
2021/0549

Mark Barton

Upgrade and alterations to existing farmhouse including demolition of conservatory, erection of two storey side extension, single storey rear extension and front porch. Conversion of adjacent barn and workshop structure for residential use and conversion of slaughter house for ancillary residential use

Trunce Farm, Green Moor Road, Green Moor, Sheffield, S35 7DQ

Background

00/0716 – Conversion of cow house to 2no dwellings - Approved with conditions (Not implemented)

Description

Trunce Farm is located within the open Green Belt countryside between Green Moor Road and Old Mill Lane. Trunce Farm consists of the existing stone built farmhouse, barn, workshop, slaughterhouse, car port, stables and tractor store. The existing outbuildings form a boundary around the existing farmyard and a small garden associated with the main house. The existing farmhouse has an existing front porch extension and a conservatory which will be removed as part of this planning application.

The large barn appears to be in a good overall condition, capable of conversion without substantial alterations. The attached workshop link requires further work as there is extensive bowing and cracking to the walls and works are required to make good. The slaughterhouse is in a good overall condition for a barn of its age and will require a new roof as part of the works.

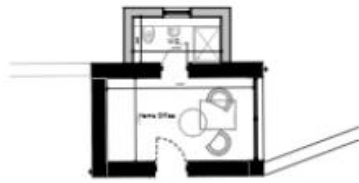




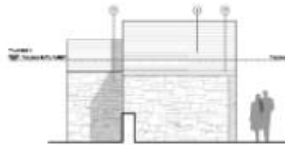
Proposed Development

The proposals involve the upgrade and alterations to existing farmhouse including demolition of conservatory, erection of two storey side extension to the eastern elevation of the farmhouse (where the current conservatory is located), single storey rear extension to the north elevation with balcony above and a new front porch. Solar panels are proposed to the front elevation of the farmhouse and the new two storey extension.

The works also include the conversion of adjacent barn and workshop structure for residential use, attached to the existing farmhouse. The works involve a new mezzanine structure to the barn and a new natural slate roof. A single storey extension is proposed to the north elevation of the workshop and a first floor mezzanine to the southern edge. The proposed works are to form one large dwelling. The proposal also includes the conversion of slaughter house with a new natural slate roof, to be used for an ancillary residential use of a home office.



Outbuilding Ground Floor Plan



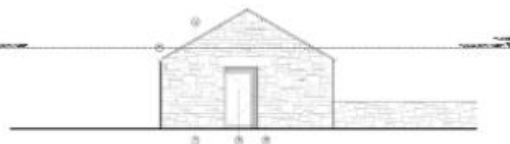
Proposed Elevation 01



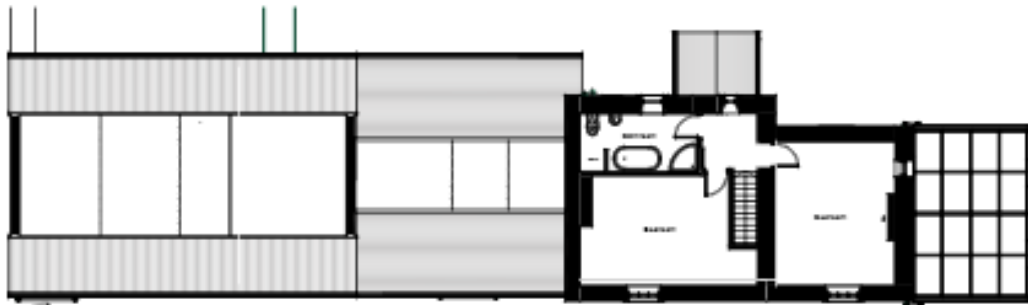
Proposed Elevation 02



Proposed Elevation 03



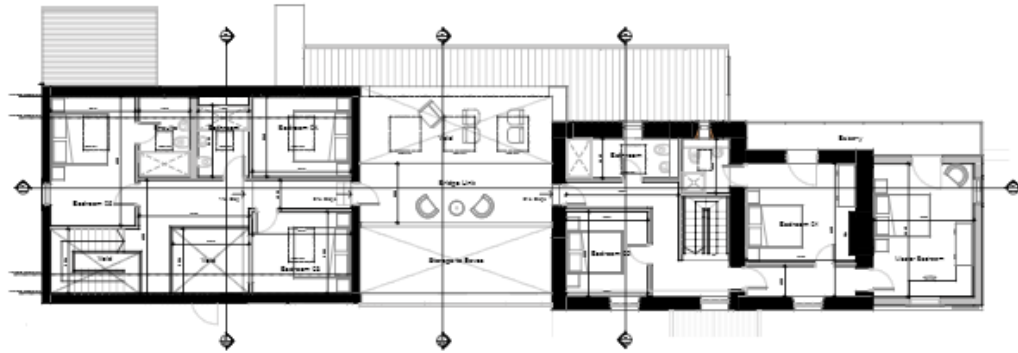
Proposed Elevation 04



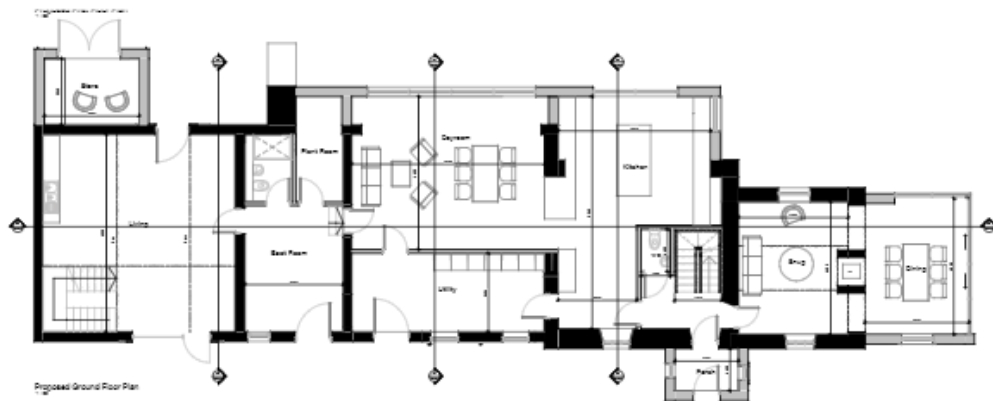
Existing First Floor Plan



Existing Ground Floor Plan



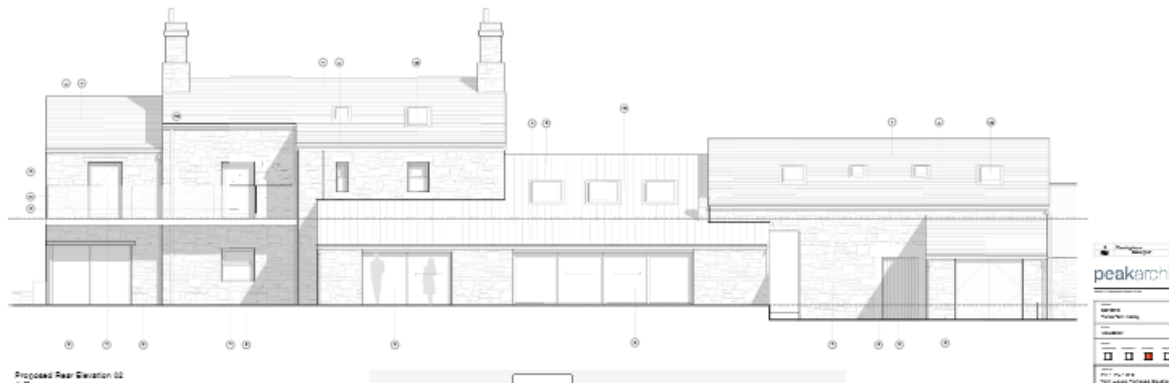
Proposed First Floor Plan



Proposed Ground Floor Plan



Proposed Front Elevation 01



Proposed Rear Elevation 02

Policy Context

Planning decision should be made in accordance with the development plan unless material

considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The new Local Plan was adopted at the full Council meeting held 3rd January 2019 after it was found to be sound by the appointed Planning Inspector following the examination process.

Local Plan Policies

The site is in the Green Belt as shown on the adopted Local Plan, where Local Plan Policy GB1 protects land from development in accordance with national green belt policy.

Policy GB2 allows for the replacement, extension and alterations of existing buildings in the green belt.

Policy GB3 allows for changes of use to buildings in the Green Belt.

D1 High Quality Design and Place Making

Supplementary Planning Documents

- Barn Conversions
- House Extensions and Other Domestic Alterations

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Consultations

Hunshelf Parish Council – No observations

Highways – No comments received

Drainage – No objections details to be checked by Building Control

Conservation – No objections, the proposal was subject to pre-app and changes have been made in response to this

Pollution Control – No objections

Yorkshire Water – No comments received

Biodiversity Officer – No objection subject to condition – sensitive lighting

Representations

None

Assessment

Material Consideration

Principle of development
Residential Amenity
Visual Amenity
Impact on Wildlife
Highway Safety

Principle of development

The proposal involves the change of use of the existing barns at Trunce Farm to form additional accommodation to the existing farmhouse; the removal of the existing porch and conservatory and erection of a two storey side and porch extension to the farm house. A single storey rear extension is also proposed which runs along the rear of the farmhouse and the existing workshop building with a balcony above. The proposal also involves the conversion of the small slaughterhouse building into a home office, with a small wc extension.

The site is in the Green Belt as allocated on the adopted Barnsley Local Plan where inappropriate development is, by definition, harmful and should not be allowed except in very special circumstances. Local Plan Policy GB3 does, however, allow for changes of use to existing buildings in the Green Belt, subject to the various criteria. Policy GB2 also allows for the extension of existing buildings within the Green Belt where the total size of the proposed and previous extensions does not exceed the size of the original building. As the proposal involves the change of use of the existing agricultural buildings, but also includes some small extensions therefore policies GB2 and GB3 can be applied. In terms of the change of use of the existing barn, workshop and slaughterhouse, the existing buildings are of a permanent and substantial construction, and whilst the workshop will require more renovation work than the other two buildings, a structural survey demonstrates that the buildings do not need major or complete reconstruction for the proposed new use.

The three buildings being converted are all traditionally built farm buildings which are largely accepted to be no longer suitable for modern agricultural use, but do have a value in terms of their contribution to the character of the area and the existing farm holding. The proposed alterations have been sensitively designed in line with comments from the Conservation Officer at pre-app stage and the Conservation Officer has no objections to the proposals put forward. The proposed new use is in keeping with the residential nature of the site and the buildings have clearly not been used for modern agricultural purposes for some time, therefore their loss for residential purposes is considered to be in keeping with the site and would ensure that they are retained and restored.

In terms of the floor area calculations, in this instance the existing buildings are not currently in residential use and should not be counted towards the existing or proposed floorspace calculations as they are existing structures and their re-use for residential purposes would not have any significant impact upon the openness of the Green Belt. The proposed extensions (including the porch, two storey side extensions and three single storey rear extensions) amount to approximately 137sqm of new floor area. The existing dwelling has a floor area of approximately 143sqm, therefore the proposed extensions do not exceed 100% of the floor area of the original dwelling. Permitted Development rights should be removed so that further extensions cannot be added to the property without planning permission.

Residential Amenity

There are no other dwellings in close proximity to the site which would be affected by the proposal.

Visual Amenity

The site is a sensitive Green Belt location, where the impact of the proposals upon the visual amenity and openness of the Green Belt must be carefully assessed. The Barn Conversion SPD requires that any proposed alteration or extension is architecturally consistent with the existing building and respects its height, shape mass and plan form and existing external materials.

The proposed alterations have been sympathetically designed to meet the guidelines of the SPD Barn Conversions. Whilst the buildings are not listed, they do form part of the original Trunce Farm and their retention is supported. New openings are limited to what is necessary and the proposed alterations and extensions will be constructed of matching high quality materials which are specified on the submitted plans. The extensions are small in scale relative to the size of the original buildings and will appear subservient. They are considered acceptable and should not significantly harm the openness of the Green Belt in compliance with policy GB2 and GB3. The Conservation Officer has no objections and supports the proposal.

Impact on Wildlife

An Ecological Survey and Bat Activity Survey has been submitted with the application. The four buildings identified by Whitcher Wildlife as having low, moderate and high potential to support roosting bats were subjected to three nocturnal bat surveys (B1, B2 & B3) and a single nocturnal bat survey (B4). The evidence gained during the three bat activity surveys suggest that the buildings are not playing host to a large bat colony or maternity roost. However, six small day roosts supporting common and soprano pipistrelle were identified on Building 1. A potential brown long-eared feeding roost, of a single individual bat, was also identified in Building 3. On a single occasion, a barn owl was observed perching on the western chimney of Building 1, during which no breeding/ nurturing behaviours were witnessed. It is therefore considered likely that the barn owl was using the chimney as a lookout post whilst hunting. The nocturnal bat activity surveys confirmed the presence of six bat roosts and a potential brown long-eared bat feeding roost all of which would likely be lost under the proposed development. Consequently, a European Protected Species (EPS) licence will be required from Natural England before renovation works can commence. Mitigation Measures proposed in section 5.1 of the report therefore should be carefully followed.

The submitted ecological survey has been checked by the Biodiversity Officer who states that 'the Preliminary Ecological Appraisal (Whitcher Wildlife, 200630, 23/6/20) is satisfactory. It refers at 3.4.1 to an outstanding data request to SY Badger Group and the assertion that the PEA will be updated in that light. I would request that the applicants update the LPA in that regard please. The Bat Activity Surveys report (Peak Ecology, 5/10/20) is satisfactory. A condition should relate to the recommendation at in the bat report's section 5.1.3 for a sensitive lighting scheme to protect bat species – this should be provided to the satisfaction of the LPA at later stages and should include a plan showing what parts of which buildings and land will be directly illuminated.'

Conditions will be required to ensure that the mitigation measures within section 5 of the report are followed so that protected species are not harmed during the conversion works, in accordance with policy BIO1 of the Local Plan.

Highway Safety

There are no alterations proposed to the existing access and parking arrangements.

Other Matters

Permitted development rights should be removed by condition to ensure that the property cannot be extended further without planning permission in order to protect the openness and visual amenity of the Green Belt.

Recommendation

Grant subject to conditions

