, Cawthorne, to introduce additional living space on the ground floor, and a double bedroom with en-suite and additional bathroom on the first floor. This would create a spacious 4no. bed dwelling.
- 3.2 The applicant is pursuing these proposals as the roof of the dwelling is currently leaking in various places and whilst addressing this, they would like to improve the living space overall, by mirroring the extension at 31 Darton Road.
- 3.3 The character of the existing building is defined by the stone slate roof, symmetrical arrangement of windows on the principal elevation and the outshut roof. The proposed development seeks to preserve and protect the character of the building particularly when viewed as part of the street scene. There are no alterations proposed to the principal elevation and the ridge of the proposed rear extension is set below the ridgeline of the main dwelling and will not be visible within the street scene.
- 3.4 The design of the proposed extension has been informed by the adjacent rear extension at No. 31 Darton Road. In particular, it reflects key aspects of that development including its scale, form, massing, and choice of materials. The building line of the adjacent extension has been used to inform a logical and uniform design which seeks to improve how the site is visually experienced from the rear of the property, as shown in Figure 3.
- 3.5 It is appreciated that the gable extension will impact the outshut roof which is a historic feature of 31-33 Darton Road. However, it is proposed that the majority of the roof is to be retained.
- 3.6 The proposed materials are to match existing, with stone tiles proposed for the roof and the stonework to match the main dwelling. The proposed quoins will also match that on the neighbouring property to create a coherent design.
- 3.7 The proposed fenestration has also been designed to match that on the adjacent property's extension. Here, the headers and sills will replicate the style used by the neighbouring property and within the wider area more broadly.



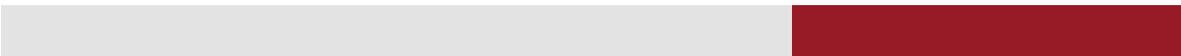
*Figure 2 Proposed Floor Plan*



*Figure 3: 3D Visual of Proposed Rear Extension*



3.8 Please refer to the appended drawing pack for further information.



## 4 Planning Policy Context

- 4.1 The purpose of this section is to set out the relevant planning policy background which is pertinent to the site and proposed development.
- 4.2 Section 38(6) of the Planning & Compulsory Purchase Act 2004 states that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise.
- 4.3 In this case, the development plan consists of the Barnsley Local Plan (adopted 2019) and the Cawthorne Development Neighbourhood Plan (adopted 2021). Other material considerations include the National Planning Policy Framework (2024), the associated Planning Practice Guidance and Supplementary Planning Documents (SPDs).

### The Development Plan

#### Barnsley Local Plan

- 4.4 Policy GD1 sets out that proposals for general development will be approved if:
- *There will be no significant adverse effect on the living conditions of existing and future residents;*
  - *They are compatible with neighbouring land and the future use of neighbouring land;*
  - *They include landscaping to provide a high-quality setting for buildings, incorporating existing landscape features and protecting and improving the character of the local landscape;*
  - *Any drains, culverts, and other surface water bodies that may cross the site are considered;*
  - *Existing trees that are to remain on site are considered in the layout to avoid overshadowing.*
- 4.5 Policy D1 states that new development should be based on a thorough contextual analysis and provide good design that is appropriate to its location, scale, and function. Through its layout and design, development should:

- *Complement and enhance the character and setting of distinctive places;*
- *Display architectural quality and express proposed uses through its composition, scale, form, proportions, and arrangement of material, colours, and details;*
- *Make the best use of high-quality, local materials.*

4.5 Policy HE1 sets out that new development in historic and/or protected areas should conserve and enhance the significance of the area's distinctive character and sense of place, with part b and c stating this will be secured by:

*'ensuring that proposals affecting a designated heritage asset (or an archaeological site of national importance such as a Scheduled Ancient Monument) conserve those elements which contribute to its significance. Harm to such elements will be permitted only where this is outweighed by the public benefits of the proposal. Substantial harm or total loss to the significance of a designated heritage asset (or an archaeological site of national importance) will be permitted only in exceptional circumstances where there is a clearly defined public benefit*

*supporting proposals that would preserve or enhance the character or appearance of a conservation area. There are 18 conservation areas in the borough and each is designated for its particular built and historic significance. This significance is derived from the group value of its constituent buildings, locally prevalent styles of architecture, historic street layouts and its individual setting which frequently includes views and vistas both into and out of the area. Particular attention will be given to those elements which have been identified in a Conservation Area Appraisal as making a positive contribution to its significance.'*

4.6 Policy HE2 states that a description of the heritage significance of the site and its setting should be included where relevant and should be appropriate but proportionate to the impact of the proposal.

4.7 Policy HE3 states that any proposals involving additions or alterations to Listed Buildings should seek to conserve where appropriate, respecting historic precedents of scale, form, massing, architectural detail, and the use of appropriate material to reflect local historic character.

## Cawthorne Neighbourhood Development Plan

- 4.9 The Cawthorne Neighbourhood Plan was approved in June 2020 and sets out policies for development in the local area.
- 4.10 The Plan identifies the location of the site within the Cawthorne Conservation Area, a town distinguished by distinctive rural character and cluster of listed buildings. These qualities are valued highly by local residents and visitors alike.
- 4.11 In this respect, Policy C1 states that development in Cawthorne should respond positively to local landscape character, ensuring any development proposals are designed to minimise any adverse visual impacts of or within the conservation area.
- 4.12 Policy C7 states that new development within the conservation area should be sensitive to the character and setting of the conservation area. All buildings, views, green spaces, and trees should be protected and enhanced where appropriate. In regard to alterations and extensions, proposals should incorporate the following principles:
- *Extensions should be subordinate in scale to the original building;*
  - *Alterations to buildings of heritage value should use traditional materials, practices, and designs, and historic detailing should be retained and enhanced where possible (including roof pitches, window openings, porches, chimneys, etc.)*

### **Other Material Considerations**

#### National Planning Policy Framework

- 4.13 Paragraph 116 states:

*'Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network, following mitigation, would be severe, taking into account all reasonable future scenarios.'*

4.14 Paragraph 154 states: Development in the Green Belt is inappropriate if (c) the extension/alteration is disproportionately over and above size of the original building.

4.15 Paragraph 207 states:

*'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.'*

4.16 Paragraph 210 of the NPPF advises that: In determining planning applications, local planning authorities should take into account:

- *'The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.*
- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *the desirability of new development making a positive contribution to local character and distinctiveness.'*

4.17 Paragraphs 212 and 213 state:

*'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the*

*greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.*

*Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.'*

4.18 Paragraph 215 states:

*'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'*

#### House Extensions and Other Domestic Alterations SPD (2024)

4.19 This document provides design guidance on the erection of residential extensions. On two-storey rear extensions, it states that consideration will be afforded to the extent of overshadowing, loss of privacy and outlook.

4.20 It also states that:

*'Two-storey rear extensions to semi-detached houses should, therefore, generally be designed with a rear projection of less than 3.5 metres and for terraced houses 2.5 metres. Larger extensions may be acceptable in certain circumstances -for instance: where the neighbouring house has been extended; or where there is a strong boundary treatment, such as a high wall or an outbuilding or garage built close to the boundary.'*

## 5 Heritage impact Assessment

- 5.1 This section of the report includes a brief overview of the historic background of the site; it will also assess the significance of relevant heritage assets and potential impact of the proposed development on these assets, in line with policy and guidance as set out in the NPPF.

### Significance

- 5.2 The glossary of the Planning Practice Guidance (PPG) to the NPPF defines significance as:

*The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting'.*

- 5.3 The PPG also states that:

*'Local planning authorities may identify non-designated heritage assets. These are buildings, monuments, sites, places, areas or landscapes identifies as having a degree of significance meriting consideration in planning decisions but which are not formally designated heritage assets. In some areas, local authorities identify some non-designated heritage assets as 'locally listed' but cautions that: a substantial majority of buildings have little or no heritage significance and thus do not constitute heritage assets. Only a minority have enough heritage interest for their significance to be a material consideration in the planning process'.*

### Harm

- 5.4 Current guidance by Historic England is that 'change' does not equate to 'harm'. The NPPF and its accompanying PPG effectively distinguish between degrees of harm to heritage assets – total loss, substantial, less than substantial and no harm. Paragraph 214 of the NPPF states that:

- 5.5 *'Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:*

- a) the nature of the heritage asset prevents all reasonable use of the site; and
- b) no viable use of the heritage asset itself can be found in the medium terms through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use.

5.6 Paragraph 215 of the NPPF further states that: *“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”*

#### Description of Significance

5.7 In line with Policy HE2 and paragraph 207 of the NPPF, proposals relating to heritage assets need include a description of their significance.

5.8 In this respect, the site was first listed as a Grade II heritage asset on 23 November 1987, under listing '31 and 33 Darton Road' (Entry No: 1151782) and states:

*‘Two houses, may formerly have been one. Of C17 origin, No 33, to right, remodelled mid C19. No 31 has late C20 additions to left and rear. Coursed squared rubble with quoins. Stone slate roof. Two storeys. No 33 has, to its left, a symmetrical arrangement of two 4-pane sashes to each floor with a central doorway. At the right end is similar 1st-floor window and a later ground-floor window in keeping. No 31 is a gabled cross wing with double- chamfered windows: one 4-light to ground floor (with 2 mullions removed) and an adjoining fire window, one 3-light window to 1st floor. All have a hoodmould. Single light in gable apex. Moulded gable copings on moulded kneelers. Finials gone. Three rebuilt stacks. The left return of this wing has a 3-light double-chamfered window to each floor, with hoodmould. Late C20 additions to left not of special interest. Continuous outshut to rear of No 33.*

*Interior: two stop-chamfered beams across wing. None of the C17 internal arrangement appears to survive.’*

5.9 As highlighted in the listing, this heritage asset comprises two semi-detached dwellings. The site's historic significance is derived from its C17 origin, with the application site understood to have been remodelled in C19. Other key characteristics of the application site in relation to its historic character and appearance relate to the stone slate roof, symmetrical arrangement of windows on the principal elevation and the continuous outshut at the rear as shown in the following photos.



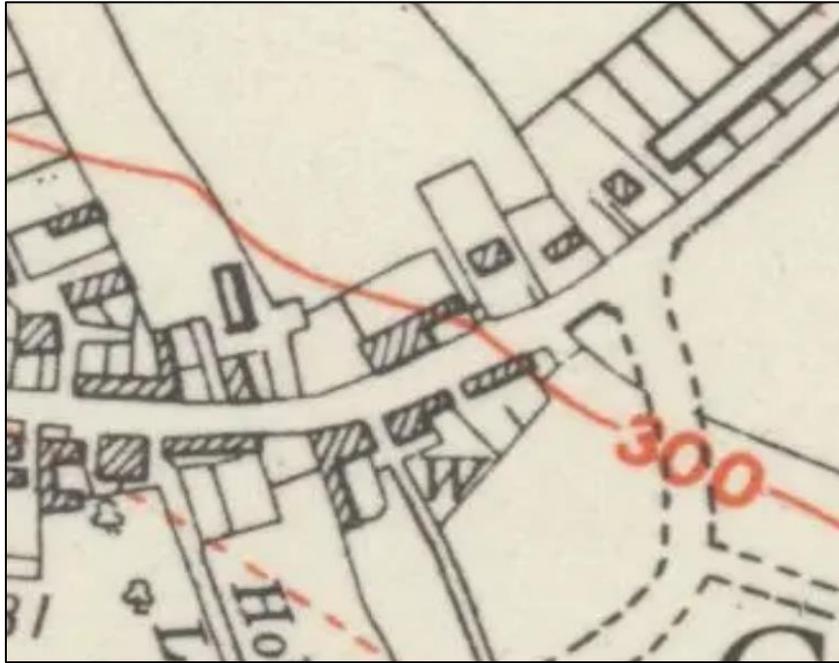
*Figure 4 Front Elevation of 33 Darton Road*



*Figure 5: Rear Elevation of 33 Darton Road, with view of 31 Darton Road's Rear Extension*



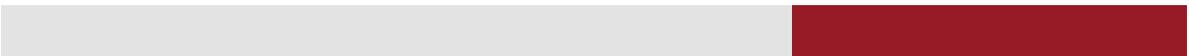
5.10 As previously noted, number 31 Darton Road has undergone various late C20 extensions, the extent of which are clearly demonstrated in Figures 6 and 7.



*Figure 6 1948 Ordnance Survey Map showing the extent of 31-33 Darton Road*



*Figure 7 Historic England map showing extent of extension and conservatory*



5.11 As shown in Figure 8, this extension forms a sizeable addition to 31 Darton Road, with its design endeavouring to compliment the Listed Building through the use of similar materials and features such as quoins.



*Figure 8: Google Street View Image showing the extension to 31 Darton Road*

5.12 The later C20 additions to the buildings are recognised not to be of special interest as they do not form part of the original fabric of the building. It is set out here that the significance of the C17 dwelling has been impacted as a result of these later additions, with the rear gable extension of 31 Darton Road specifically abutting onto the outshut roof, which is assumed from site inspection to have run the continuous length of the rear of the properties prior to these alterations.

5.13 The site is also located within the Cawthorne Conservation Area, with the Conservation Area Appraisal highlighting the Grade II listed status of 33 Darton Road in 'Plate 35' and stating in terms of its location that:

*'The historic development of the conservation area has concentrated along the main routes of Darton Road, Church Street, Hill Top, Taylor Hill, and Tivy Dale. Development along Darton Road, Taylor Hill, and*

*the south side of Hill Top is particularly tightly grained, often against the pavement and in separately developed plots within terraces'*

- 5.14 On materials it states that the area is strongly characterised by the use of local sandstone for walling and roofs. It is also set out that both stone and slate roofs are evident, with the latter likely a replacement covering on older buildings.
- 5.15 Furthermore, the conservation area is characterised by mostly robust, simple architectural forms. Here, most buildings have pitched roofs, with windows ranging from some surviving Yorkshire sliding sashes, casements within stone mullions, 8 over 8, 6 over 6, and 2 over 2 sash windows, and leaded casements. Historic doors include planked and studded doors, planked, and panelled doors. However, it is important to note that many historic doors and windows have been replaced.
- 5.16 Policy D4 of the conservation Area Guidance states that *'New development and extensions to existing buildings shall be of a scale and design that reinforces the historic character and appearance of the conservation area.'*

#### Assessment of Impact on the Listed Building and Conservation Area

- 5.17 The proposals for the rear extension relate to a Grade II listed dwelling within a conservation area and therefore need to be assessed according to their impact.
- 5.18 With respect to the impact to the Listed Building, the proposed extension to the rear of the dwelling has been designed to match the adjacent building line of 31 Darton Road. This previous development is an important consideration when assessing the impact of these proposals on the Listed Building, because 31 Darton Road is the adjoining semi-detached dwelling to the west of the application site, and forms part of the Grade II listing as previously discussed. The sizeable extension of 31 Darton Road is surmised to be a late C20 addition but not of special interest in the Listing.
- 5.19 Whilst this is apparent, it is clear through the listing of the site itself, that the historic significance of the buildings has not been negated through its evolution and demonstrates that the historic context of the site can be maintained with further additions. The size of the late C20 additions at 31 Darton Road as a

result, provide indication that a smaller extension could also be acceptable, if appropriate consideration to the historic context is given.

- 5.20** It is recognised that the proposed extension would impact the historic fabric of the building, primarily regarding the roof and rear elevation of 33 Darton Road, of which the former is addressed in the Listing description. However, the rear extension has been sensitively designed to be a similar, simple architectural form in line with the existing character of the dwelling, to ensure that it integrates and compliments the form of the host dwelling.
- 5.21** Crucially, the proposals have also taken design cues from the adjacent extension in terms of its scale, form, massing and materials to improve the overall coherence of the rear of the dwellings.
- 5.22** It is further recognised that the proposed extension would be sited at the rear of the property and by virtue of the proposed ridge height, would be hidden from view from the principal elevation of the building, that being the southern elevation facing onto Darton Road. In this respect, the level of impact to the listed building would be reduced, due to its location on the less visible elevation.
- 5.23** Internally, it is understood from the listing, that the original layout has been lost and is likely of a lesser significance. Therefore, the internal alterations required to facilitate the extension are not assessed to be harmful to the historic character of the dwelling. Similarly, the proposed materials intend to match the existing to preserve the historic character appearance of the dwelling and reduce the overall visual impact on the listed building and its setting.
- 5.24** In terms of the impact on the conservation area, it is understood that due to the arrangement of dwellings along Darton Road, the rear roof slope would be visible from the public footpath on Darton Road when on approach to the site from the east and thus would have a degree of visual impact. However, to mitigate this, the proposals intend to locate the extension close to 31 Darton Road and use the existing form of the dwelling to screen the extension from Darton Road. The extension will mirror the appearance of the neighbouring extension in terms of its appearance, scale and design, adopting use of a simple architectural form, and like for like materials to the host dwelling to ensure the extension is sensitive to the historic context. This would ensure that the extension integrates well into the historic setting of the site, both in terms of its listing and location within the conservation area.

5.25 It is viewed overall that the proposals would have minimal negative impact on the Listed Building and a negligible impact on the conservation area and would therefore result in less than substantial harm.

## 6 Key Planning Issues

### Principle of Development

- 6.1 Householder extensions are generally accepted in principle in residential locations, with the Council providing an SPD on house extensions to provide design guidance on what is deemed acceptable. In this respect, the proposals have accounted for the following guidance on scale:

*'Two-storey rear extensions to semi-detached houses should, therefore, generally be designed with a rear projection of less than 3.5 metres and for terraced houses 2.5 metres. Larger extensions may be acceptable in certain circumstances -for instance: where the neighbouring house has been extended'*

- 6.2 Here, it is asserted that a large two storey extension at the neighbouring property has been used to guide the acceptable scale of development at the rear of this property, with appropriate consideration given to the building line to ensure there are no adverse impacts on neighbouring amenity, which is further set out below.

- 6.3 The proposed development is therefore deemed acceptable in principle.

### Heritage

- 6.4 As set out in the above assessment of the site, whilst minimal negative impact is proposed by virtue of the siting and design of the extension and the evolution of the dwelling overall, the development would cause less than substantial harm on the Listed Building and a negligible impact on the conservation area.

- 6.5 In this regard, it is acknowledged that the scheme demonstrates some public benefit, as it would bring the building up to a standard which is conducive to 21<sup>st</sup> century living standards. This would secure the continued optimum viable use of the dwelling and thus ensure that the historic character of the building is maintained into the future. Considering its historic value within Cawthorne, this public benefit is assessed to outweigh the proposed harm, which overall facilitates the delivery of these proposals in policy terms.

- 6.6 The proposals overall accord with Policy HE1 and HE3 of the Local Plan and Policy C7 of the Neighbourhood Plan.

#### Design and Amenity

- 6.7 The proposed development takes a considered approach to design, with the proposals using the precedent of the adjacent extension to facilitate a sensitive scheme in terms of scale and massing. In this respect, the proposed extension utilises the building line of 31 Darton Road's rear extension to create a logical and well-integrated built form. The proposed materials are to match the existing stonework and roof materials to further ensure a complimentary and sensitive design to the existing historic character of the built form is achieved.
- 6.8 Due to the positioning of the adjacent extension, the proposed works would not impact negatively on neighbouring amenity, as the layout of neighbouring property negates the loss of privacy, outlook and potential overshadowing. In this respect, it is set out that the proposals would regularise the massing at the rear of the properties create a more uniform built form.
- 6.9 The proposals therefore accord with Policy D1 of the Local Plan.

#### Biodiversity Net Gain (BNG)

- 6.10 The proposed development is submitted as a householder application and is therefore exempt from the statutory BNG requirement.

## 7 Conclusions

- 7.1 The proposed development relates to the erection of a two-storey extension at the rear of 33 Darton Road, Cawthorne.
- 7.2 The proposed development, as evidenced in this Planning Statement, has accounted for the historic character of the site. The Listing site – 31-33 Darton Road - is of C17 origins with clear evidence of later C20 additions at the no. 31.
- 7.3 The proposals therefore demonstrate a sensitive approach to design, adopting like for like materials to that of the historic character of 33 Darton Road, with fenestration details also taking design cues from the Listed Building and the surrounding Conservation Area.
- 7.4 It is viewed overall that by virtue of the scale, form and use of materials, when evaluated against the evolution of the buildings and the proposed public benefit, that an acceptable approach to the Listed Building and Conservation Area is presented.
- 7.5 Further consideration has been afforded to design and amenity, which ensures that the scale of proposed development would not impact negatively on neighbouring amenity.
- 7.6 The proposals are therefore in line with the relevant local and national policies and it is politely requested that the application is approved.





**Planning & Design Practice Ltd**

[www.planningdesign.co.uk](http://www.planningdesign.co.uk)  
[info@planningdesign.co.uk](mailto:info@planningdesign.co.uk)  
Tel: 01332 347371

**Derby**

3 Woburn House  
Vernon Gate  
Derby  
Derbyshire  
DE1 1UL

**Matlock**

Cromford Creative  
Cromford Mills  
Mill Lane, Cromford  
Matlock  
DE4 3RQ

**Macclesfield**

Waters Green House  
Waters Green  
Macclesfield  
Cheshire  
SK11 6LF

**Sheffield**

4 Westbrook Court,  
Sharrow Vale Road,  
Sharrow,  
Sheffield,  
S11 8YZ