

PV zone shown indicative only, refer to planning notes



Front Elevation.

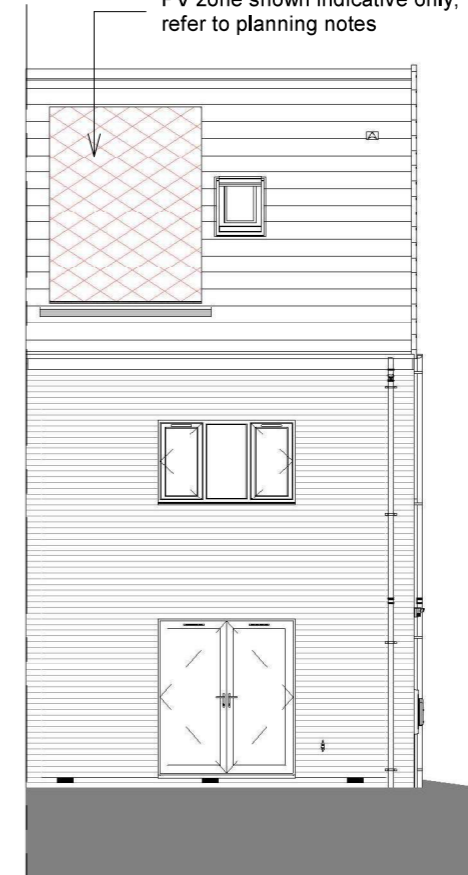
1 : 100



Left Elevation.

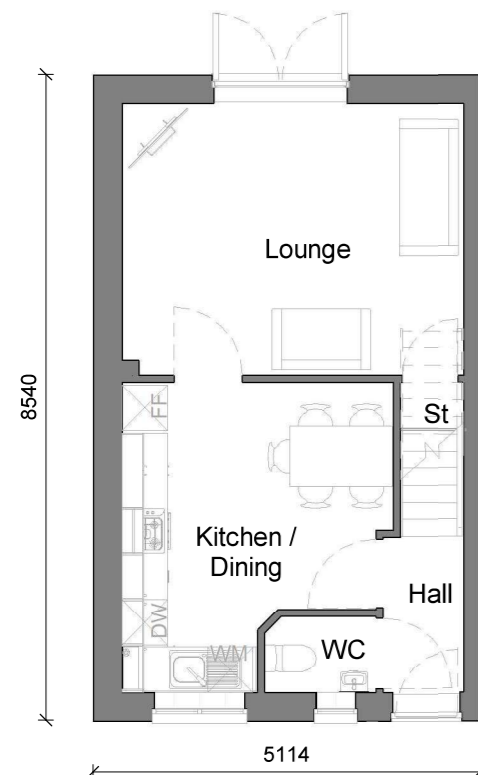
1 : 100

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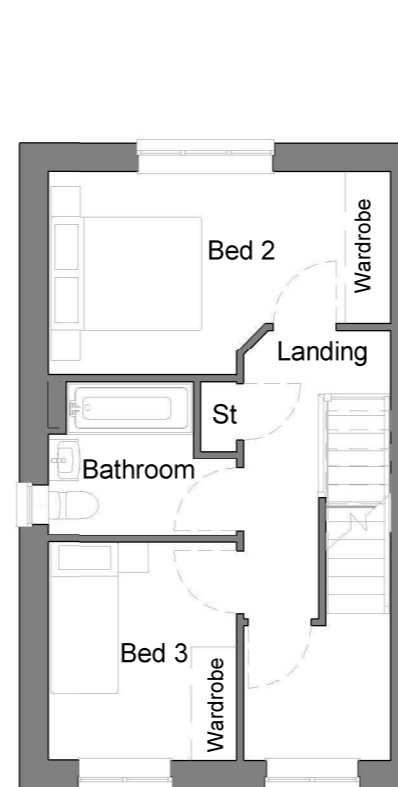
Rear Elevation.

1 : 100



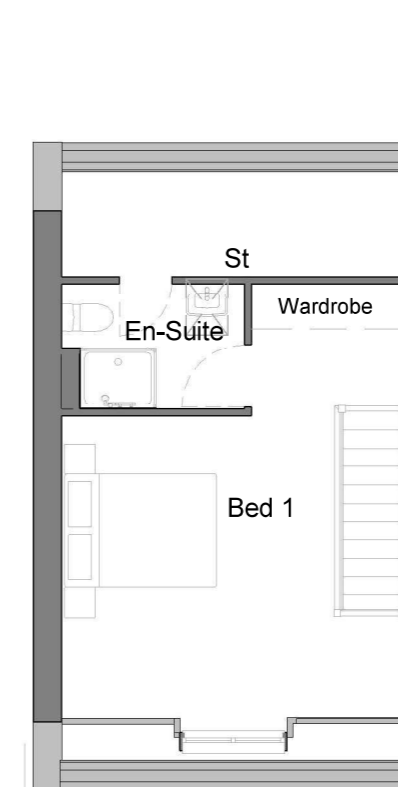
Ground Floor.

1 : 100



First Floor.

1 : 100



Second Floor.

1 : 100

### Planning Sheet Notes:

Type and style of roof tiles and facing materials including external features such as canopies, cills, heads, fascia, windows, PV and doors as site specification and to Local Authority Approval and are **SHOWN INDICATIVE ONLY ON THIS PLAN**

PV zone illustrated to multiple roof faces to indicate a possible final location, for the purposes of planning only. May vary by plot (dependant on optimum orientation / roof facing) and not be consistent for each plot & housetype

- Final orientation / roof facing (nb – this may be on one, or multiple roof faces) of PV panels to be confirmed following plot specific SAP assessment.
- Final layout & number of panels to be as per PV installer's design ensuring that minimum kWp (as established by SAP assessment) is achieved.

Position of any EV charge point is indicative only, final position to suit parking configuration

#### Area Schedule - Sales


Name	Area	Area Sq Ft
Ground Floor GIA	35.31 m <sup>2</sup>	380.12 SF
First Floor GIA	35.31 m <sup>2</sup>	380.12 SF
Second Floor GIA	23.63 m <sup>2</sup>	254.30 SF
	94.26 m <sup>2</sup>	1014.55 SF

#### Area Schedule - Build

Name	Area	Area Sq Ft
Ground Floor Build	35.93 m <sup>2</sup>	386.78 SF
First Floor Build	35.93 m <sup>2</sup>	386.78 SF
Second Floor Build	26.73 m <sup>2</sup>	287.71 SF
	98.60 m <sup>2</sup>	1061.27 SF

**Part O** - This housetype will pass the simplified method if the site and elevations meets all of **CONDITIONS** shown on **Sheet 210**

*i.e., site location, no noise and pollution issues, number and size of windows and doors, number and size of opening lights, area of glazing, GIA floor area, presence of ground floor bedrooms, presence of flat roofs and roofs with a pitch of less than 30° (including bays and canopies) within 2m vertically of first floor bedrooms*



House Type Range		Sub Range	
2022 Range		OMS	
Scale at A3	Date	Drawn	Checked
As indicated	31.10.22	TechDev	SJK/RB
Pack Title			
The Bradshaw Working Drawing Pack			
Sheet Name			
Planning Drawings			
Cons Code	House Type Code	Plotting	Handing
	BRADSH	END	AS
Style	Issue		
BB	01.1		
Project Drawing Pack No.	Project	Pack No.	Rev
	Thurnscoe	1200	2
			Sheet
			201