

# **Planning design and access statement**

**Change of use from Sui Generis (Patient  
Retrieval Centre consisting of 24hr call centre,  
training facility and internal parking) back to  
E(g) – Office, Research & Development and  
Light Industrial**

Prepared by Fisher German LLP on behalf of  
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<b>Date</b>	May 2025

Document Author	Version	Date	Approved by	Date
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# 1. Introduction

- 1.1. This Planning Statement has been submitted regarding a full planning application, which seeks to change the use of Unit 7 Capitol Business Park from Sui Generis (Patient Retrieval Centre consisting of 24hr call centre, training facility and internal parking) back to E(g) – Office, Research & Development and Light Industrial.
- 1.2. This application should be read alongside the following plans and documents:
  - Application Forms;
  - Location Plan;
  - Site Plan;
  - Existing Floor Plans;
  - Proposed Floor Plans; and
  - Existing Elevations (Drawing Number:).

## 2. Site and Surrounding Area

- 2.1. The site is located to the north of Dodworth on an existing employment site surrounded by employment uses.
- 2.2. The site can be accessed by a variety of methods, which allows for the ease of access to many of the nearby settlements. Dodworth train station is located 1km to the south west, and the nearest bus stops are located along Barnsley Road within 500m. The site is located in close proximity to J37 of the M1.

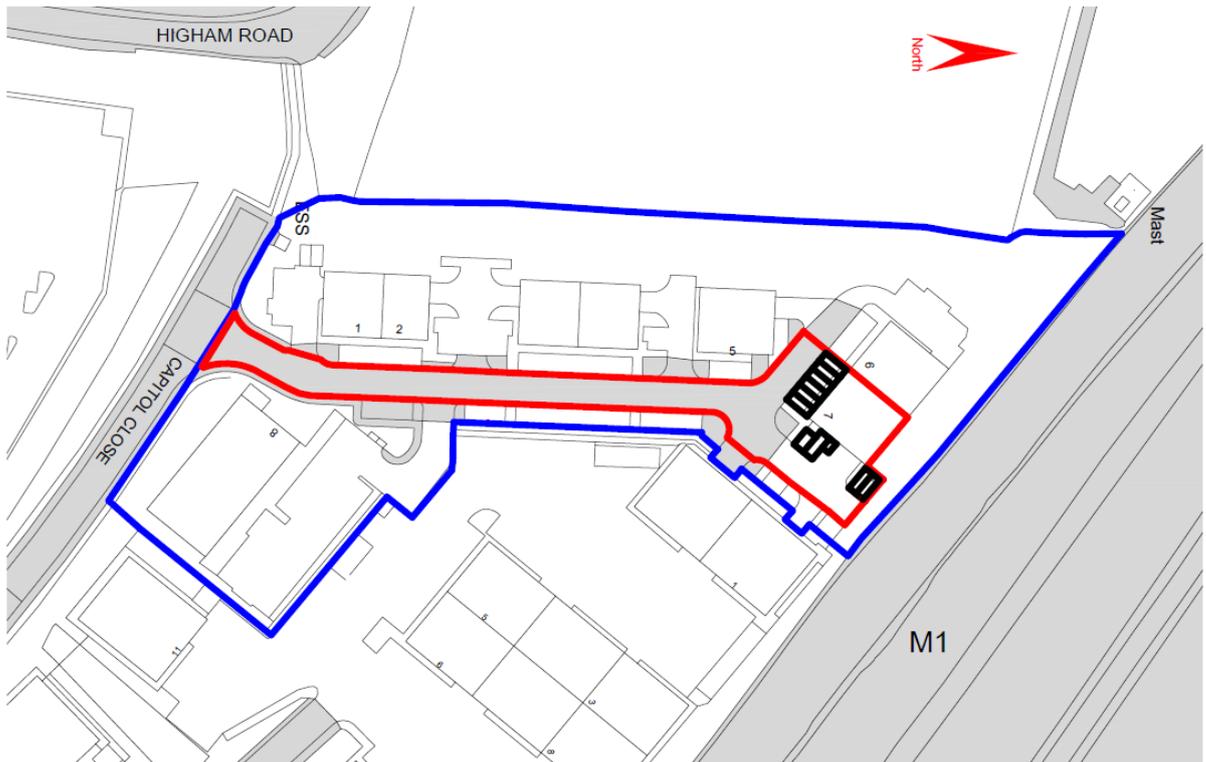


Figure 1: Location Plan

- 2.3. According to the flood map for planning, produced by Environmental Agency, (extracts presented in figures 2 & 3), the site is located within Flood Zone 1, meaning it is an area which has a low probability of flooding from rivers and the sea. It is also outside of areas at risk of surface water flooding.

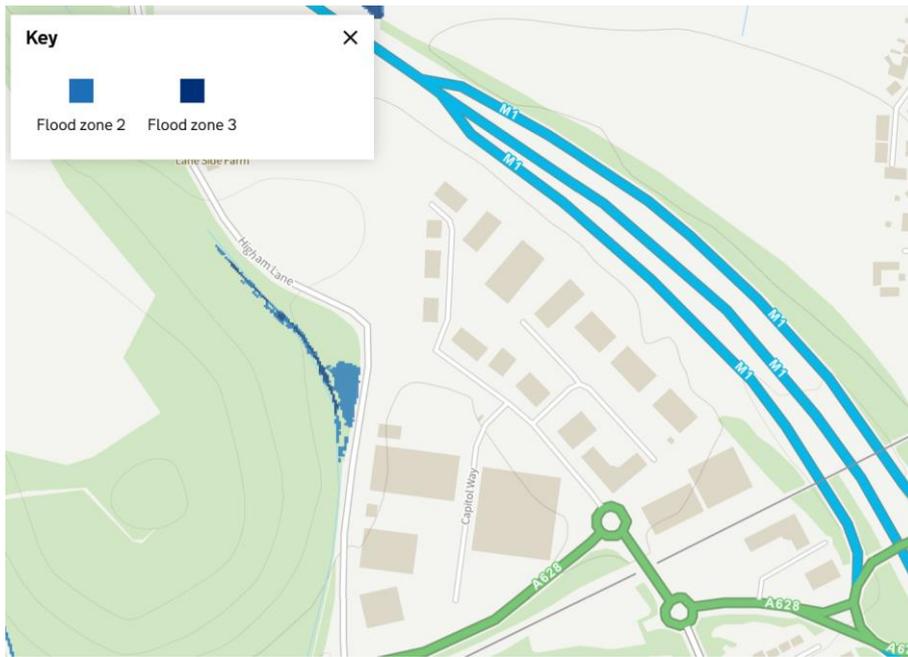


Figure 2: Flood Map and Key – Rivers and Sea

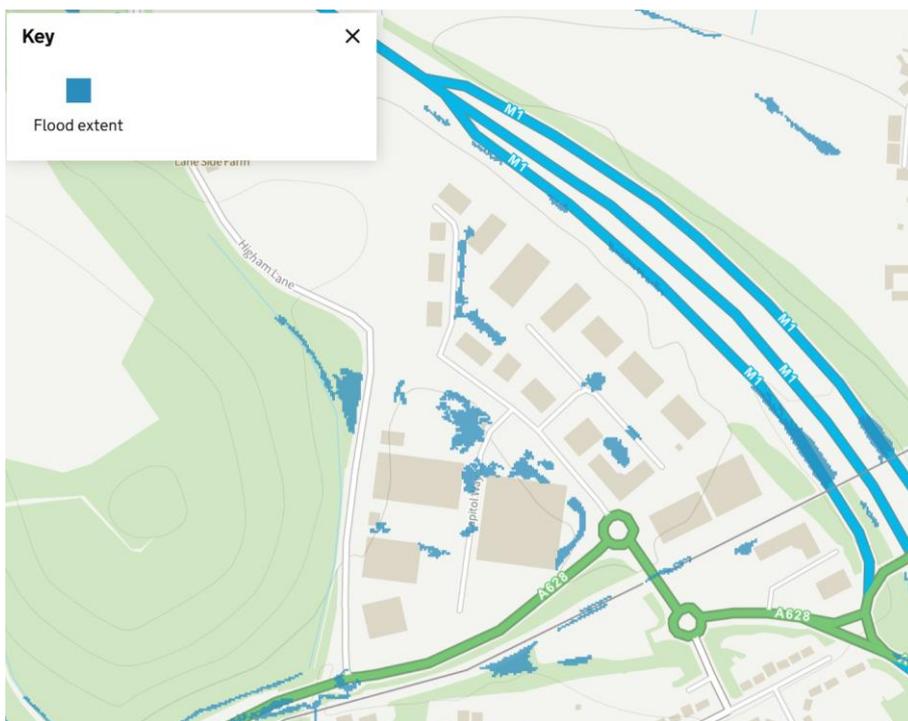


Figure 3: Flood Map and Key – Surface Water

## Planning History

2.4. The following planning history is relevant to the application site:

- B/04/1998/DO - Outline employment development proposal comprising Class B1, B2 & B8 Uses. Hotel, Park & Ride site and associated. work. With Environmental Impact Assessment – Approved 23/02/2005

- B/04/2272/DO - Phase 1 employment development site - Reserved Matters details. Erection of Class B1/B2 hi-tech units, spine road, landscaping and levelling. – Approved 11/01/2005
- 2005/1816 - Erection of class B1/B2 industrial units (Reserved Matters) – Approved 05/01/2006
- 2006/0334 - Variation of Condition No. 1 of planning consent B/04/1998/DO relating to expiration dates for the Reserved Matters application.- Approved 22/01/2007
- 2009/0852 - Use of existing unit into Patient Retrieval Centre consisting of 24hr call centre, training facility and internal parking – Approved 11/08/2009

2.5. The site currently benefits from permission reference 2009/0852 which relates to a sui generis use described as a Patient Retrieval Centre consisting of 24hr call centre, training facility and internal parking

### 3. The Development Proposal

#### Use and Amount

- 3.1. The proposal does not alter the amount of floorspace associated with the building. The use will change to E(g) which includes Offices, Research and Development alongside Light Industrial which is comparable with the existing layout of the building without major alteration.

#### Layout, Appearance and Landscaping

- 3.2. There are no external alterations proposed. The internal alterations proposed are very minor involving sections of partition wall being removed, which would otherwise not comprise development.
- 3.3. There are no changes to any existing landscaping on site.

#### Access

- 3.4. There are no changes to the existing access and parking arrangements.

## 4. Planning Policy

- 4.1. The Planning and Compulsory Purchase Act 2004 requires applications for planning permission to be determined in accordance with the Development Plan unless material considerations indicate otherwise. In addition, the government policy, principally the National Planning Policy Framework was published in December 2024 (the framework) is material to the determination of planning applications.
- 4.2. This application should also be determined against the Barnsley Local Plan ('LP1'), which was adopted in 2019, setting out the Council's strategy for the delivery of new homes, jobs, and infrastructure.

### Barnsley Local Plan (2019) 'LP1'

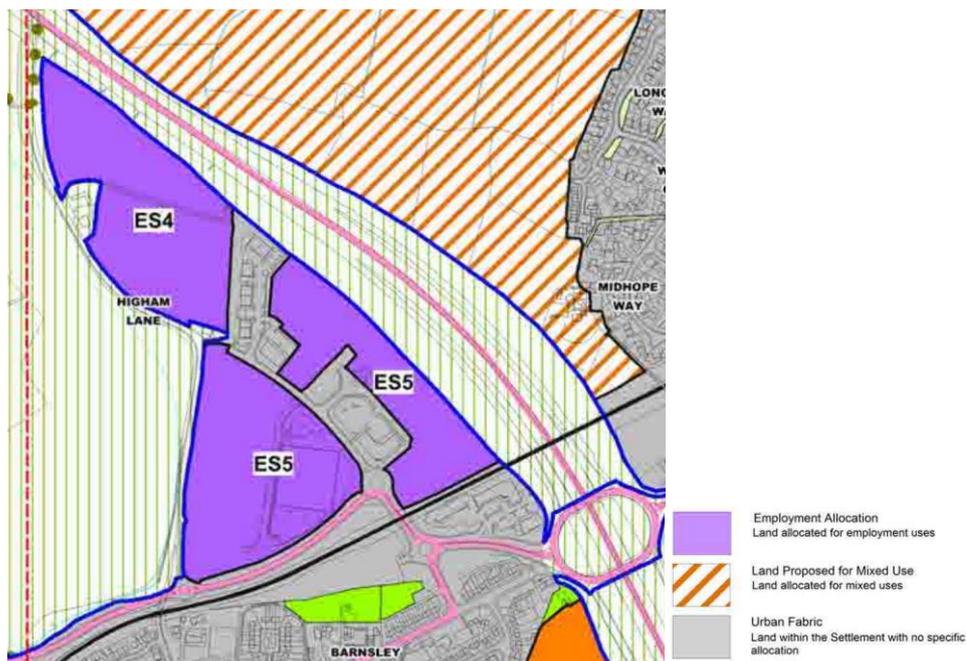


Figure 2 Proposed Floorplans

### *Policy SD1 Presumption in favour of Sustainable Development*

- 4.3. When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. We will work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

### *Policy GD1 General Development*

- 4.4. Proposals for development will be approved if:
  - There will be no significant adverse effect on the living conditions and residential amenity of existing and future residents;
  - They are compatible with neighbouring land and will not significantly prejudice the current or future use of the neighbouring land;

They will not adversely affect the potential development of a wider area of land which could otherwise be available for development and safeguards access to adjacent land;

They include landscaping to provide a high quality setting for buildings, incorporating existing landscape features and ensuring that plant species and the way they are planted, hard surfaces, boundary treatments and other features appropriately reflect, protect and improve the character of the local landscape;

Any adverse impact on the environment, natural resources, waste and pollution is minimised and mitigated;

Adequate access and internal road layouts are provided to allow the complete development of the entire site for residential purposes, and to provide appropriate vehicular and pedestrian links throughout the site and into adjacent areas;

Any drains, culverts and other surface water bodies that may cross the site are considered;

Appropriate landscaped boundaries are provided where sites are adjacent to open countryside;

Any pylons are considered in the layout; and

Existing trees that are to remain on site are considered in the layout in order to avoid overshadowing.

#### *Policy E3 Uses on employment land*

4.5. On allocated Employment Sites, or land currently or last used for employment purposes, we will allow the following uses:

1. Research and development, and light industry;
2. General industrial; or
3. Storage or distribution.

Ancillary uses will be allowed where appropriate in scale.

Proposals for other employment generating uses may be considered on their merits, particularly in terms of providing jobs, skills and their contribution to the borough's GVA.

#### *Policy T3 New Development and Sustainable Travel*

4.6. New development will be expected to:

Be located and designed to reduce the need to travel, be accessible to public transport and meet the needs of pedestrians and cyclists;

Provide at least the minimum levels of parking for cycles, motorbikes, scooters, mopeds and disabled people set out in the relevant Supplementary Planning Document;

Provide a transport statement or assessment in line with guidance set out in the National Planning Policy Framework and guidance including where appropriate regard for cross boundary local authority impacts; and

Provide a travel plan statement or a travel plan in accordance with guidance set out in the National Planning Policy Framework including where appropriate regard for cross boundary local authority impacts. Travel plans will be secured through a planning obligation or a planning condition.

Where levels of accessibility through public transport, cycling and walking are unacceptable, we will expect developers to take action or make financial contributions in accordance with policy I1.

If it is not possible or appropriate for the minimum amount of parking for cycles, motorbikes, scooters and mopeds to be met on site, the developer must provide, or contribute towards, off-site parking, or improve or provide other forms of travel.

#### Barnsley Parking SPD (2019)

Use	Urban Barnsley	Borough wide (excluding Urban Barnsley)	Threshold above which standard applies*
<b>B1 Business</b>			
Business (including offices)	1 space per 30-60 m <sup>2</sup>	1 space per 30 m <sup>2</sup>	2500 m <sup>2</sup>
Business (including offices)	1 space per 30 m <sup>2</sup> gross floor area	1 space per 30 m <sup>2</sup> gross floor area	All development below 2500 m <sup>2</sup>

#### National Planning Policy Framework (2024)

- 4.7. National policy is set out in the NPPF which was updated in December 2024. This framework seeks to ensure sustainable forms of development and good design, alongside the protection and enhancement of the environment.
- 4.8. *Paragraph 8* states the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways. The first of these is an economic objective, to help build a strong, responsive and competitive economy by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and co-ordinating the provision of infrastructure.
- 4.9. *Paragraph 11* states there should be a presumption in favour of sustainable development. Local plans should positively seek opportunities to meet the development needs of their area and development proposals which accord with and up-to-date development plan should be approved without delay. Where there are no relevant development plan policies, or the policies are out-of-date, permission should be granted unless policies in the Framework that protect areas or assets of particular importance prove a clear reason for refusing the proposed development, or the adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.
- 4.10. *Paragraph 87* refers to building a strong and competitive economy by recognising and addressing the specific locational requirements of different sectors. This includes making provision for clusters or networks of knowledge and data-driven, creative or high technology industries, and for storage and distribution operations at a variety of scales and in suitably accessible locations.
- 4.11. *Paragraph 93* advises that the sequential approach for main town centre uses should not be applied to small scale offices.
- 4.12. *Paragraph 135* states that plans should ensure that developments will function well and add to the overall quality of the area over the lifetime of the development, are visually attractive and sympathetic to local character, establish or maintain a strong sense of place in terms of the arrangements of streets, spaces, welcoming places to work, and optimise the potential of the site.

## 5. Planning Policy Assessment

### Principle of Development

- 5.1. The proposal involves returning Unit 7 back to a traditional employment use within an existing business park. The following key policies therefore are relevant:
  - Policy SD1 Presumption in favour of Sustainable Development
  - Policy GD1 General Development
  - Policy E3 Uses on Employment Land; and
  - Policy T3 New Development and Sustainable Travel
- 5.2. Policy SD1 confirms that a positive approach will be taken in favour of sustainable development. Policy GD1 requires development to ensure it will not result in unacceptable impacts. Policy E3 supports traditional employment uses on Employment Land but in a footnote highlights that offices are main town centre uses. Policy T3 requires minimum parking standards to be met.
- 5.3. The planning history is also relevant which confirms that prior to the use of the building as a patient retrieval Centre consisting of 24hr call centre, training facility and internal parking the lawful use of the building was B1, now E(g).
- 5.4. The proposal does not involve any external alterations and only very minor internal changes, which would otherwise not constitute development to revert it back to its previous use.
- 5.5. Policy E2 supports R&D alongside light industrial uses within existing employment areas. The proposal does include an area of office space although this is modest and limited to the first floor as shown on the floor plans submitted. Paragraph 93 also advises that the sequential approach for main town centre uses should not be applied to small scale offices. Furthermore, the previous use of the building for the purpose of B1 is also a compelling material consideration demonstrating that the use of the building as E(g) including offices is acceptable.
- 5.6. The site benefits from 16 allocated parking spaces. Cycle and waste storage will remain as existing. The demand for parking is no greater than the current sui generis use and was considered acceptable when the permissions for the construction of the building for its original B1 were granted therefore the change back to the original use of the building is considered acceptable in terms of parking.
- 5.7. In light of the above, the development is considered to be acceptable.

## 6. Conclusion

- 6.1. This statement has demonstrated that, when considering local and national planning policy, the return of Unit 7 to use class E(g) is acceptable. There are no material considerations which would render the proposal unacceptable in planning terms. It is therefore respectfully requested that the application is viewed favourably and approved without delay.