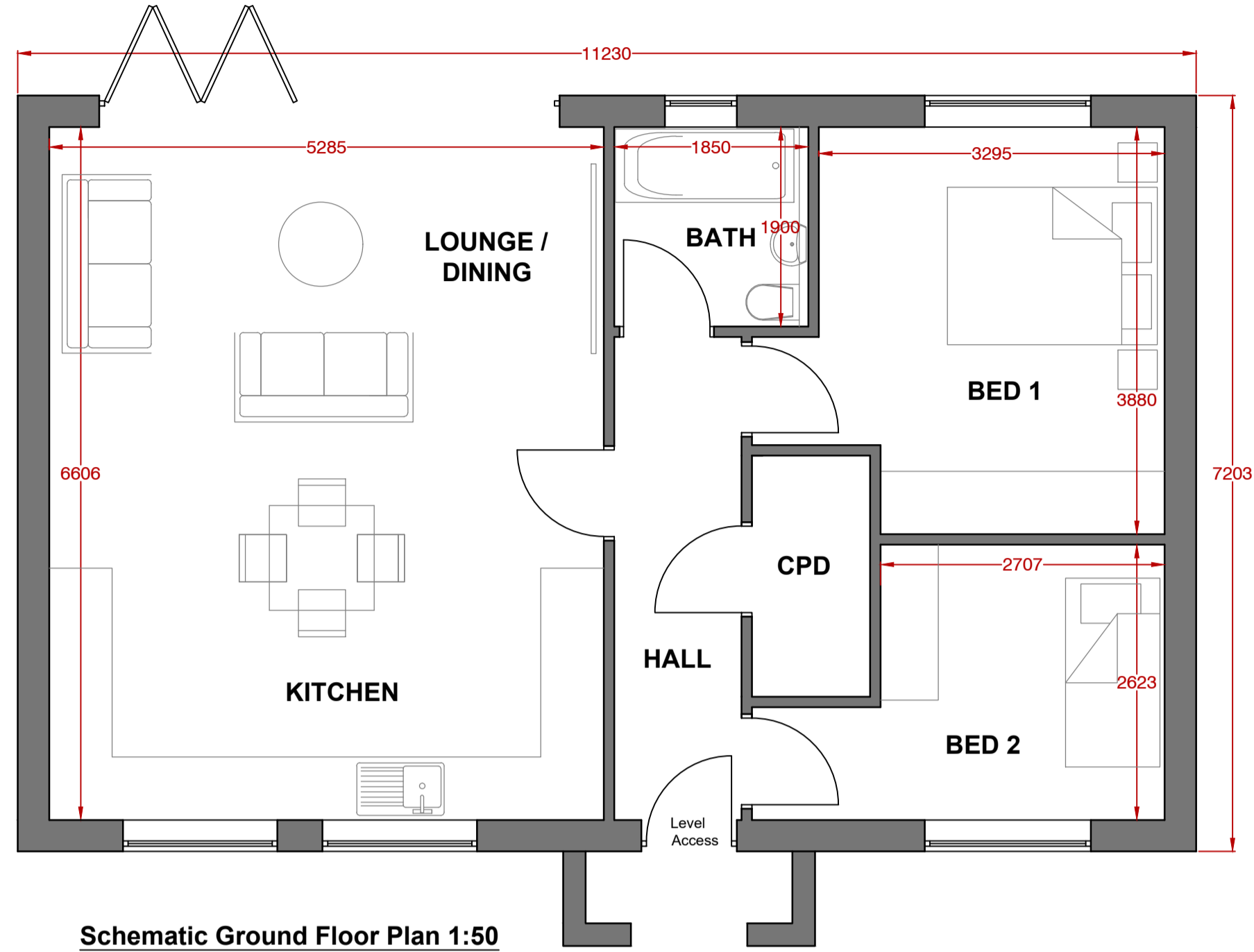


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Schematic Ground Floor Plan 1:50

House Type Schedule:

- PLOT 1 - 2 Bed semi-detached bungalow 59.2 m² / 637.22 ft²
- PLOT 2 - 2 Bed semi-detached bungalow 59.2 m² / 637.22 ft²
- PLOT 3 - 2 Bed detached bungalow 70.18 / 755.41 ft²
- PLOT 4 - 2 Bed detached bungalow 70.18 / 755.41 ft²

Private Driveway:

- Private driveway to be 4m wide minimum
- Carriageway to be finished in tarmacadam with charcoal colour kerb edging to either side
- Driveways to individual dwellings to be finished in block paving (colour TBA)

Boundary Treatments:

- 1.8m high vertical timber boarded fence

Landscaping:

- All front and rear garden areas to be turfed. Select individual low level shrubs to be planted to each garden.

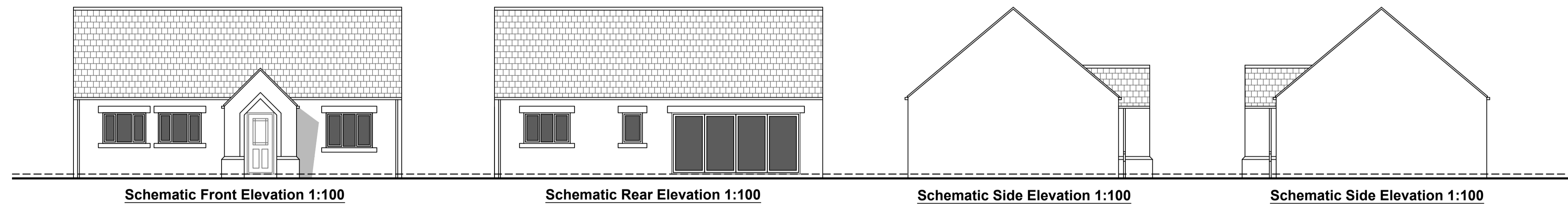
External Materials:

- External walls to be course grit sandstone to match traditional walling to Monk Bretton Priory. Final specification TBC
- New roof covering to be good quality artificial riven slates with matching ridges bed in mortar
- Pointing to external walls to be recessed 2 to 3mm to gently concave (not strap pointed)
- Gutters to be ogee profile on rise and fall brackets with circular fall pipes. All rainwater goods to be black
- Windows, doors and frames to be mounted 75mm into the reveal and finished in RAL 7016 (anthracite)

Rooflights to be Velux conservation grade.

Drainage:

- Foul water drainage is to discharge into the existing public foul sewers located in Abbey Lane
- Surface water drainage to discharge into new soakaway construction within private driveway as shown.



Schematic Front Elevation 1:100

Schematic Rear Elevation 1:100

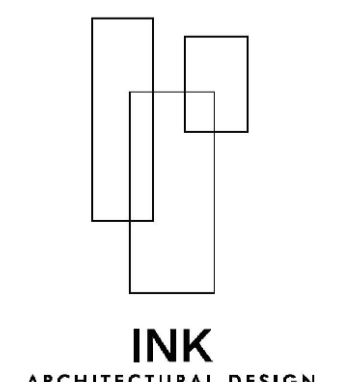
Schematic Side Elevation 1:100

Schematic Side Elevation 1:100

Project:	Proposed Residential Development Former Burton Grange Nursery Site Abbey Lane, Lundwood	
The Client:	A Shade Greener	
Drawing Title:	Schematic Proposals Plots 3 & 4	
Drawing No / Rev:	19012-005	Rev A
Drawing Scale & Date:	As Shown	May 2019

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PLANNING ISSUE

Rev	Note	Date
A	Amendment to provide 4no units in lieu of 5no	Aug 19