
2024/0844

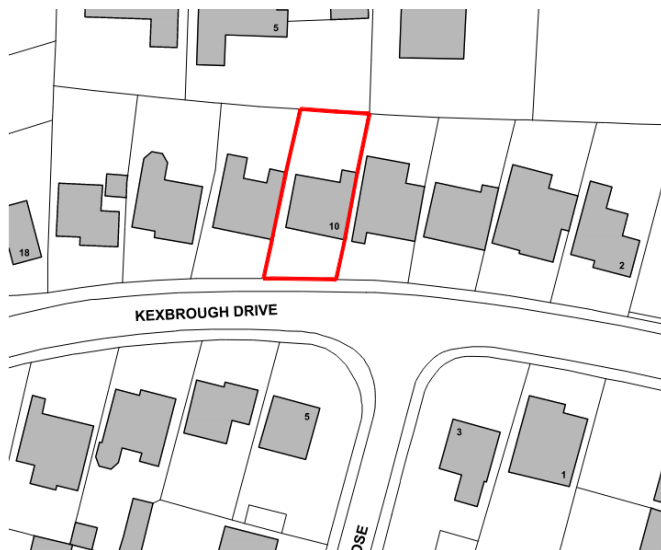
Applicant: Mr Ashley Cockhill

Address: 10 Kexbrough Drive, Kexbrough, Barnsley, S75 5EY

Description: 1st floor side extension (above existing single storey side extension), and single storey rear extension to 2 storey detached dwelling.

Site & Location Description:

Located in the residential settlement of Kexbrough, the red brick detached house, with a tiled side gable roof and attached garage is of a similar design to the immediate neighbouring dwellings. The remainder of the street scene is more varied with buff or red brick houses, and a couple of dormer bungalows. Most dwellings on the street have attached garages, some of which such as the applicants have been heightened or extended. Other dwellings within the street have had much more significant alterations and extensions.



Planning History:

- B/74/1977/DT - Historic Application B/74/1977/DT (details unknown)

Proposed:

The proposal is for further development of the existing attached side garage into a two-storey extension, with a garage (storage space) remaining on the ground floor. A modest sized single storey ground floor extension is also proposed on the rear elevation of the dwelling, which will infill the space between the existing garage/study which protrudes past the rear elevation, and the other side elevation.

Approximate Measurements:

All existing roof and eaves heights have been checked on the existing plans and remain broadly unaltered on the proposed plans except for amendments to incorporate the new roof.

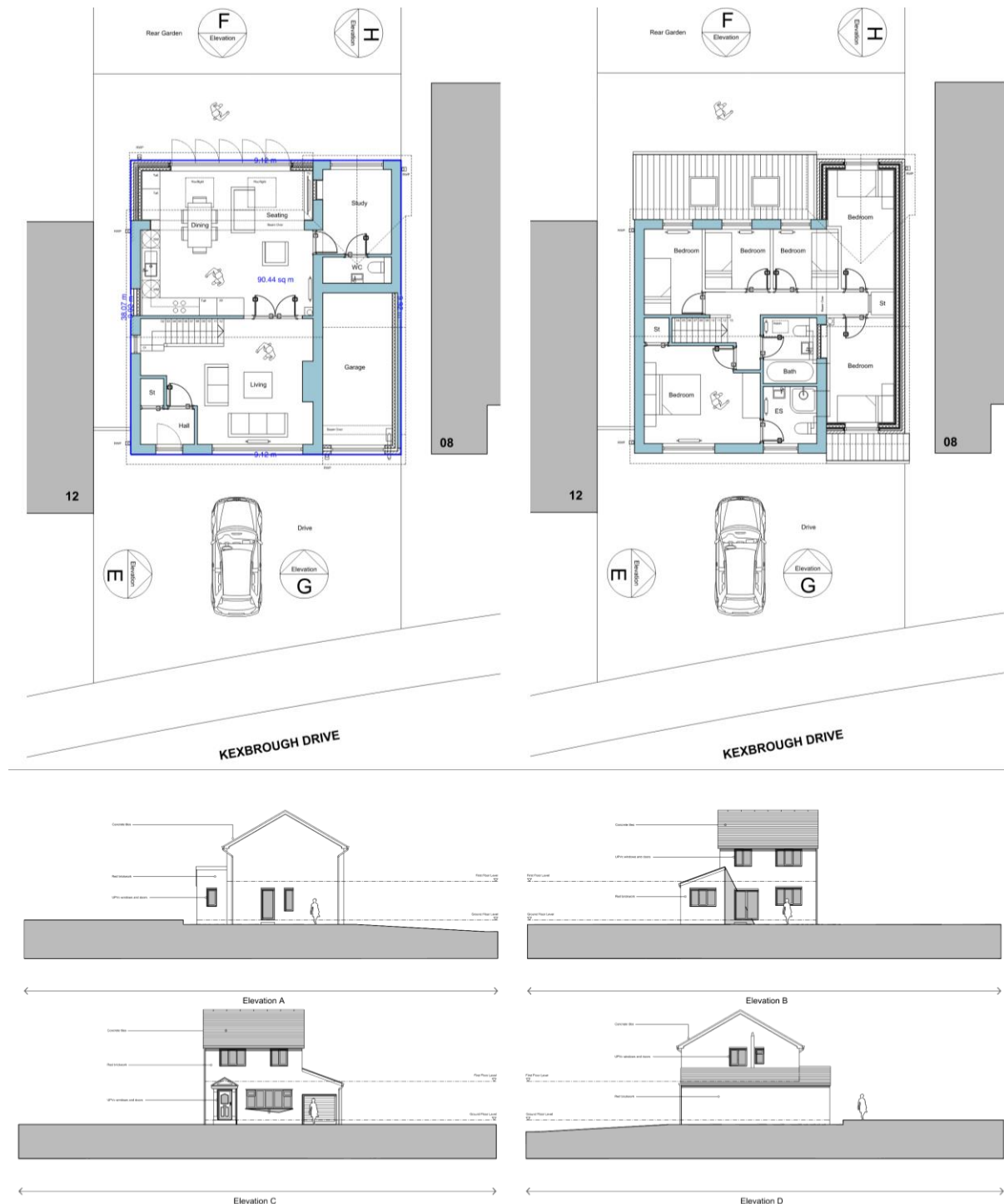
Proposed Side Extension

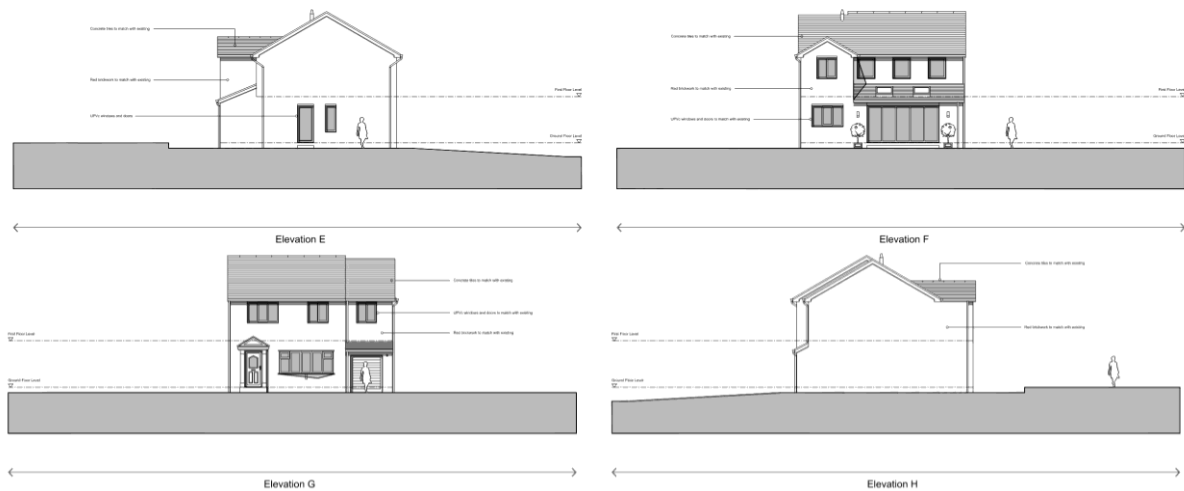
- **Side Projection: 2.64m** (as original)
House & Garage Width 9.22m (as original)
- **GF Length: 9.92m** (as original)
- **FF Length: 9.25m**
- **Eaves Height: 5.10m**
- **Roof height: 6.27m**

Proposed Rear Extension

- **Rear Projection: 2.04m**
House & Extension length 9.92m
- **Width: 6.15m**
Garage & Extension Width 9.22m
- **Eaves Height: 2.52m**
- **Roof height: 3.56m**

Existing and Proposed Floor Plans and Elevations





Local Plan Designation: Urban Fabric

Conservation Area: No

Neighbour Representations:

Letters were sent to nearby addresses; No comments were received.

Consultees: None

Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in

the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well-designed and beautiful places -

The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.

Within section 12, paragraph 139 is the most relevant which indicates:-

Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes. Conversely, significant weight should be given to:

- a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or
- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Local Plan

In reference to this application, the following Local Plan policies are relevant:

GD1 - General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents.

SD1 - Presumption in favour of Sustainable Development: When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework.

D1 - High Quality Design and Place Making: Development is expected to be of a high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

T4 - New Development & Highway Safety: New development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure and convenient access and movement.

Supplementary Planning Documents (SPD)

House Extensions and Other Domestic Extensions

Principle of development

The site is located within land designated as Urban Fabric. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

With the principle of a side structure already existing, especially with its heightened pitched roof, the proposed increase in height would only have a modest effect on the neighbouring dwelling, and minimal impact on any other neighbouring dwelling on the street. A potential issue is that the distance between the proposed first floor addition is that local policy requires a minimum of a 10m distance to the rear boundary of the dwelling, although the requirement for such extensions constructed under permitted development rights is only a minimum of 7 meters. In addition to this guidance, a minimum of 21m should be maintained between directly overlooking habitable room windows.

On this occasion the distance from the proposed first floor extension, which is a first floor to an existing ground floor structure is between 8.39m and 8.8m. A key intention of the 10m rule is to protect the privacy of neighbouring dwellings, particularly their rear gardens. Having checked the potentially affected area of the neighbouring garden, which may be overlooked by a single proposed first floor window, the amount (percentage), location, and distance from the main neighbouring dwelling would be of an insignificant impact. The neighbour's rear garden is at least 259sqm in size, of this vast area, an area of approximately of 32sqm or 12.5%, located in the far corner of the garden, behind the detached garage, and over 10m from the corner of the rear elevation of the dwelling, may potentially be overlooked by the proposed window. The other rear garden which may be negligibly overlooked is not a residential address. The distance from the indirectly overlooked rear windows of the neighbouring dwelling would be at least 21m whilst the distance to indirectly overlooked windows of the non-residential dwelling would be a minimum of 17m. Furthermore, the addition of 1no. Additional secondary bedroom window would not significantly increase overlooking compared with the current situation.

Due to the staggered nature of the houses on the street, the extension would extend 2.37m beyond the furthest elevation, an extension, of the neighbouring dwelling of No.12. This distance is actually more than the size of the actual extension which is only 2.04m, and far less than an up to 4m extension which may have been completed through permitted development rights. Therefore, the impact on the neighbouring dwelling whilst not ideal would equally not be of significant detriment to merit a refusal. The impact on No.8 would be marginal, and largely would just have the impact of the height increase, but with no side windows on the neighbour's dwelling, the impact would be very modest.

Visual Amenity

To comply with local policy, a step down of the roof and a setback of the first floor have been included in revised plans. There are some other examples of similar extensions within the area, some without the required setback or step down. With subordination demonstrated, the potential terracing effect has been reduced but not completely eradicated. A smaller garage door replaces the current door, reducing the viability of the garage for a vehicle but maintaining a garage door, which are quite prominent within the street scene. The addition of a front canopy, along with the use of matching materials and a similar style roof, help integrate the proposal into the existing character of the dwelling and position within the street scene.

The rear extension is of a very modest size, infilling and squaring off the rear elevation. There would be no negative impact on neighbours, and the extension would be unlikely to be seen from the street.

For the reasons outlined above, visual amenity would be maintained in accordance with Local Plan Policy D1.

Highway Safety

The garage door has been slightly reduced in size, which may inhibit use of the garage for larger vehicles. Other access and parking provisions are unaffected, including the block paved front garden which provides sufficient space for at least two vehicles. As such, there would be no impact upon highway safety.

Recommendation: Approve with conditions