

LAND SOUTH OF CEMETERY ROAD, JUMP

Housetype Booklet

May 2026 - First Issue

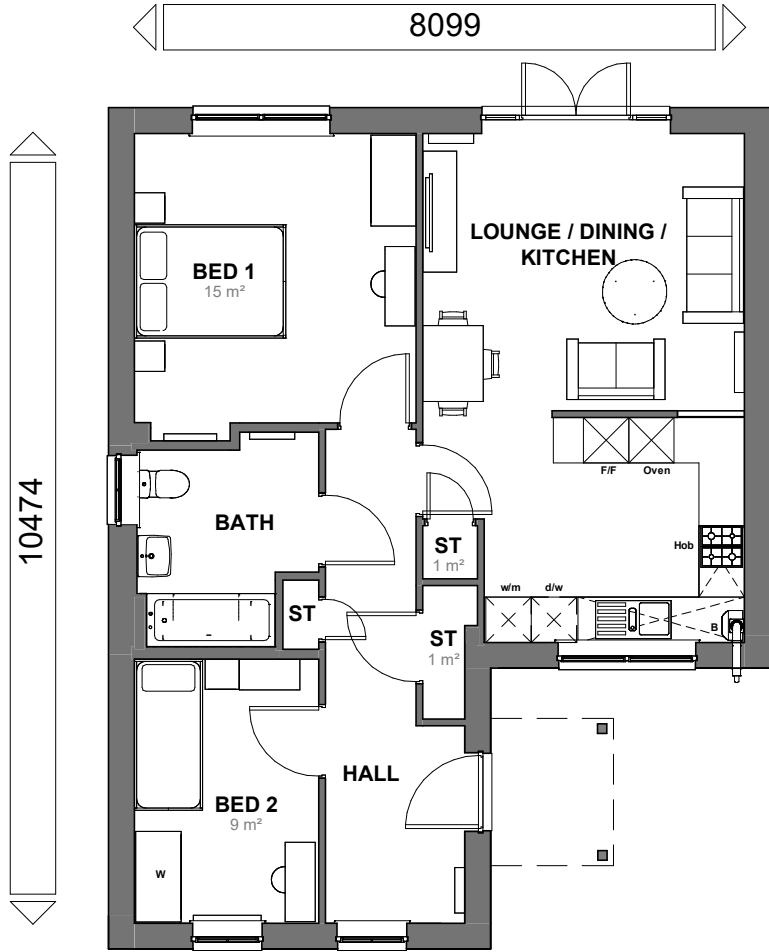


PARKER PEEL
ARCHITECTURAL

2604-HT-01 - Barratt David Wilson Homes Yorkshire West

CONTENTS

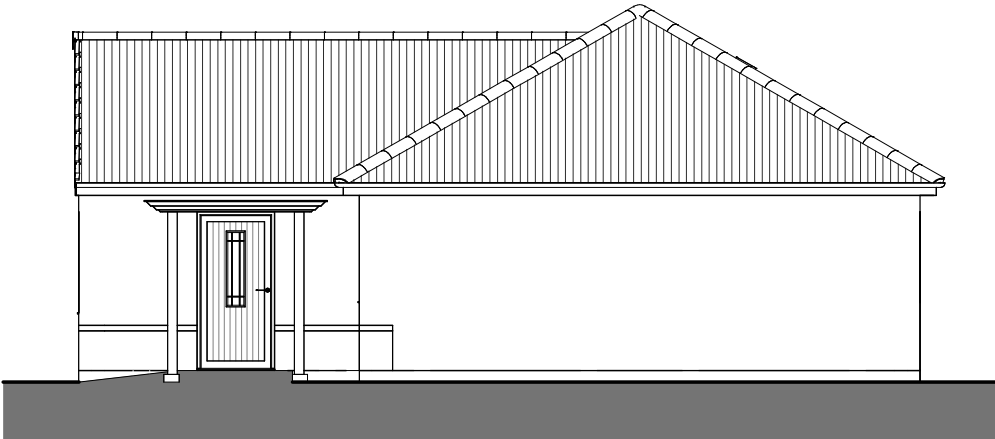
HOUSETYPE	DESCRIPTION	M4(2)	M4(3)	AFFORDABLE
HOLM	2 BED BUNGALOW		✓	✓
DUNNOCK	2 BED TERRACE/SEMI-DET	✓		✓
TYPE 50	2 BED TERRACE/SEMI-DET	✓		✓
KENLEY	2 BED SEMI-DET			
DENFORD	2 BED SEMI-DET			
PALMERSTONE	2 BED SEMI-DET			
MAIDSTONE	3 BED SEMI-DET			
ELLERTON	3 BED SEMI-DET			
CHAFFINCH	3 BED SEMI-DET	✓		✓
TYPE 52	3 BED SEMI-DET	✓		✓
MORESBY	3 BED SEMI-DET/DETACHED			
DENBY	3 BED DETACHED			
COLLATON	3 BED DETACHED			
HEMLOCK	3 BED DETACHED		✓	✓
CHESTER	4 BED DETACHED			
WINDERMERE	4 BED DETACHED			
KINGLSEY	4 BED DETACHED			
KITE	4 BED DETACHED	✓		
NIGHTJAR	4 BED DETACHED	✓		✓
SOAY	4 BED DETACHED	✓		
SINGLE GARAGE				
TWIN GARAGE				
DOUBLE GARAGE				



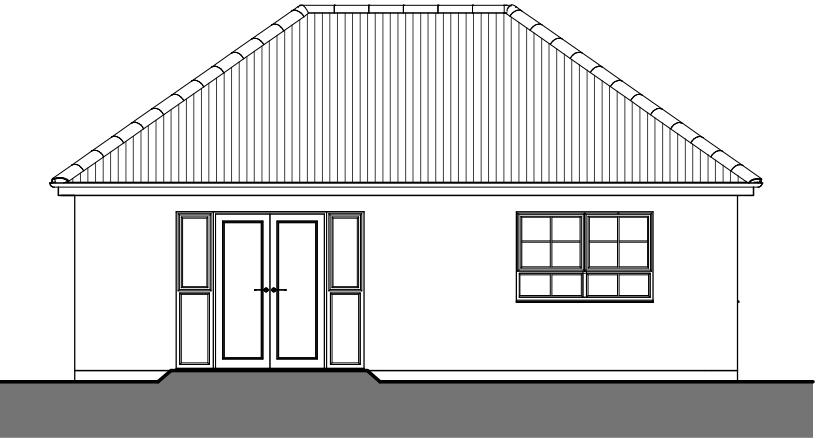
GROUND FLOOR



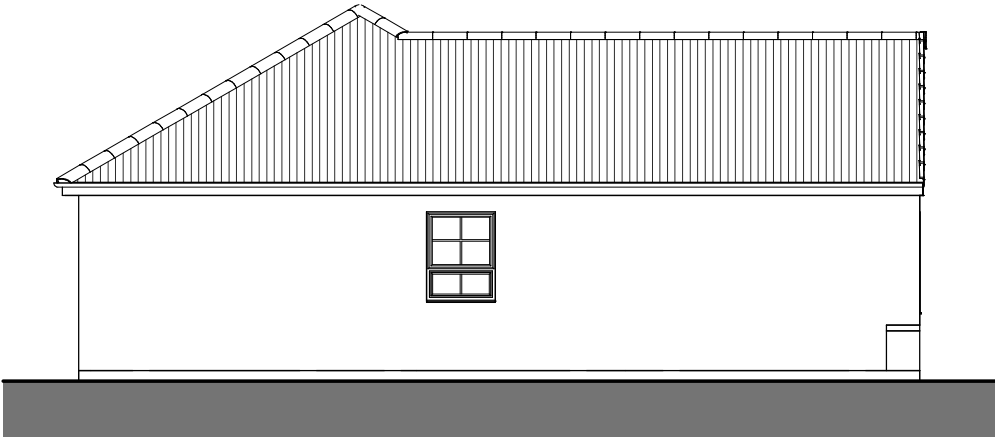
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

Floor Area: 765 ft² / 71.0 m²

Sales Name: HOLM

House Type Code: ZHLM LTHD

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: Mar 2025

Scale: 1 : 100 @ A3

WARNING TO HOUSE-PURCHASERS

Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content, and dimensions specified are included for general guidance only. Whilst we make every effort to ensure our drawings are up to date there may be changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

Planning

Rev	Description	Date



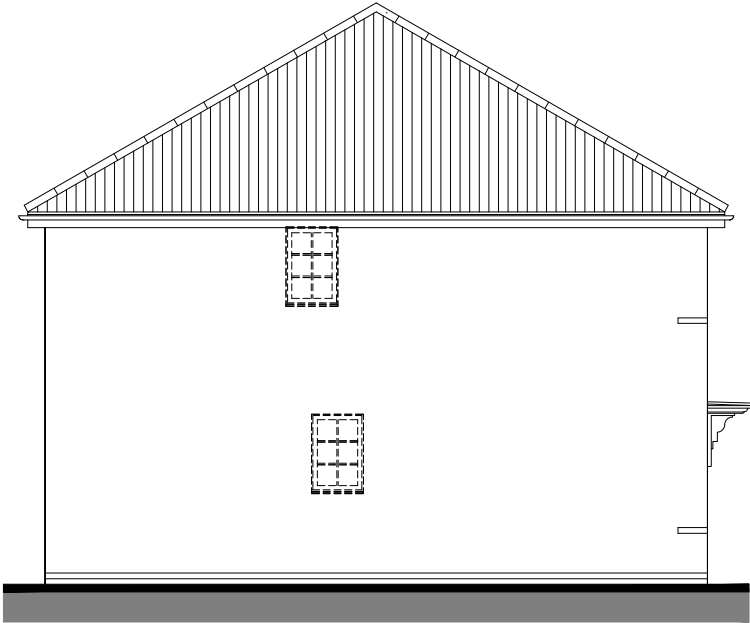
BARRATT
DEVELOPMENTS PLC



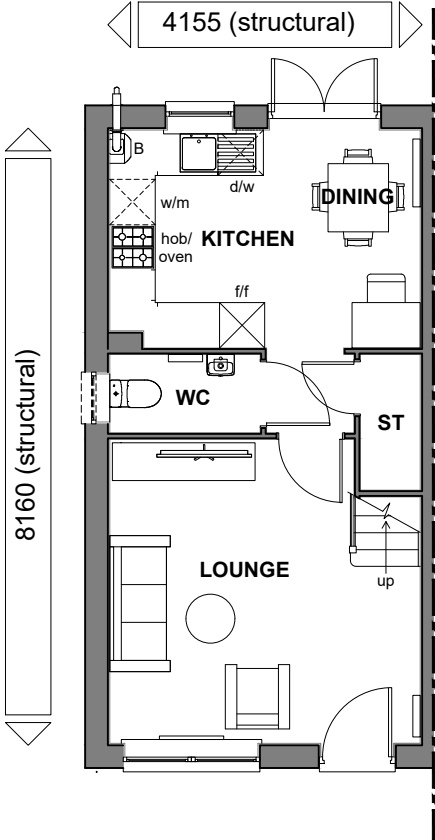
FRONT ELEVATION



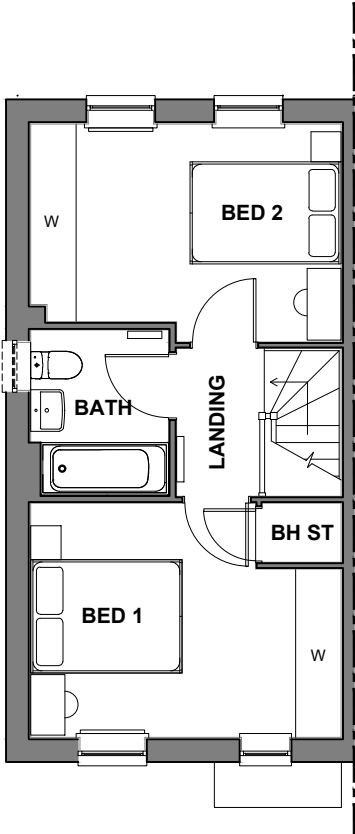
REAR ELEVATION



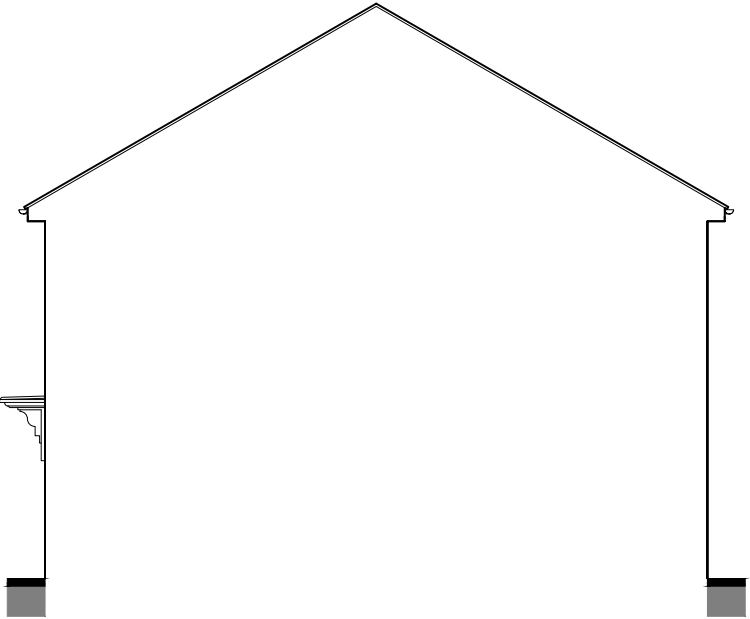
SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION / SECTION

TOTAL FLOOR AREA : 729 Sq ft / 67.8m2

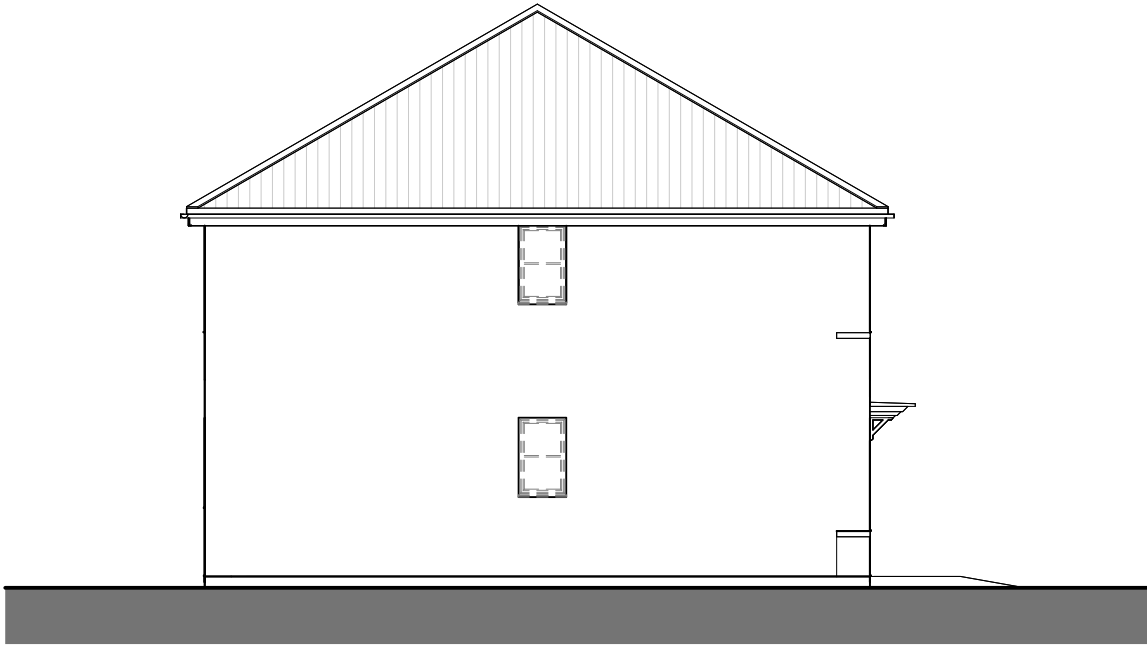
Sales Name: DUNNOCK (KENLEY)
House Type Code: CDUN X0HE
Spec: AMBASSADOR Drawing No: 01 Date: JAN 23
Drawn: GDT Checked: GDT Scale: 1: 100

WARNING TO HOUSE-PURCHASERS:
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Planning



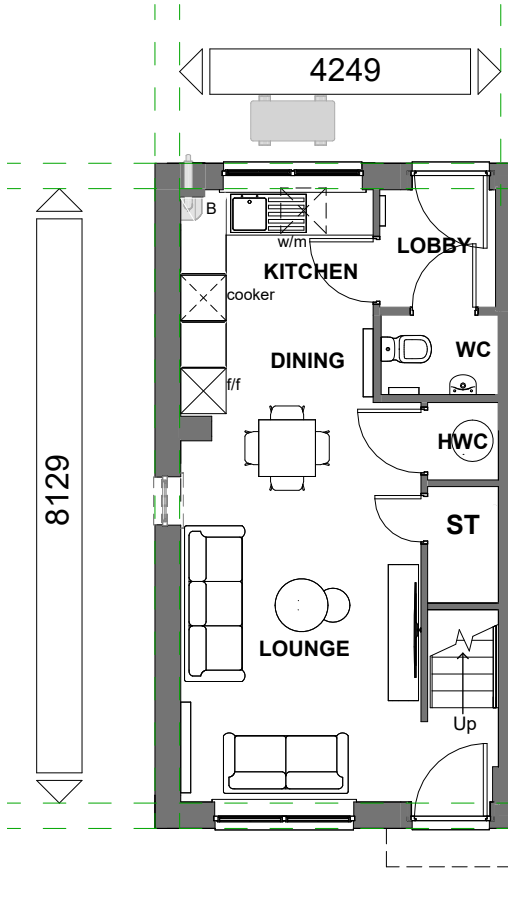
FRONT ELEVATION



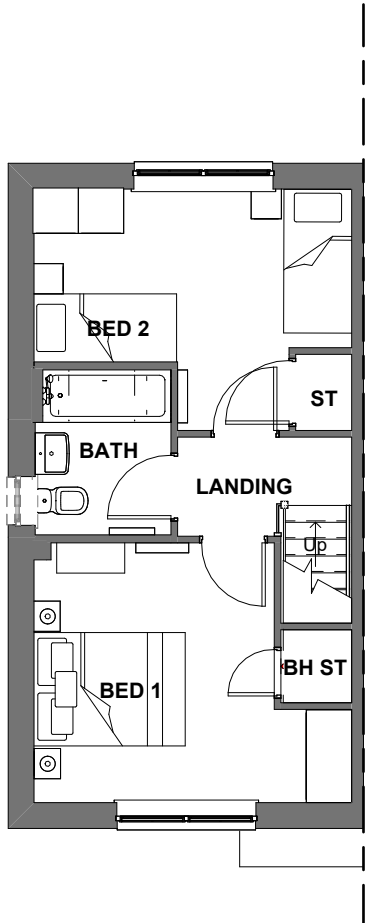
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR



FIRST FLOOR

THIS DRAWING IS COMPLIANT WITH
2021 BUILDING REGULATIONS

M4 (2) CATEGORY 2 : ACCESSIBLE AND
ADAPTABLE DWELLINGS COMPLIANT

Floor Area: 744 ft² / 69.1 m²

Sales Name: TYPE 50

House Type Code: B50FLTHE

Spec:AFFORDABLE Drawing No:01

Drawn: GDT

Checked: RS

Date: May, 23

Scale: 1 : 100 @A3

WARNING TO HOUSE-PURCHASERS

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Planning

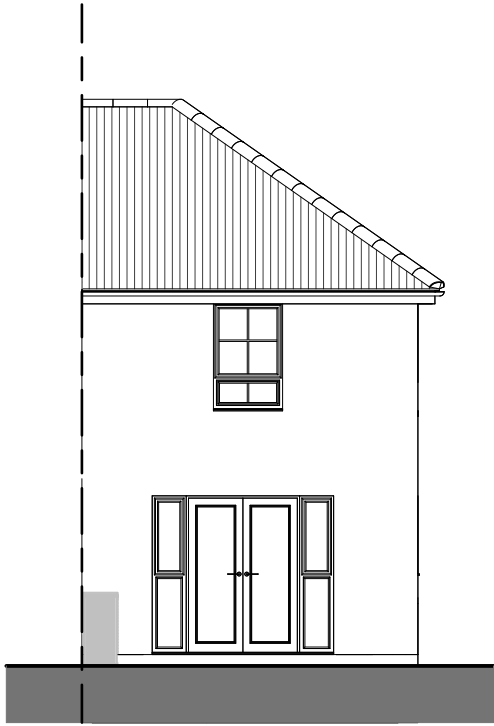
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Jan 2025
B	Refer to Data Sheet for full revision description	Apr 2026



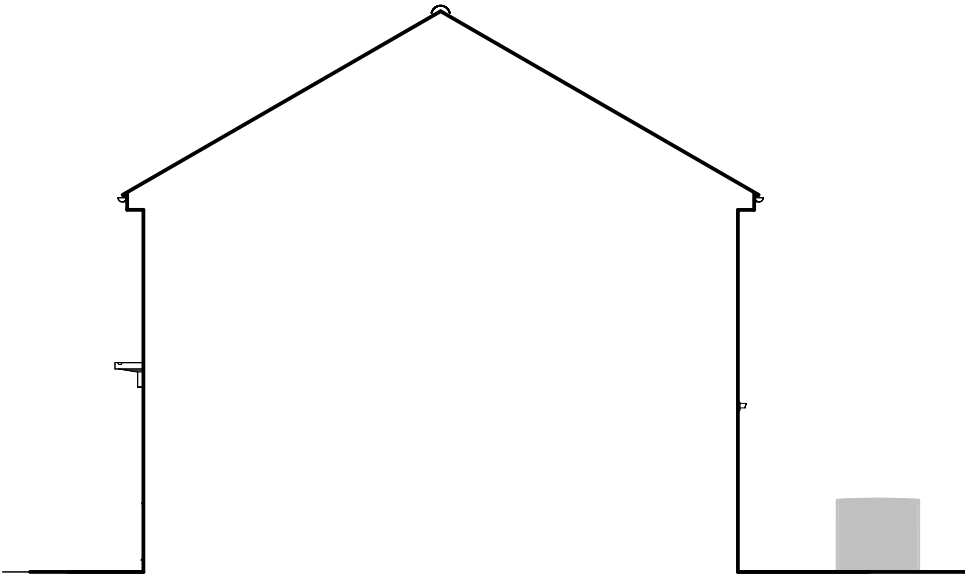
BARRATT
DEVELOPMENTS PLC



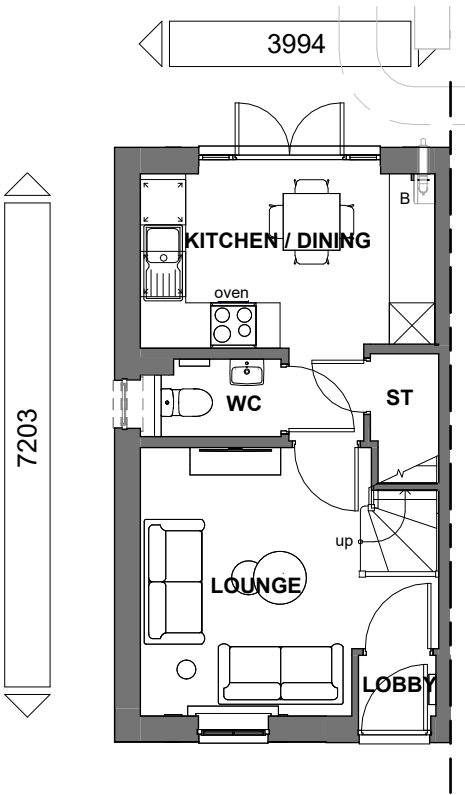
FRONT ELEVATION



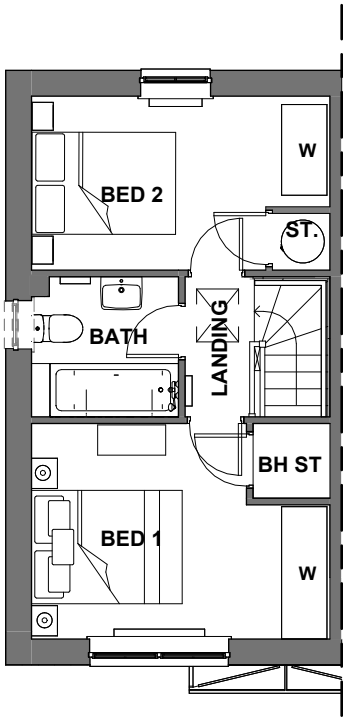
REAR ELEVATION



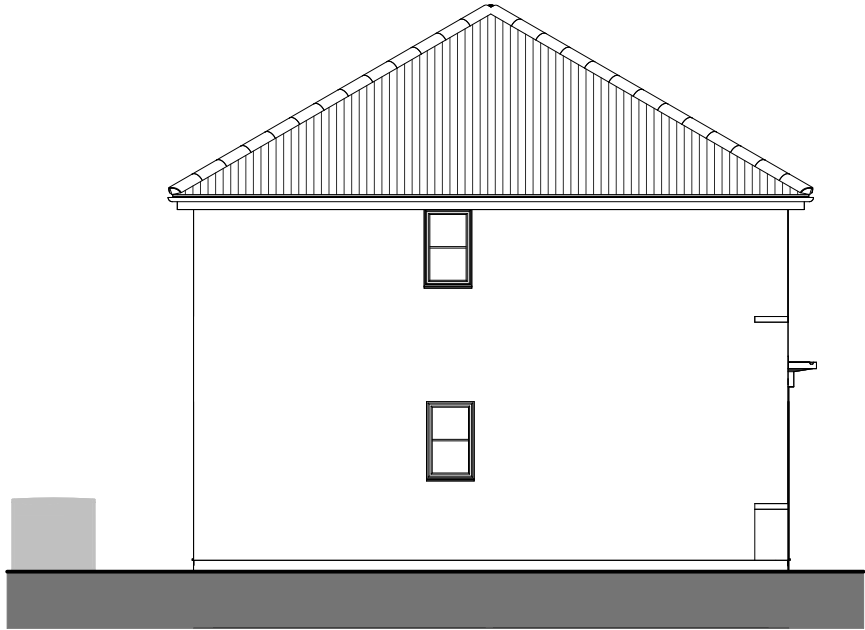
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 620 ft² / 57.6 m²

Sales Name: Kenley (End) - TF

House Type Code: BKNL LTHE

Spec:AMBASSADOR Drawing No:01

Drawn: GDT

Checked: GDT

Date: JUN 2023

Scale: 1 : 100 @A3

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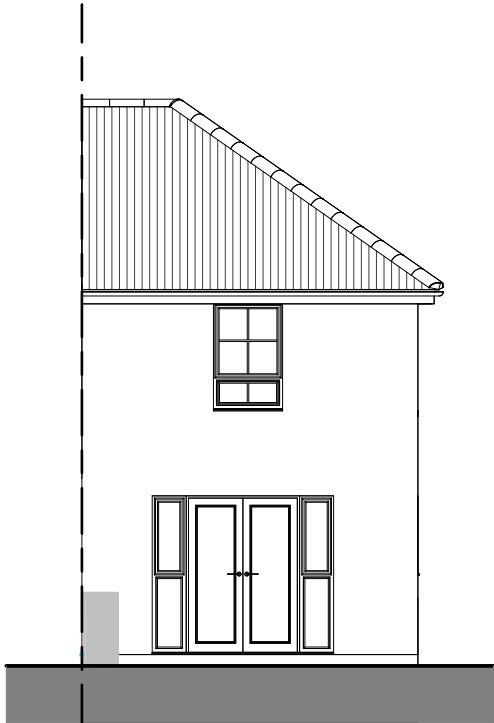
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Aug 2024
B	Refer to Data Sheet for full revision description	Feb 2025



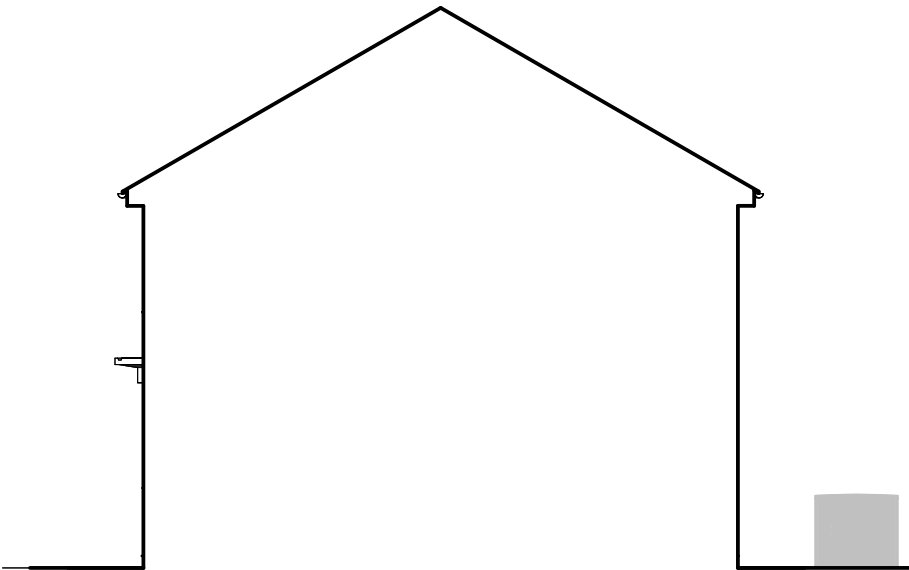
BARRATT
DEVELOPMENTS PLC



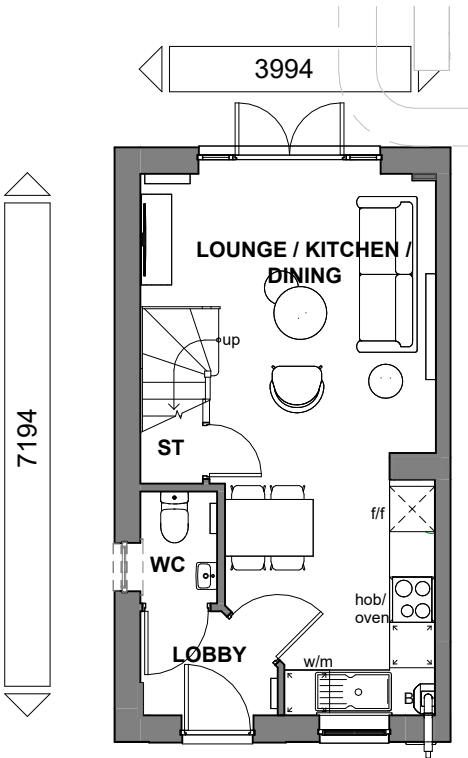
FRONT ELEVATION



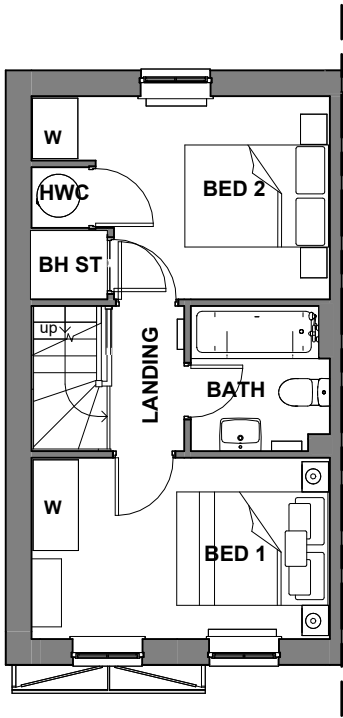
REAR ELEVATION



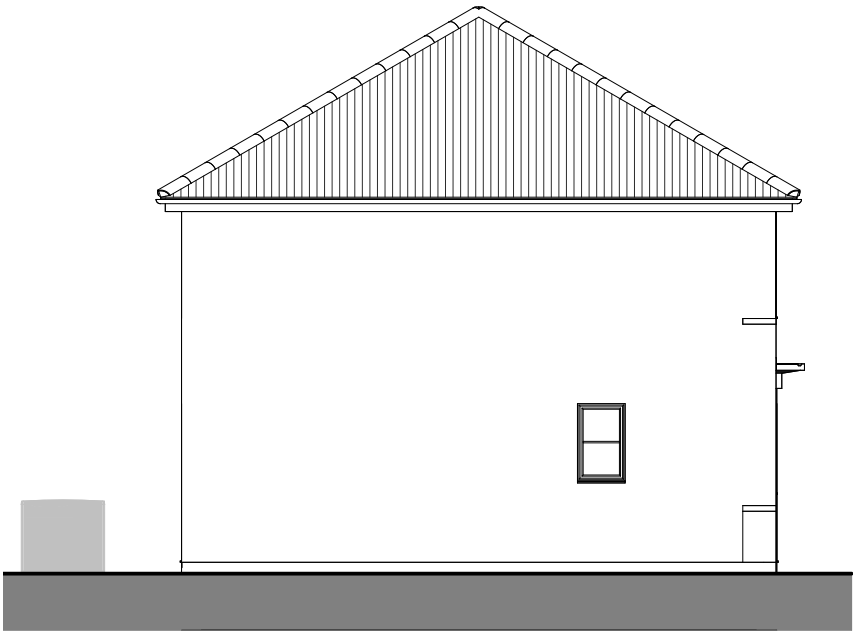
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 619 ft² / 57.5 m²

Sales Name: Denford (End) TF

House Type Code: BDNF LTHE

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: Jun 2023

Scale: 1 : 100 @ A3

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Planning

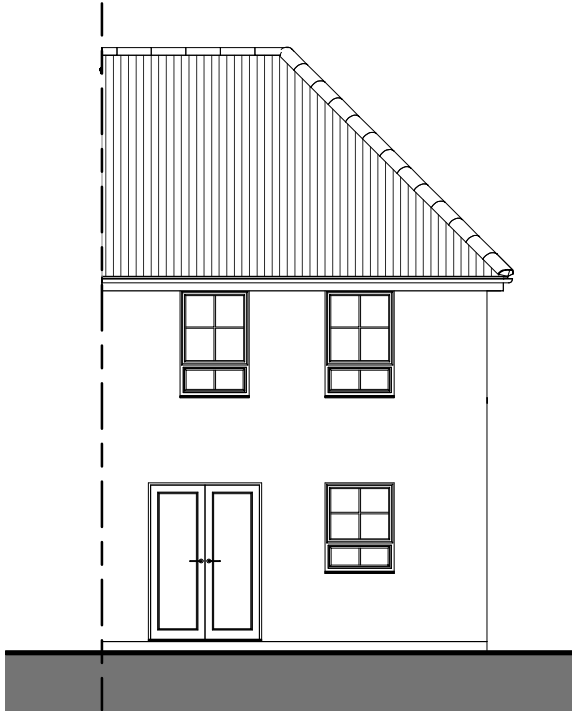
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Oct 2025



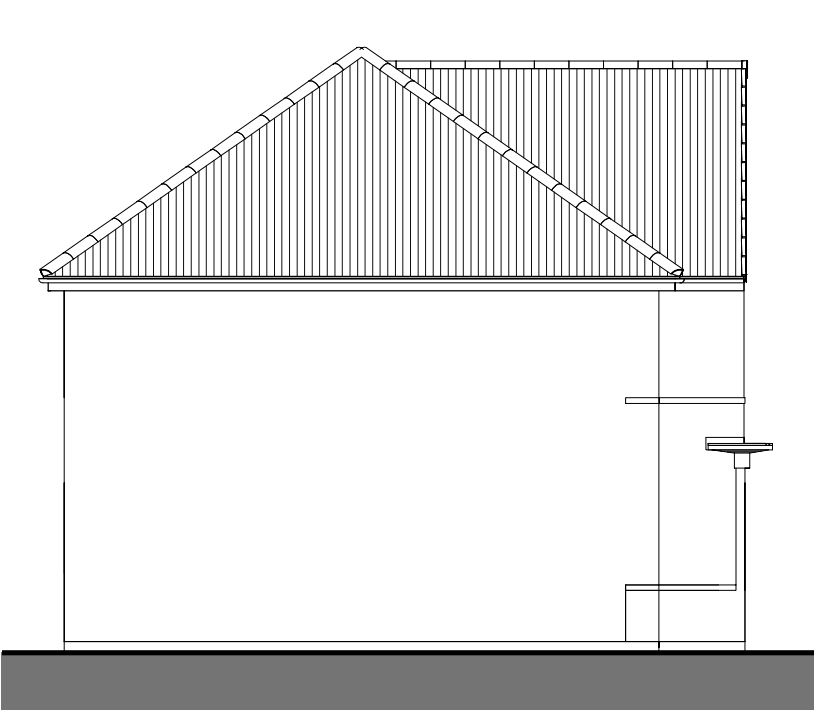
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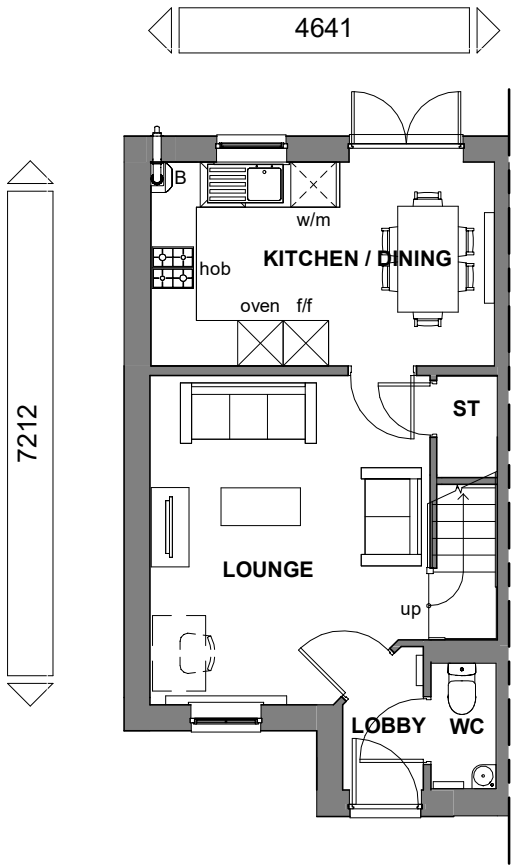
FRONT ELEVATION



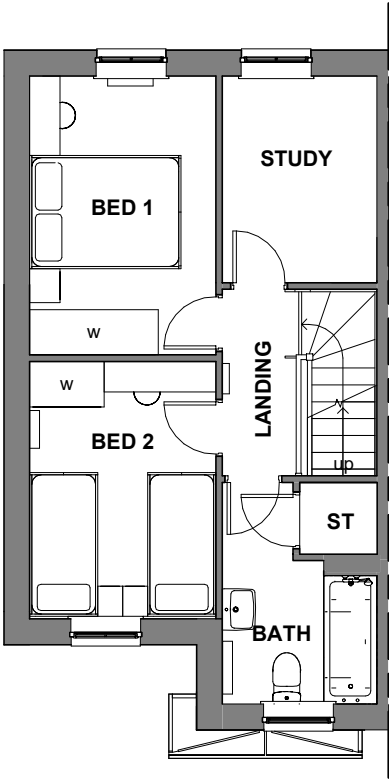
REAR ELEVATION



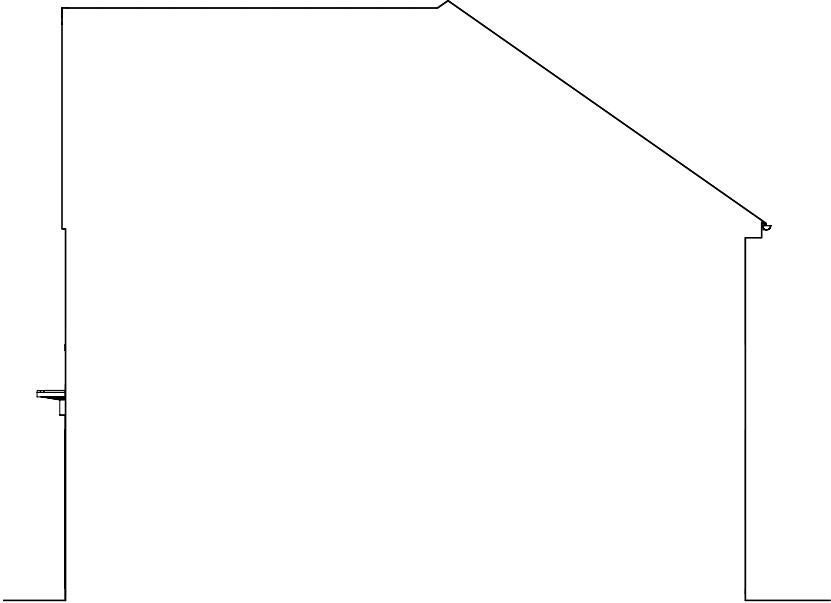
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 773 ft² / 71.8 m²

Sales Name: Palmerston (End) - TF

House Type Code: BPMS LTHE

Spec: AMBASSADOR Drawing No: 01

Drawn: MM

Checked: AB

Date: Jun 2023

Scale: 1 : 100 @ A3

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Planning

Rev	Description	Date



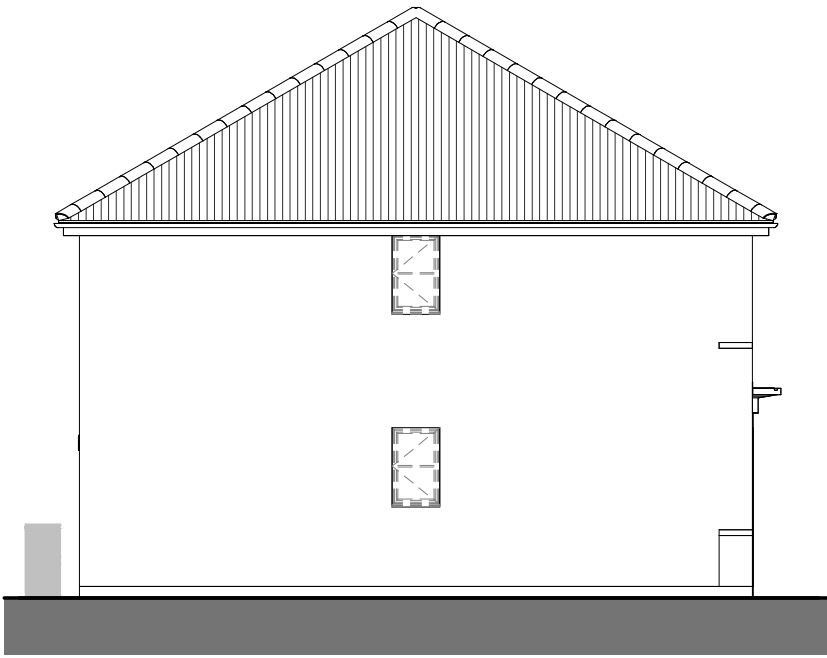
BARRATT
DEVELOPMENTS PLC



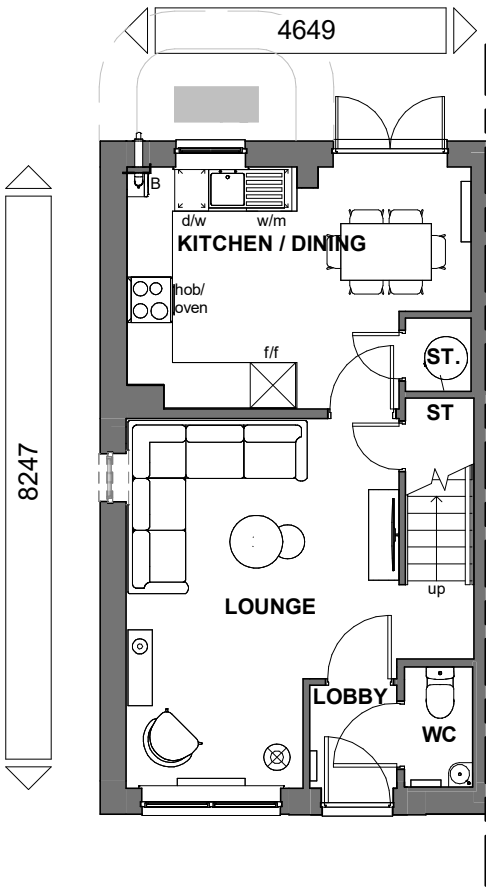
FRONT ELEVATION



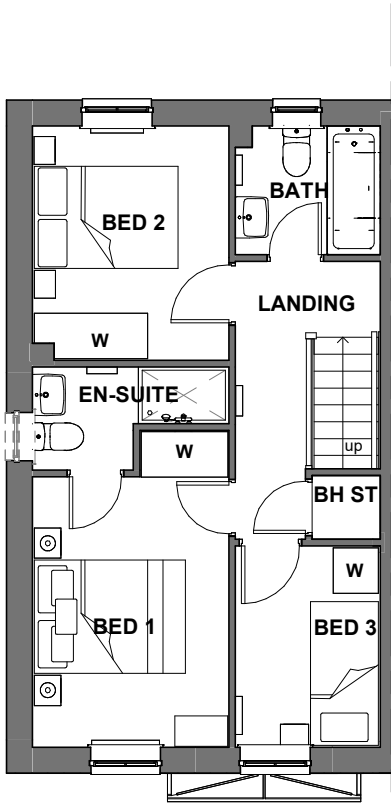
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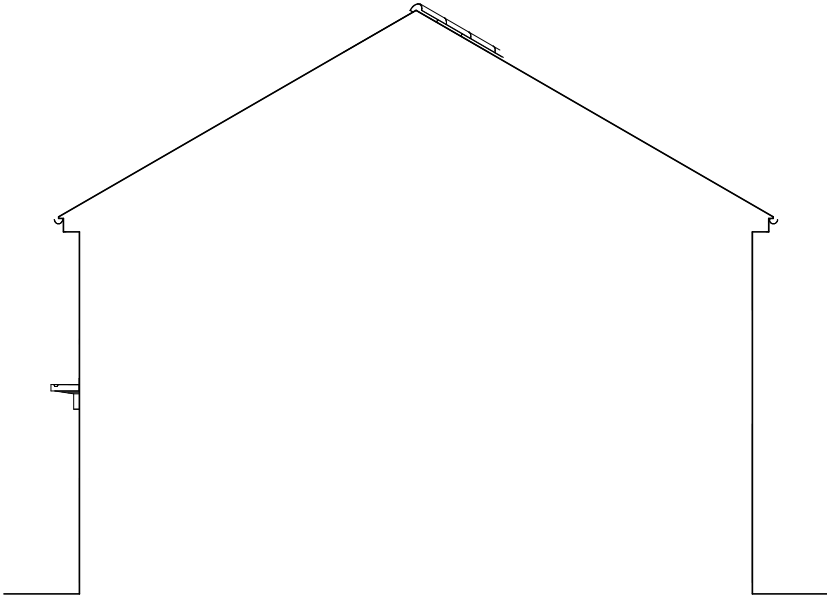
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 825 ft² / 76.6 m²

Sales Name: Maidstone (End) - TF

House Type Code: BMAI LTHE

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: Jun 2023

Scale: 1 : 100 @ A3

WARNING TO HOUSE-PURCHASERS
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Planning

Rev	Description	Date
A	Refer to Data Sheet for full revision description	Mar 2024
B	Refer to Data Sheet for full revision description	Feb 25



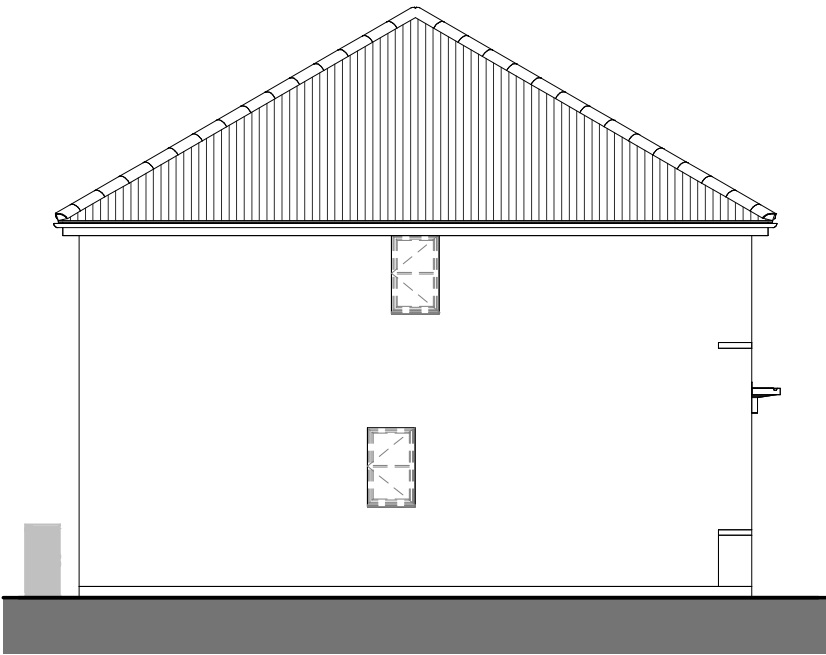
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DEVELOPMENTS PLC



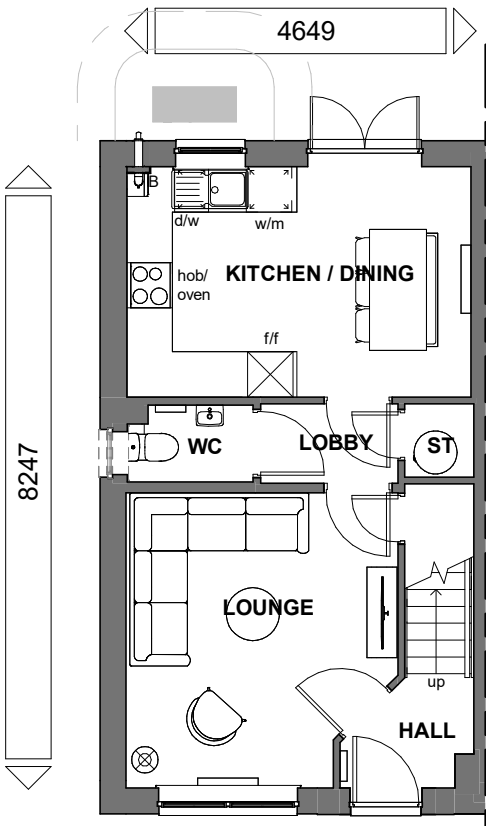
FRONT ELEVATION



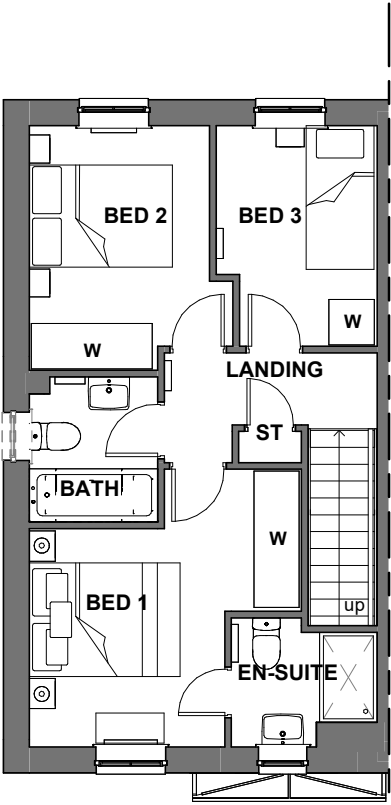
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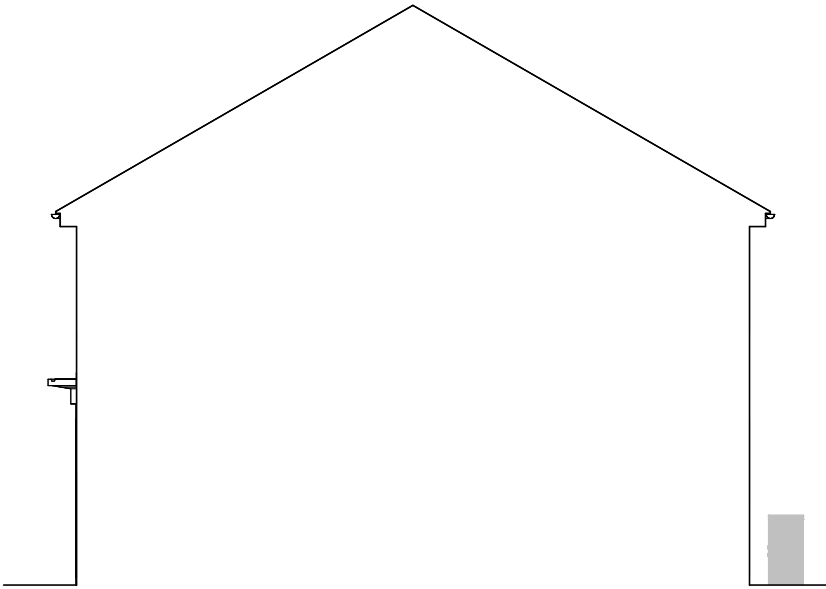
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 825 ft² / 76.6 m²

Sales Name: Ellerton (End) - TF

House Type Code: BLLE LTHE

Spec:AMBASSADOR Drawing No:01

Drawn: GDT

Checked: GDT

Date: Jun 2023

Scale: 1 : 100 @A3

WARNING TO HOUSE-PURCHASERS

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Planning

Rev	Description	Date
A	Refer to data sheet for full revision description	Feb 2025



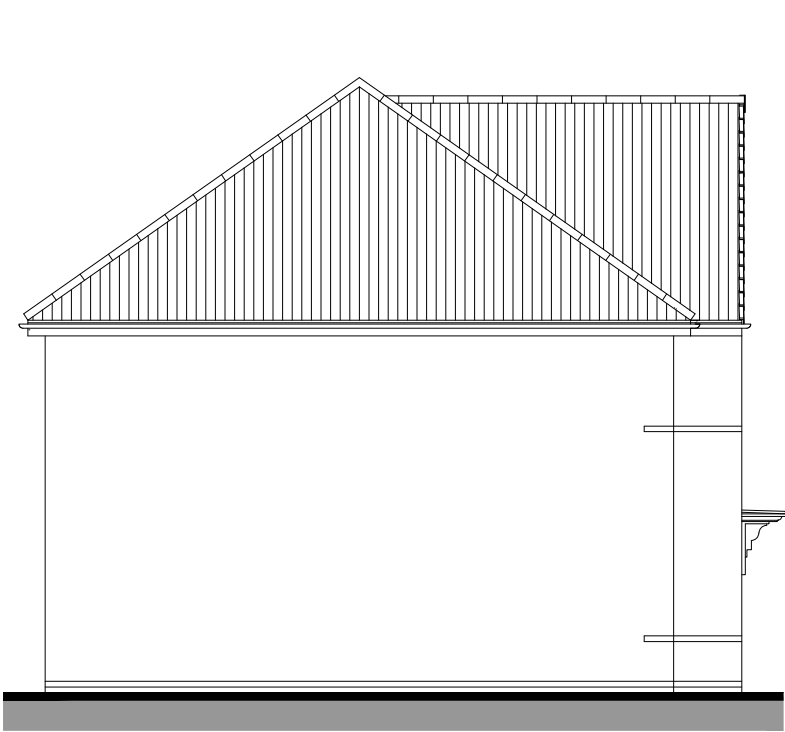
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DEVELOPMENTS PLC



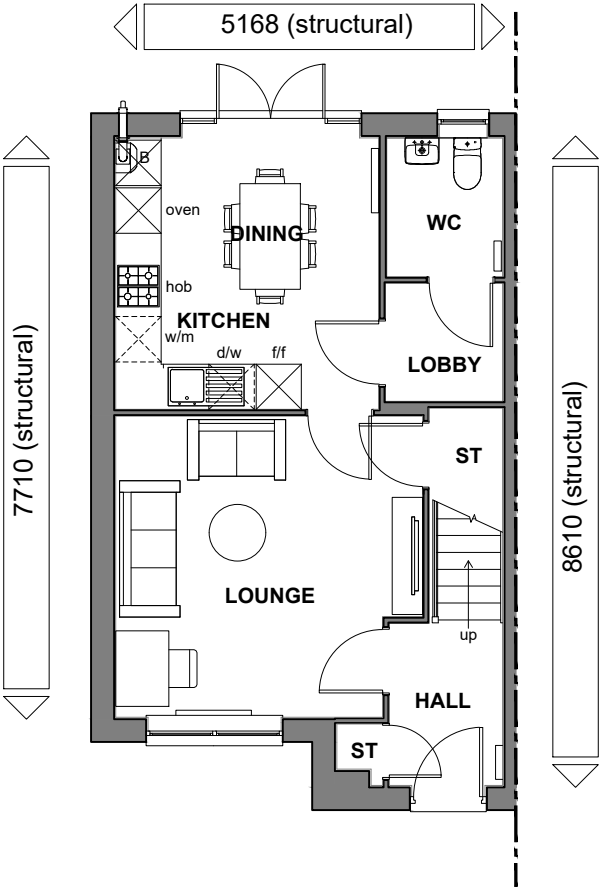
FRONT ELEVATION



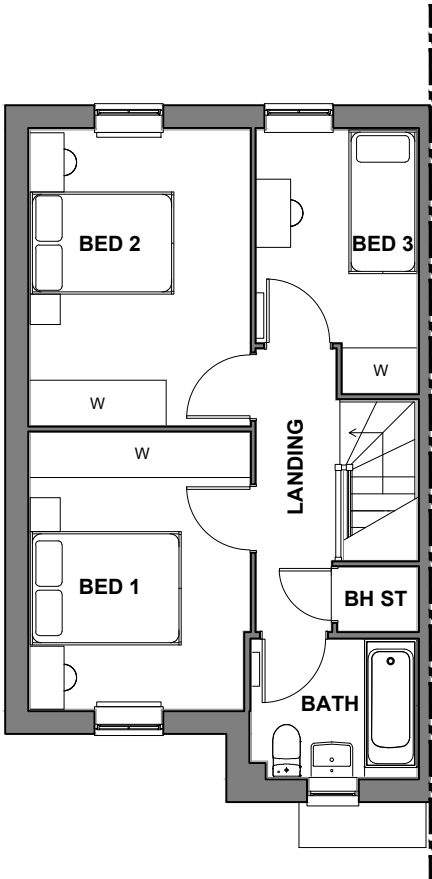
REAR ELEVATION



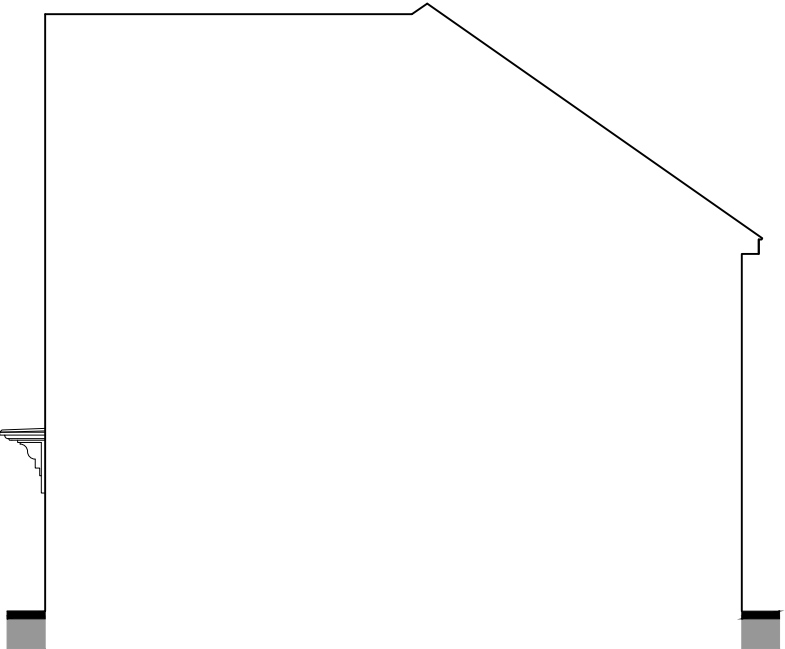
SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SIDE ELEVATION / SECTION

TOTAL FLOOR AREA : 901 Sq ft / 83.72m2

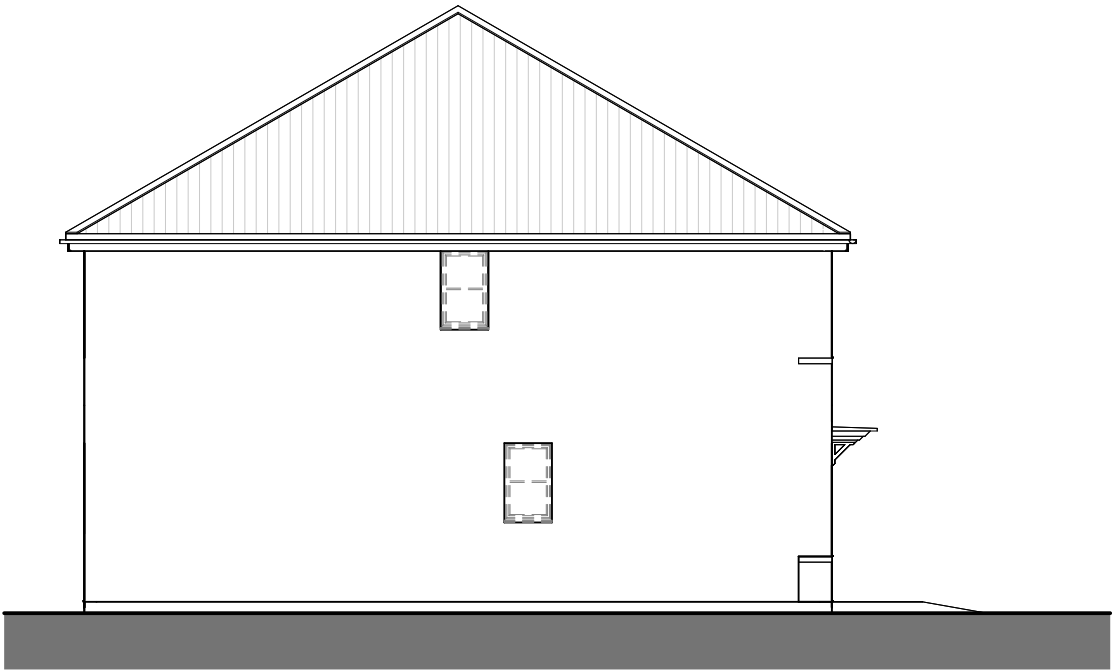
Sales Name: CHAFFINCH (PALMERSTON)
House Type Code: CCAF X0HE
Spec: AMBASSADOR Drawing No: 01 Date: JAN 23
Drawn: GDT Checked: GDT Scale: 1: 100

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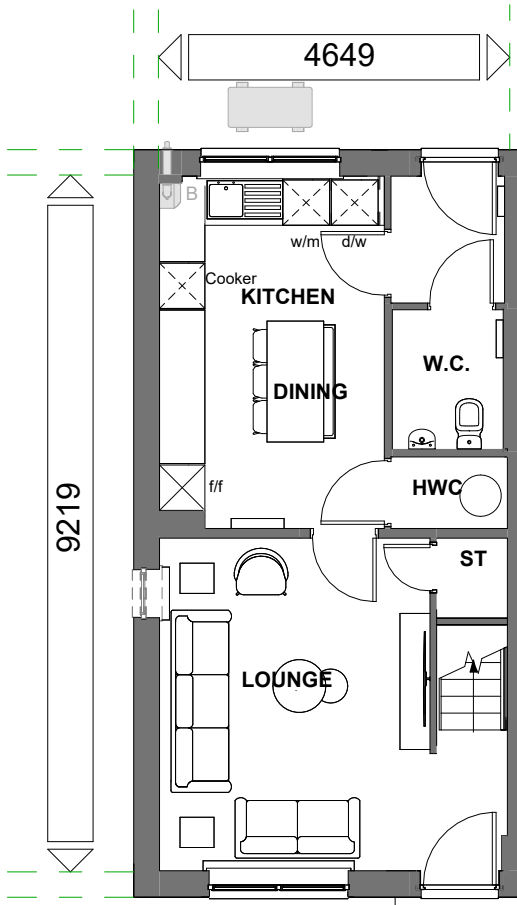
FRONT ELEVATION



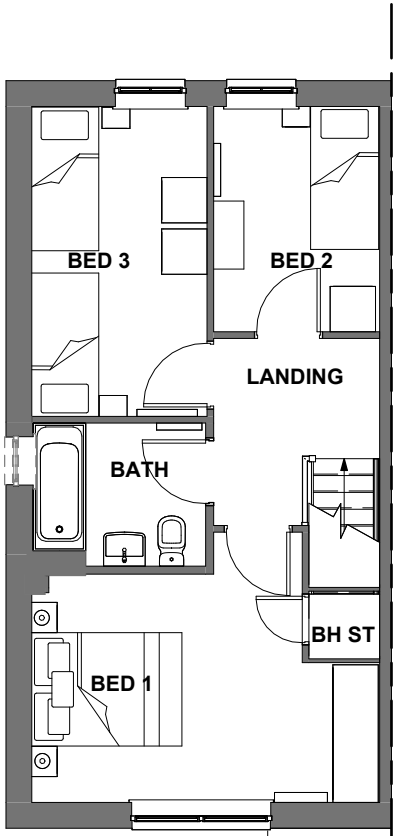
SIDE ELEVATION



REAR ELEVATION



GROUND FLOOR



FIRST FLOOR

THIS DRAWING IS COMPLIANT WITH
2021 BUILDING REGULATIONS

M4 (2) CATEGORY 2 : ACCESSIBLE AND
ADAPTABLE DWELLINGS COMPLIANT

Floor Area: 917 ft² / 85.2 m²

Sales Name: TYPE 52

House Type Code: B52ALTHE

Spec:AFFORDABLE Drawing No:01

Drawn: GDT

Checked: RS

Date: May, 23

Scale: 1 : 100 @A3

WARNING TO HOUSE-PURCHASERS

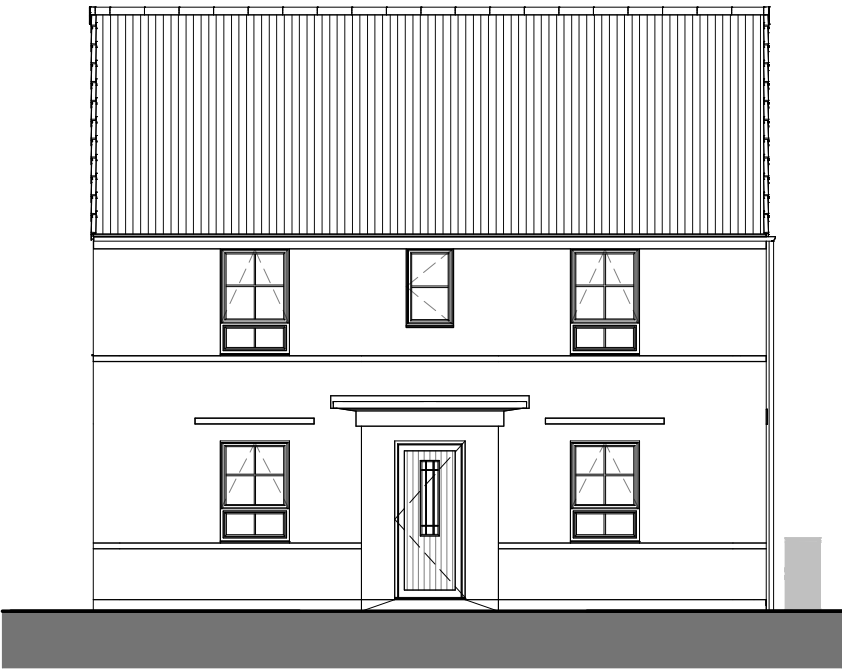
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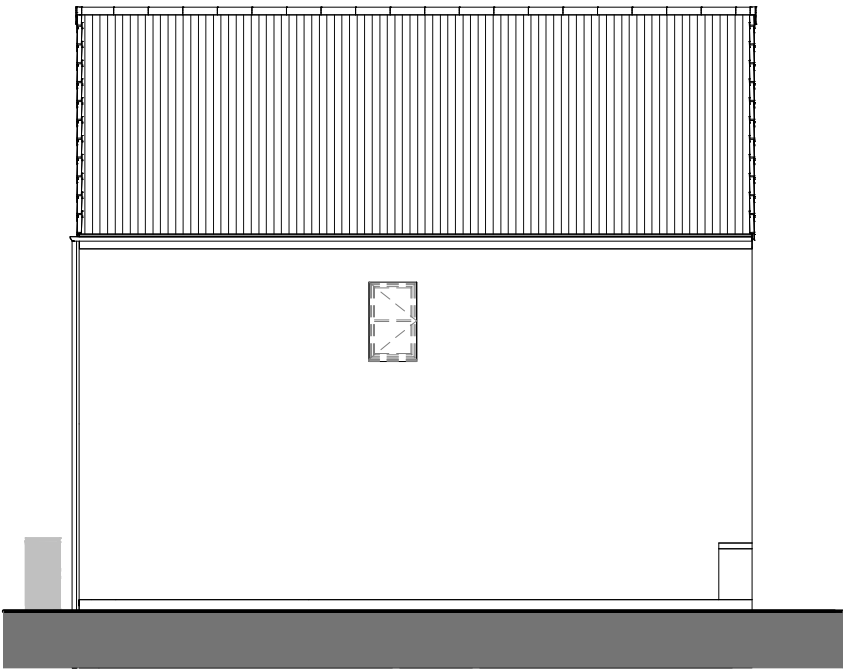
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Jan 2025
B	Refer to Data Sheet for full revision description	Jan 2025
C	Refer to Data Sheet for full revision description	Apr 2026



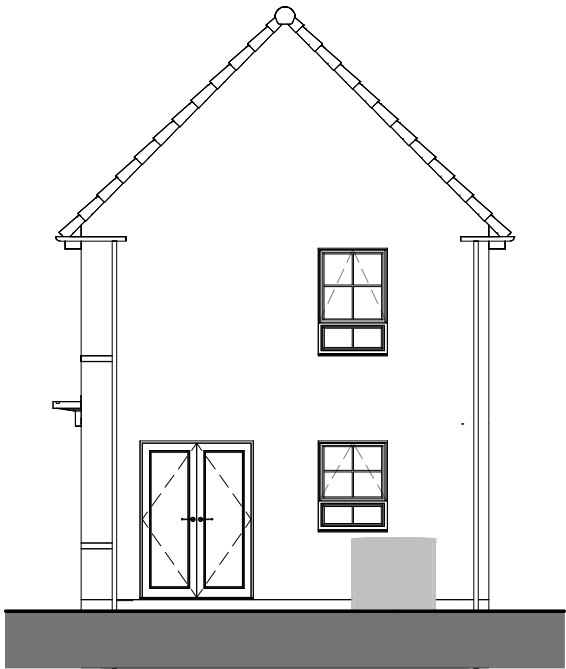
BARRATT
DEVELOPMENTS PLC



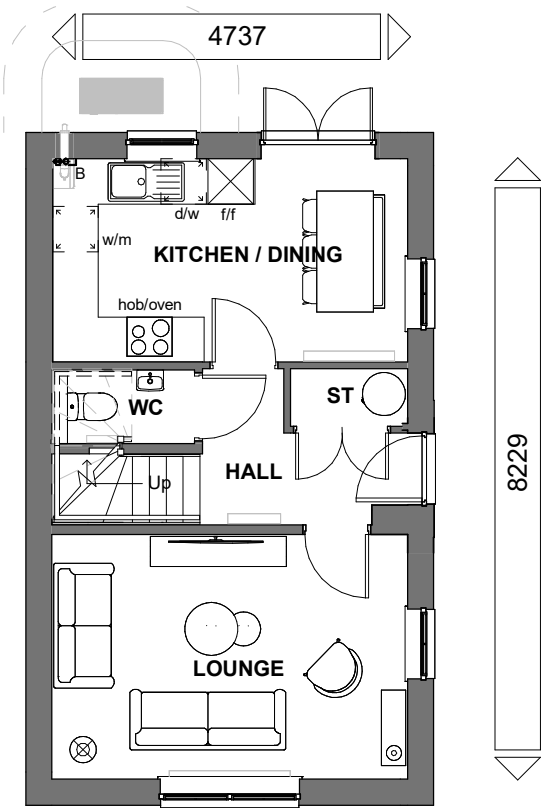
FRONT ELEVATION



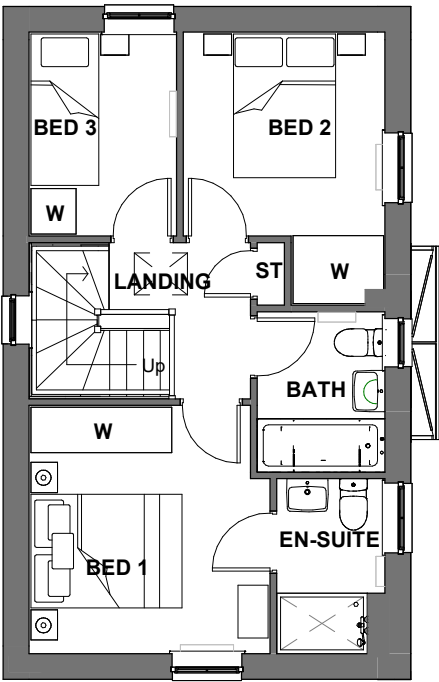
REAR ELEVATION



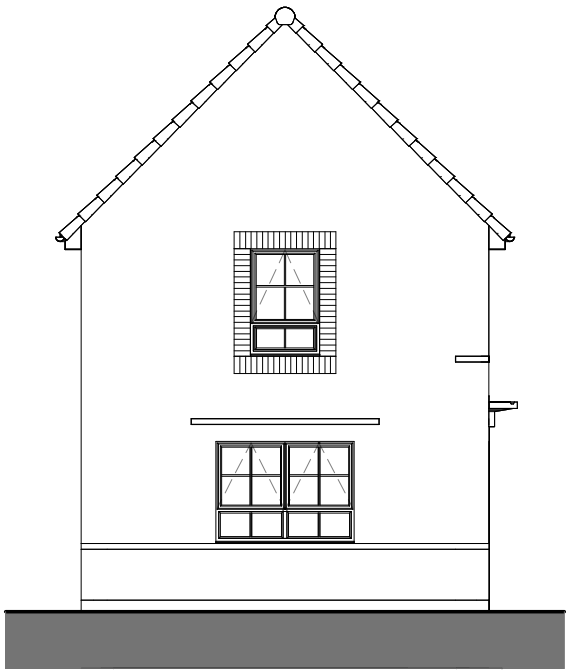
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 840 ft² / 78.0 m²

Sales Name: Moresby (Det) - TF

House Type Code: BMMS LTGD

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: Jun 2023

Scale: 1 : 100 @ A3

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Planning

Rev	Description	Date
A	Refer to Data Sheet for full revision description	Feb 2025



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DEVELOPMENTS PLC



Floor Area: 850 ft² / 79.0 m²

Sales Name: Moresby (End) - TF

House Type Code: BMMS LTGE

Spec:AMBASSADOR Drawing No:01

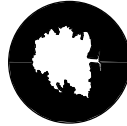
Date: Jun 2023

Drawn: GDT
Checked: GDT

Scale: 1 : 100 @A3

This drawing does not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

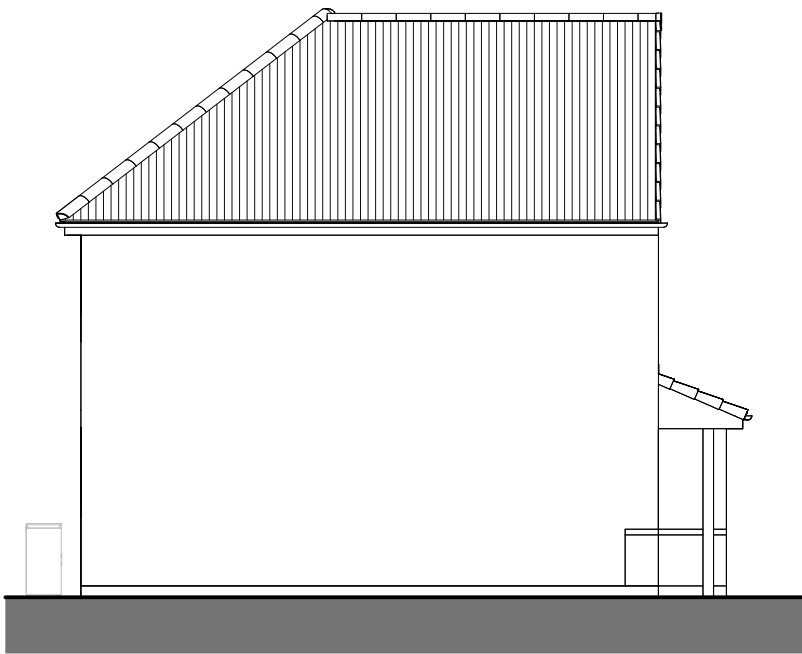
Planning		
Rev	Description	Date
A	Refer to data sheet for full revision description	Feb 2025



BARRATT
DEVELOPMENTS PLC



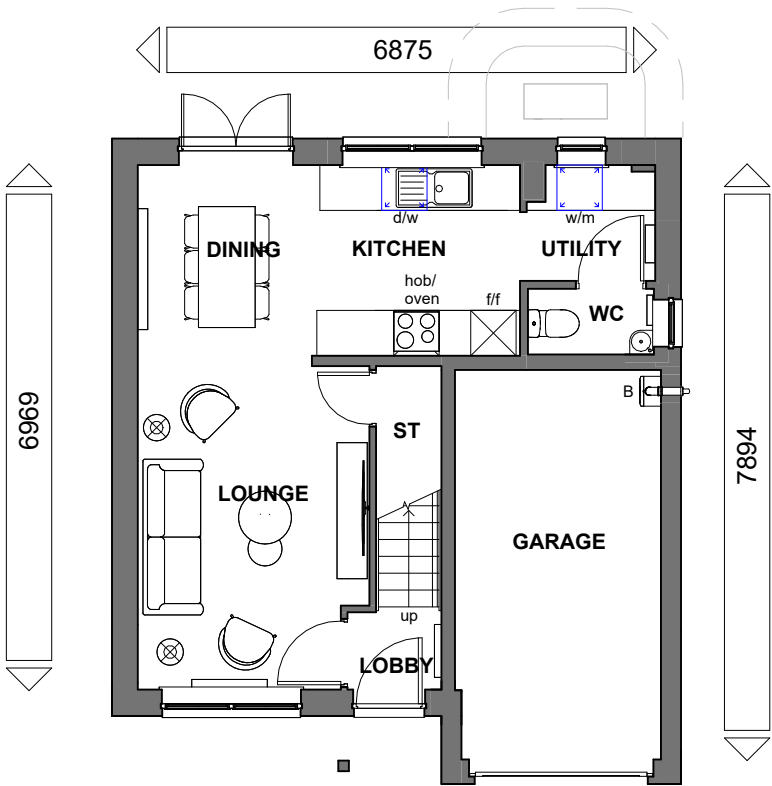
FRONT ELEVATION



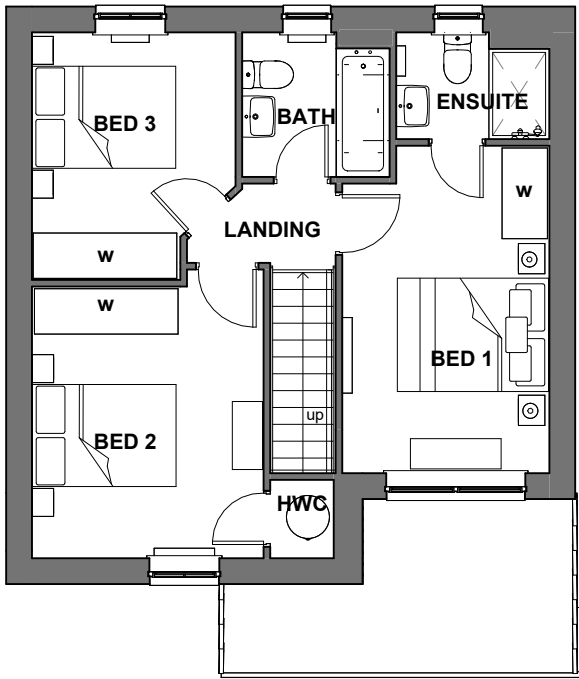
SIDE ELEVATION



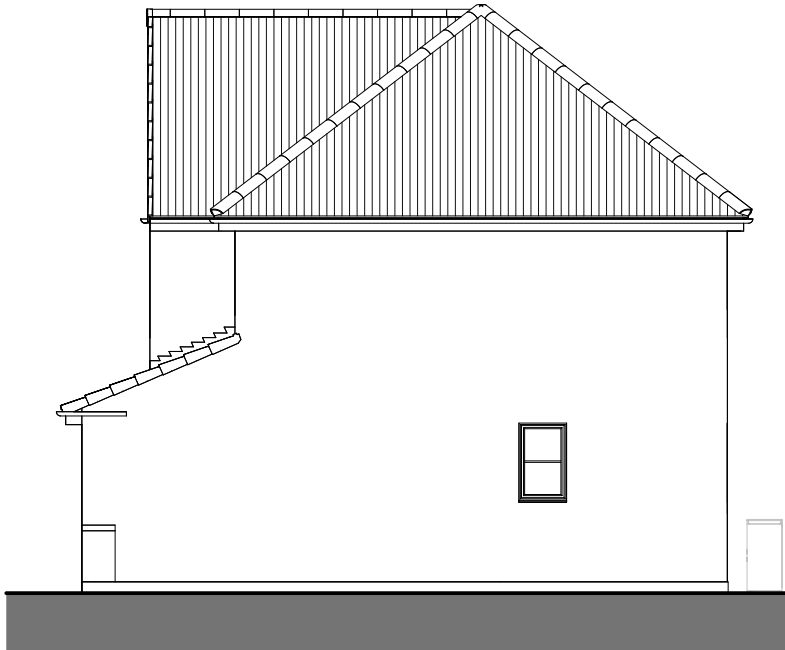
REAR ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 864 ft² / 80.2 m²

Sales Name: Denby (Det - Hipped) - TF

House Type Code: BDBY LTHD

Spec:AMBASSADOR Drawing No:01 Date: Jun 2023

Drawn: GDT Checked: GDT Scale: 1 : 100 @A3

WARNING TO HOUSE-PURCHASERS

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Planning

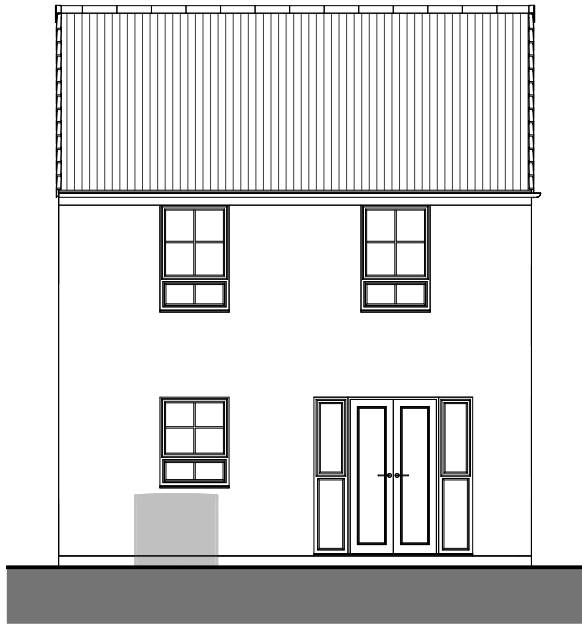
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Sep 2024
B	Refer to Data Sheet for full revision description	Nov 2025



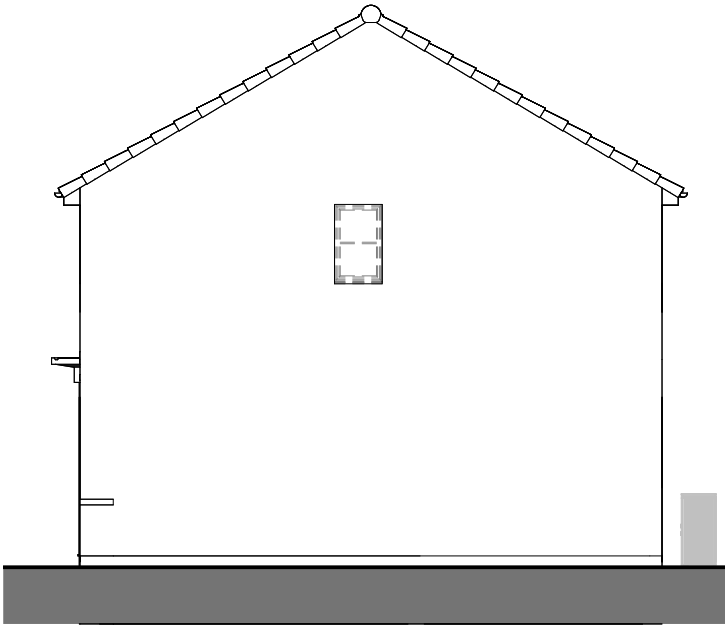
BARRATT
DEVELOPMENTS PLC



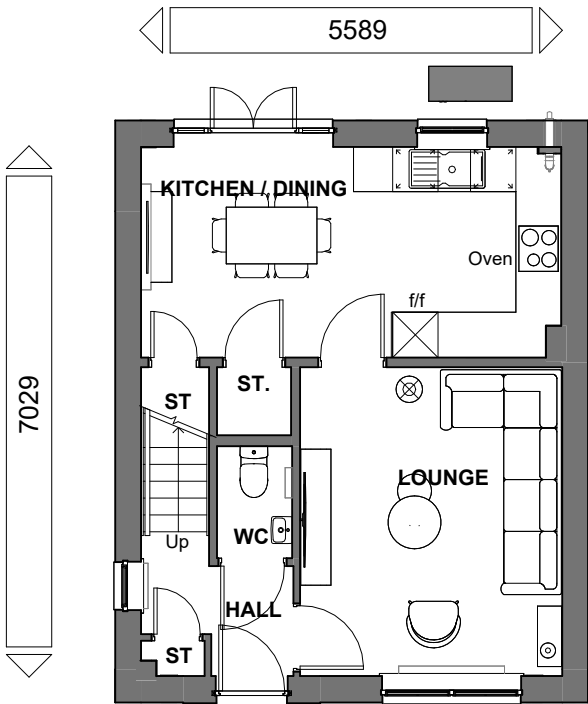
FRONT ELEVATION



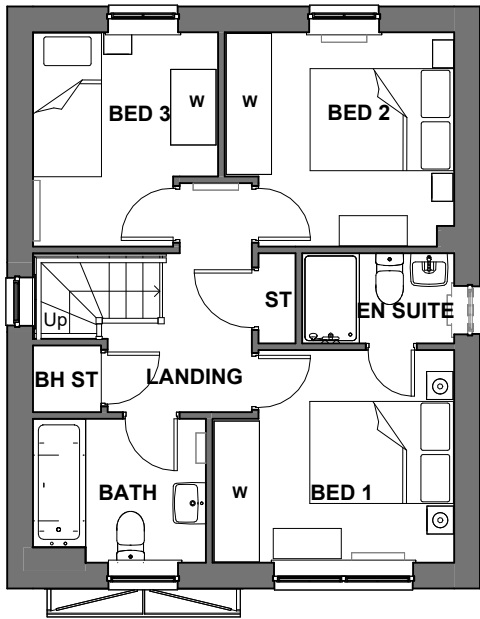
REAR ELEVATION



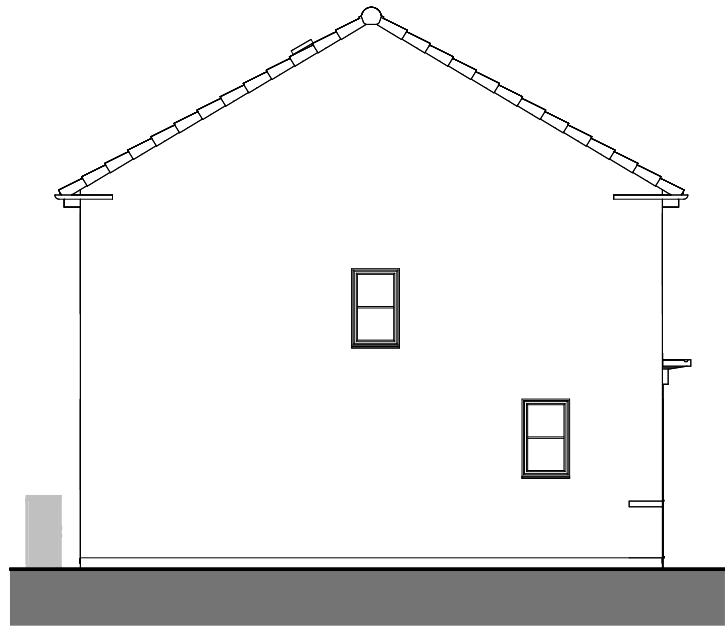
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 848 ft² / 78.8 m²

Sales Name: Collaton (Det) - TF

House Type Code: BCLA LTGD

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: OCT 2023

Scale: 1 : 100 @ A3

WARNING TO HOUSE-PURCHASERS

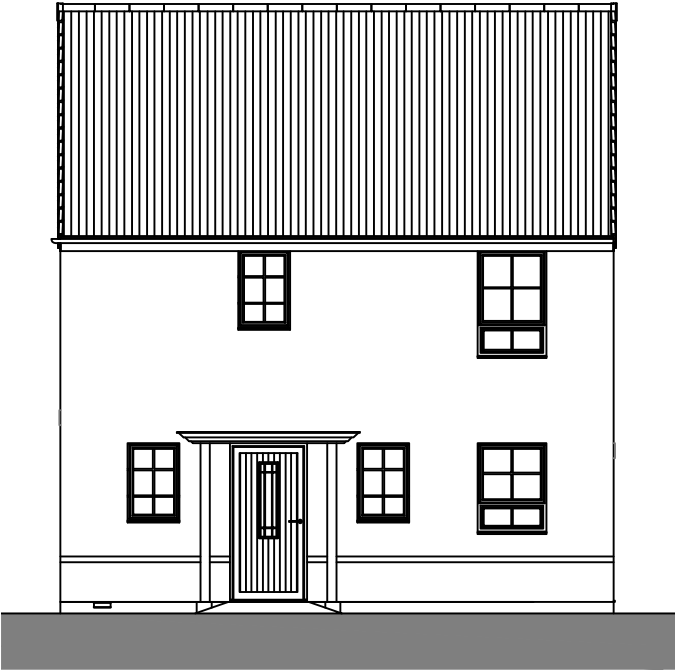
Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content, and dimensions specified are included for general guidance only. Whilst we make every effort to ensure our drawings are up to date there may from time to time be an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

Planning

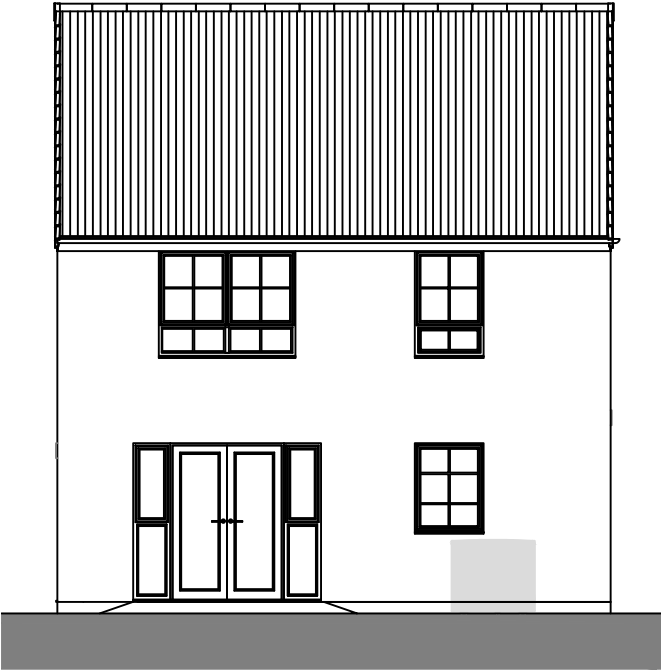
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Feb 2025



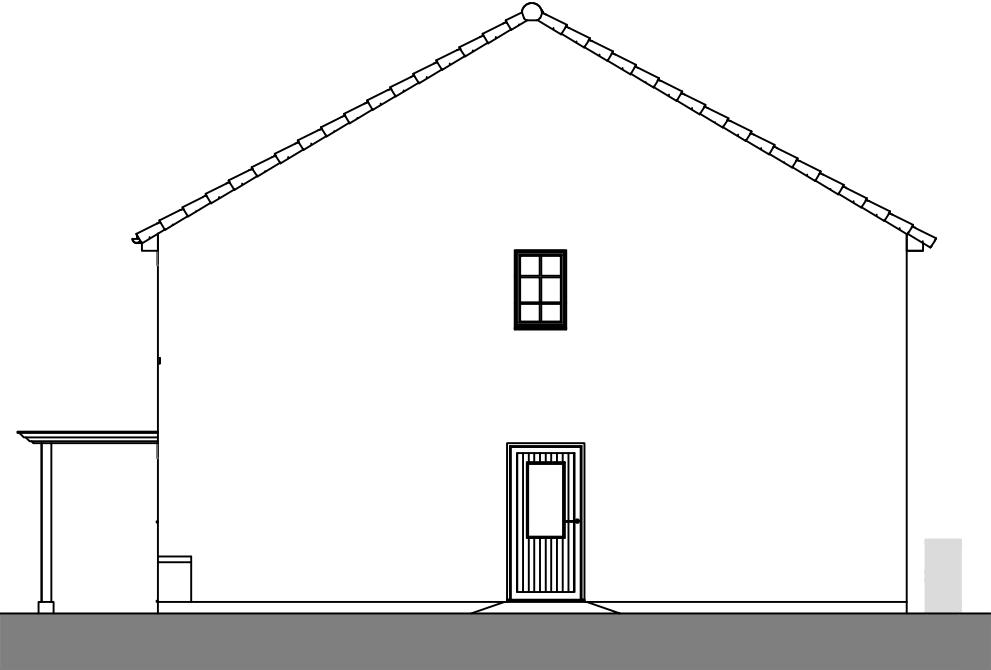
BARRATT
DEVELOPMENTS PLC



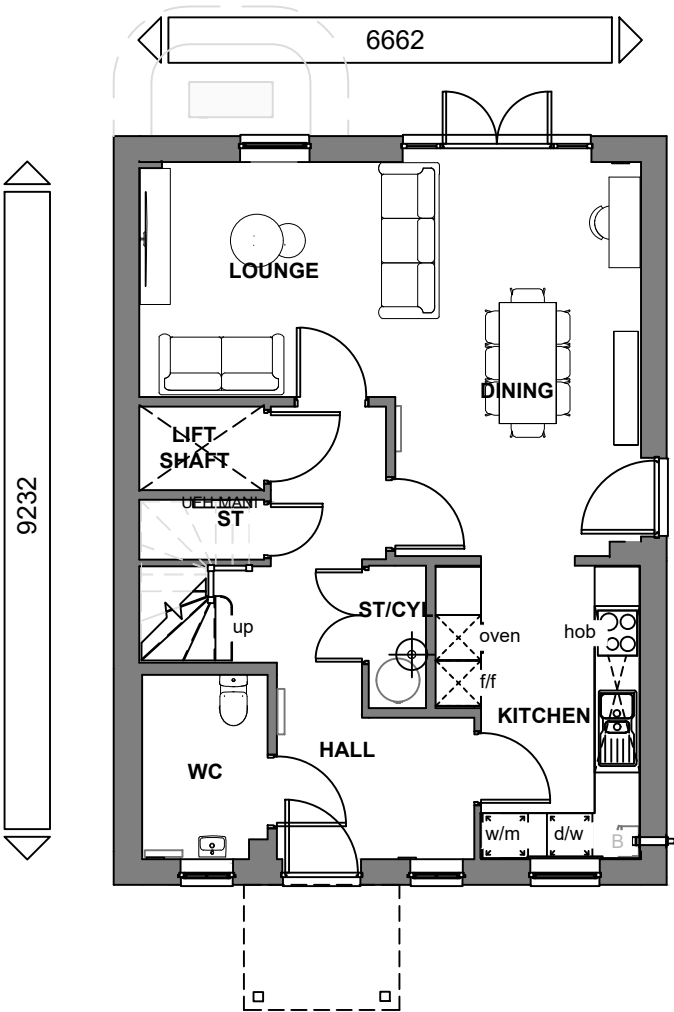
FRONT ELEVATION



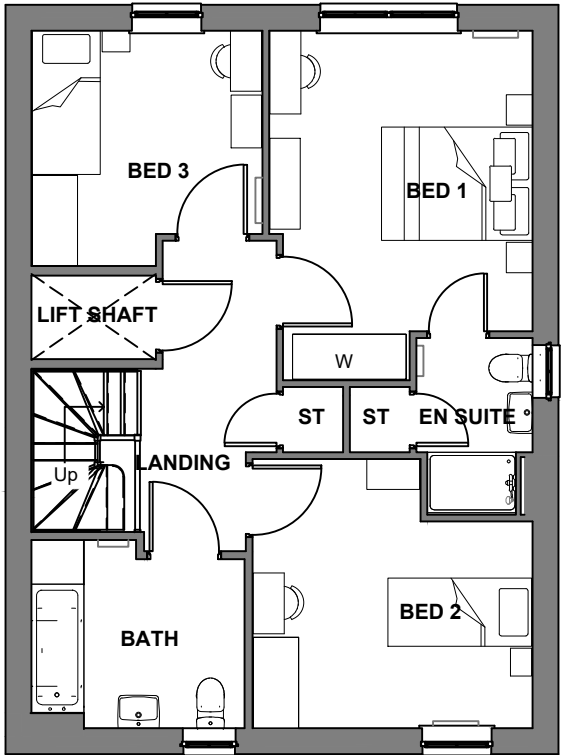
REAR ELEVATION



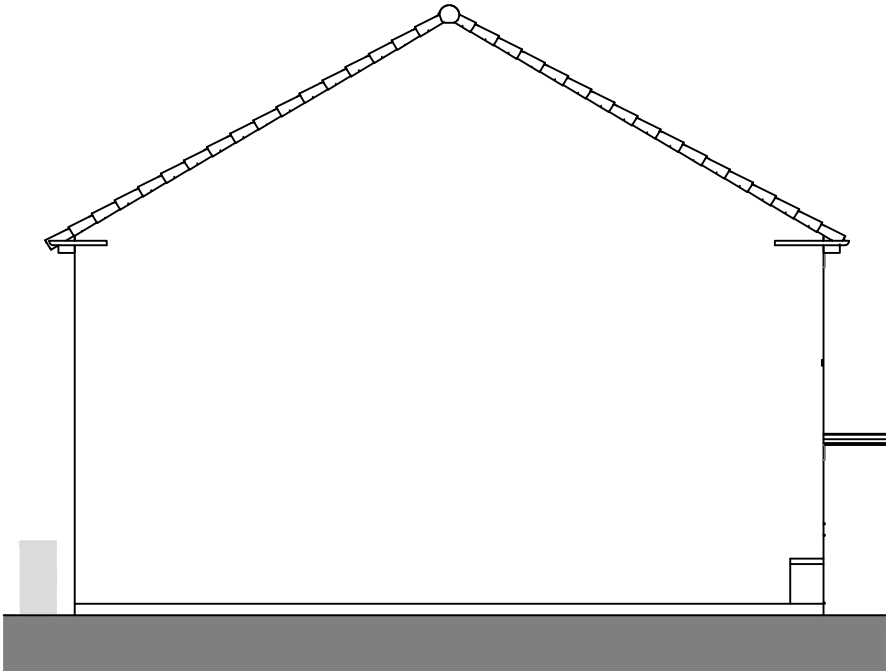
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION



BARRATT
DEVELOPMENTS PLC

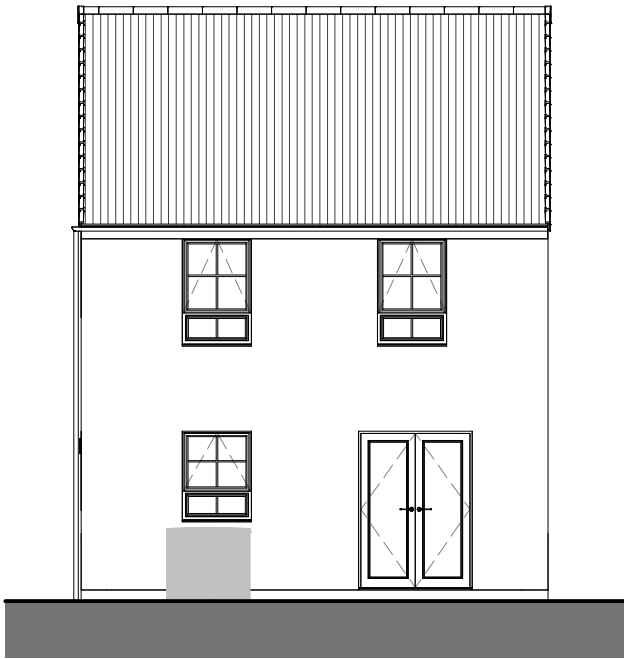
Planning	
Rev	Date

WARNING TO HOUSE-PURCHASERS
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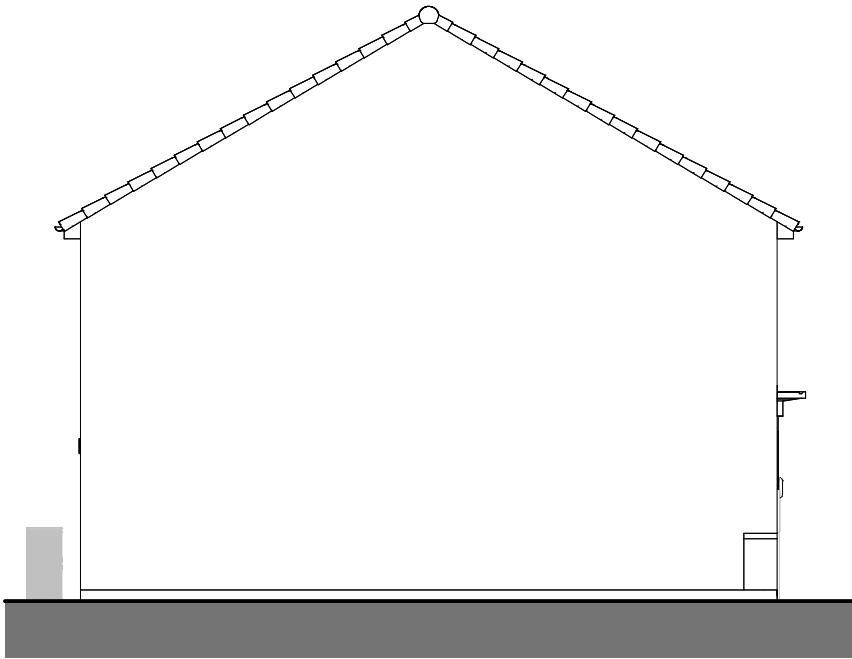
Floor Area: 1342 ft² / 124.7 m²
Sales Name: Hemlock (Det) - TF
House Type Code: ZHLK LTGD
Spec: AMBASSADOR Drawing No: 01
Date: May 2025
Drawn: GDT
Checked: GDT
Scale: 1 : 100 @ A3



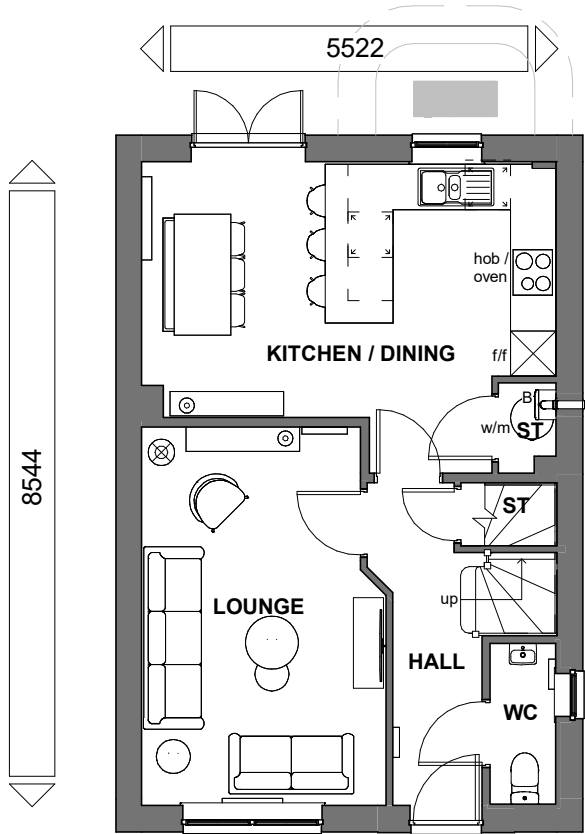
FRONT ELEVATION



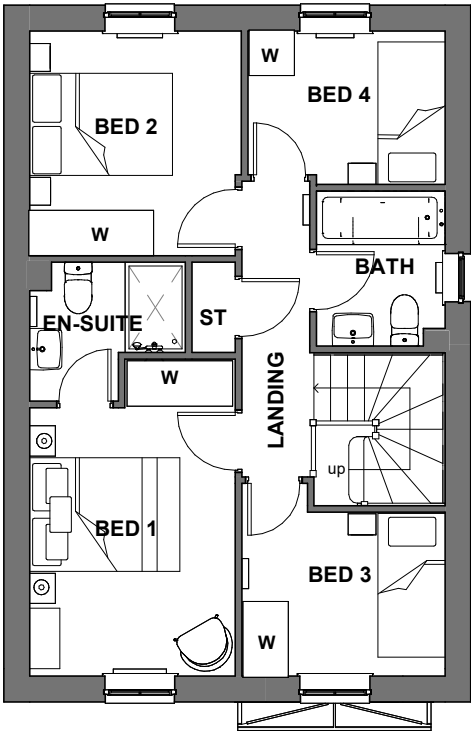
REAR ELEVATION



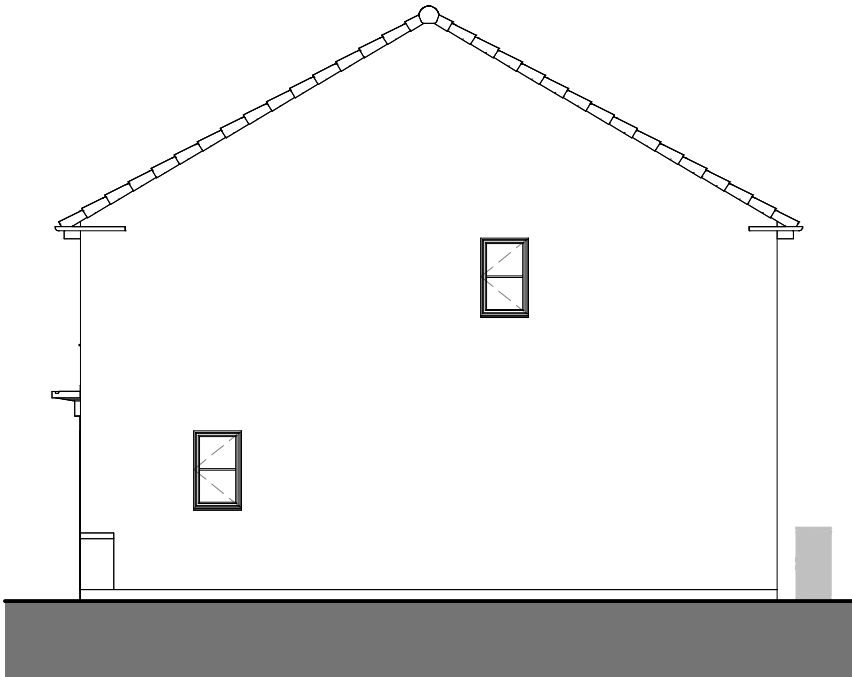
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

Floor Area: 1016 ft² / 94.4 m²

Sales Name: Chester (Det) - TF
House Type Code: BCSR LTGD
Spec: EMBASSY Drawing No: 01 Date: Jun 2023
Drawn: GDT Checked: GDT Scale: 1 : 100 @A3

WARNING TO HOUSE-PURCHASERS
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Planning	
Rev	Description
A	Furniture & store updated. Gas greyed out. Media plate replaced. Hot water cylinder, ASHP and underfloor heating manifold added
Date	Feb 2025



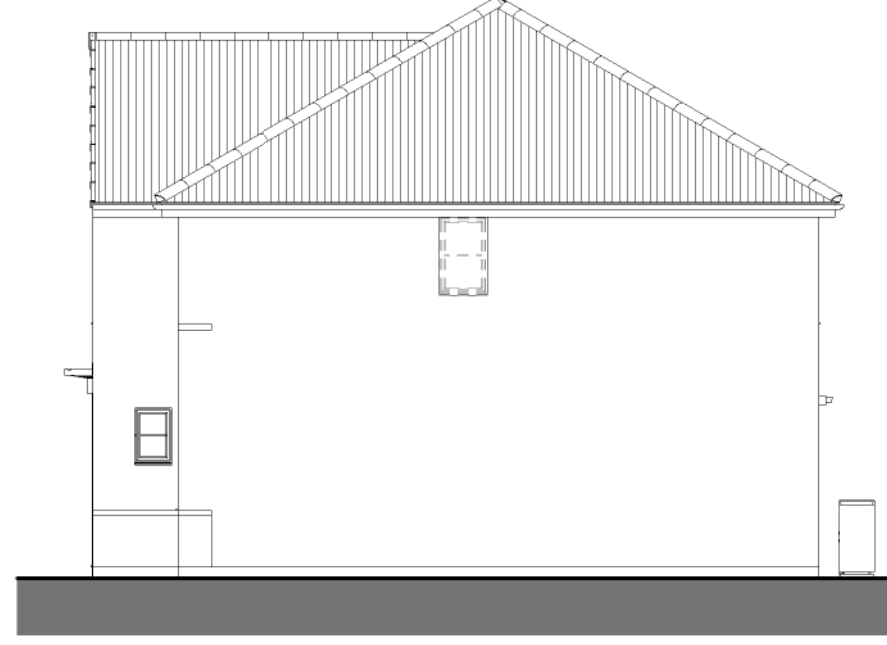
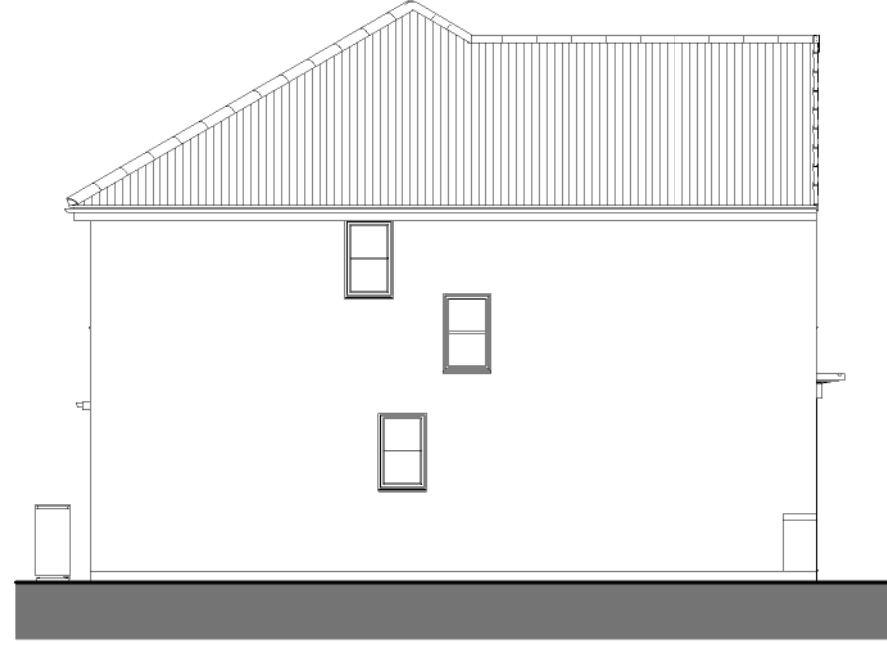
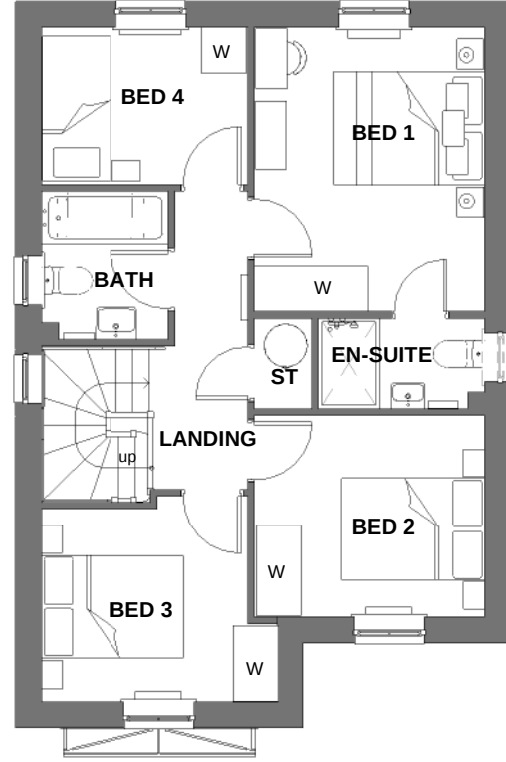
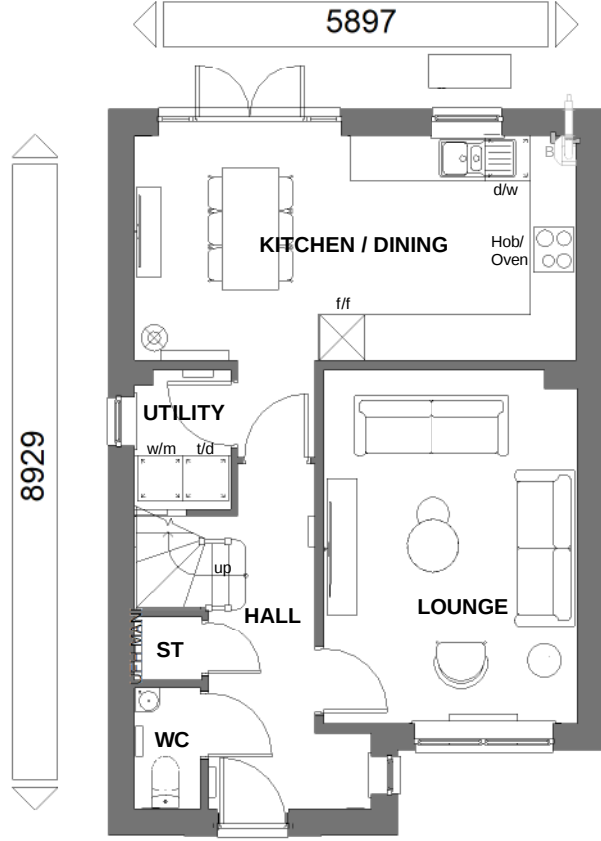
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WARNING TO HOUSE-BUYERS

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[illegible]



Floor Area: 1068 ft² / 99.2 m²

Sales Name: Kingsley (Det) - TF

House Type Code: BKEY LTHD

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: JUN 2023

Scale: 1 : 100 @ A3

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Planning

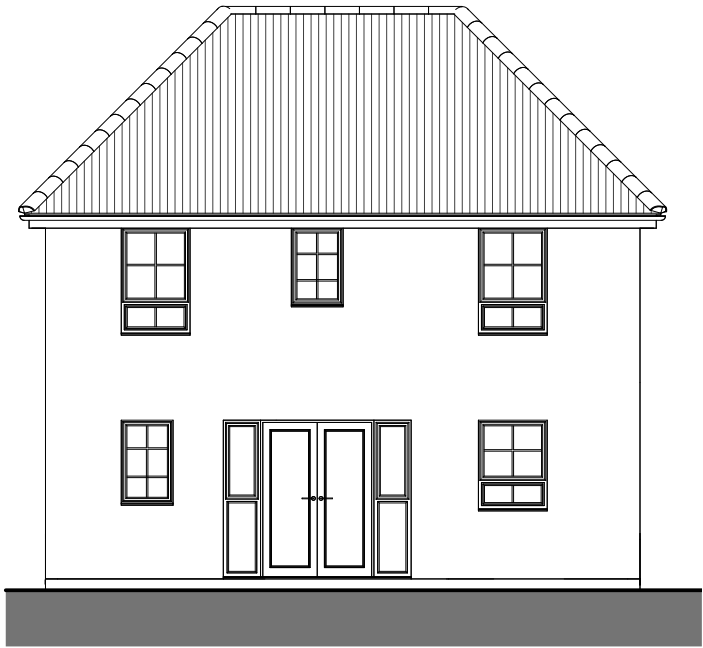
Rev	Description	Date
A	Refer to Data Sheet for Full Revision Description	Mar 2024
B	Refer to Data Sheet for Full Revision Description	Feb 2025



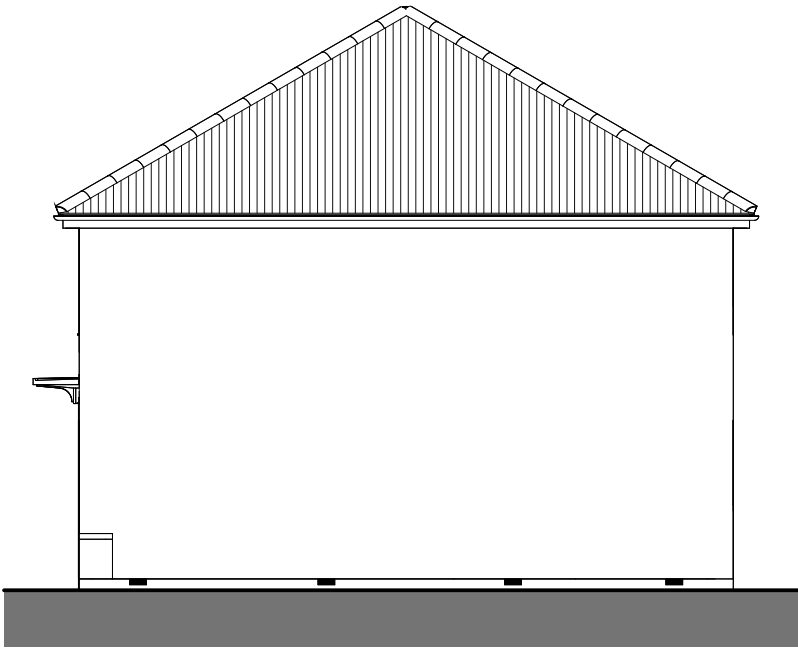
BARRATT
DEVELOPMENTS PLC



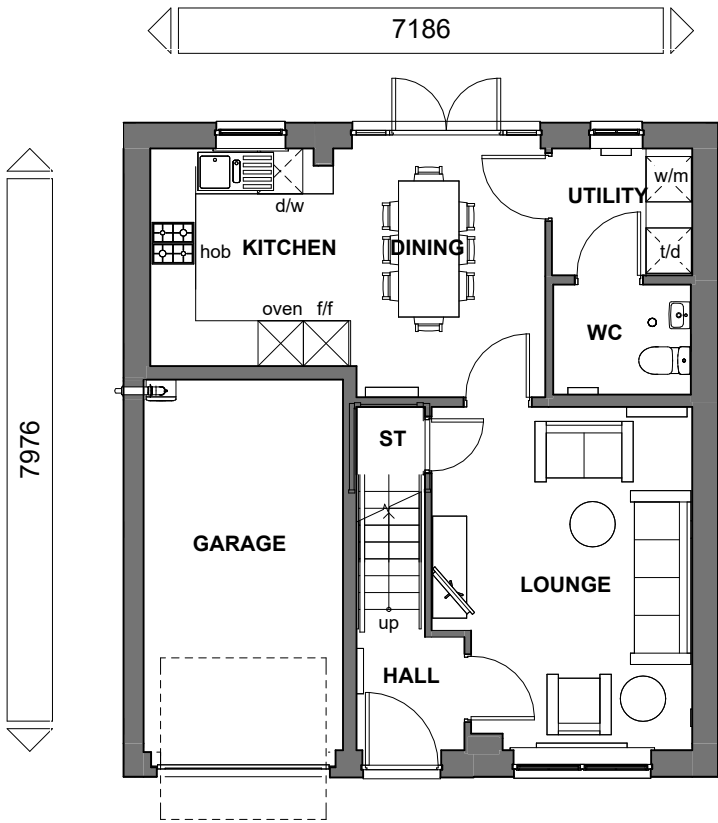
FRONT ELEVATION



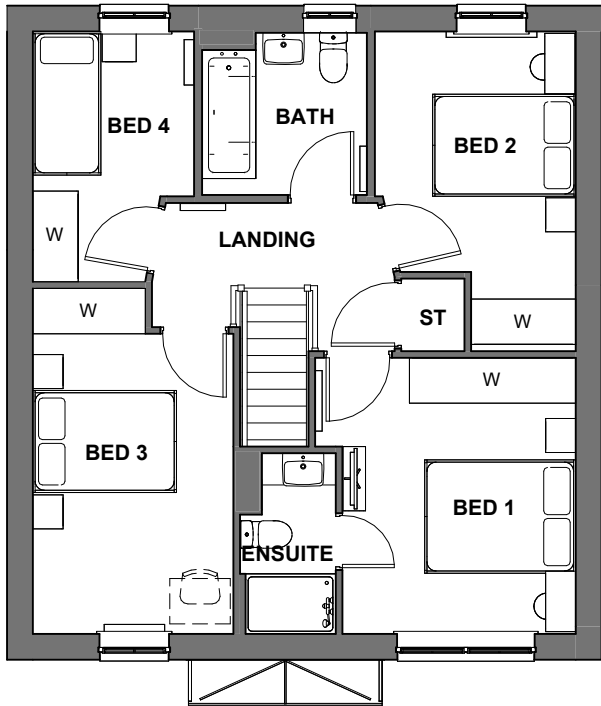
REAR ELEVATION



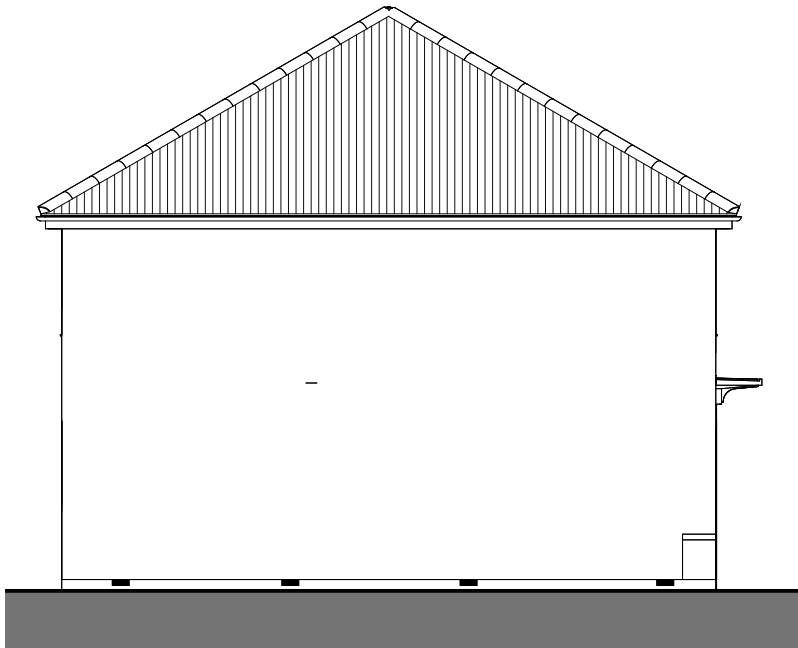
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION



Planning		Rev	Description	Date
A	Refer to data sheet for full revision information			June 2025

WARNING TO HOUSE-PURCHASERS

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Floor Area: 1091 ft² / 101.4 m²

Sales Name: Kite (Det) TF

House Type Code: CKTE LTHD

Spec: EMBASSY Drawing No: 01 Date: Dec 2024

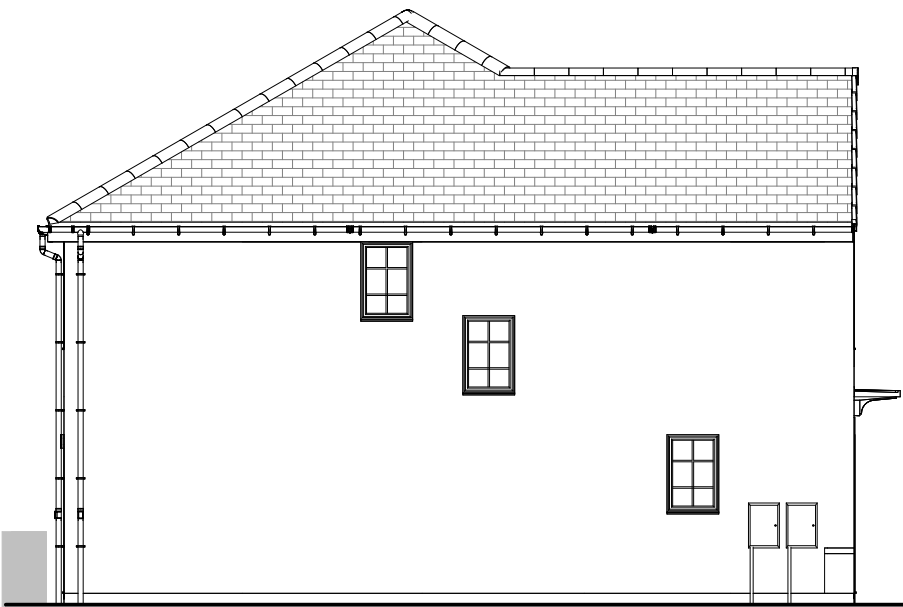
Drawn: GDT Checked: GDT Scale: 1 : 100 @ A3



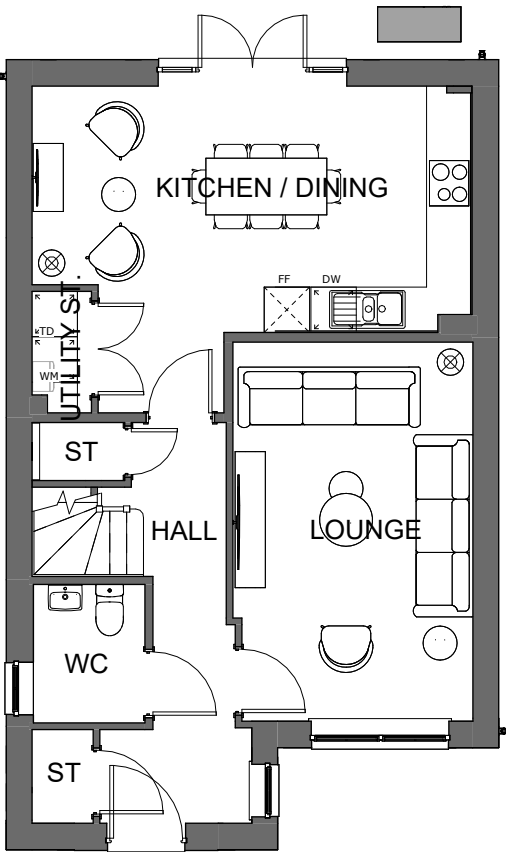
FRONT ELEVATION



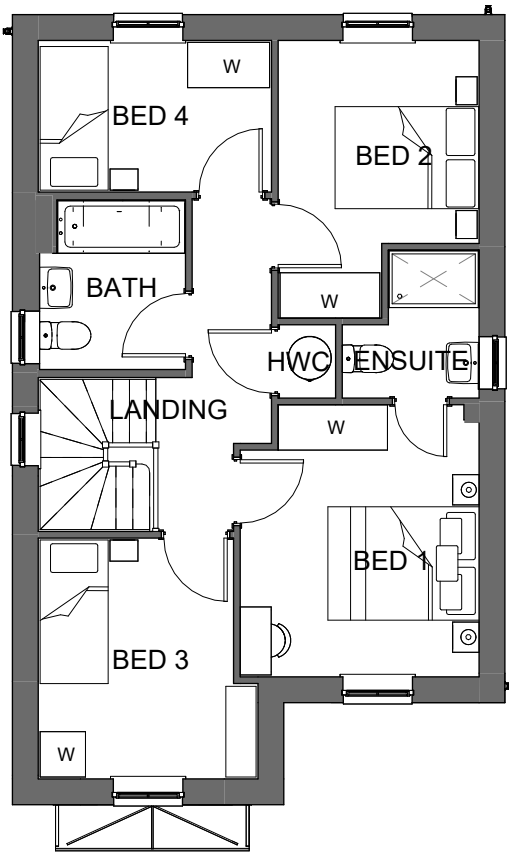
REAR ELEVATION



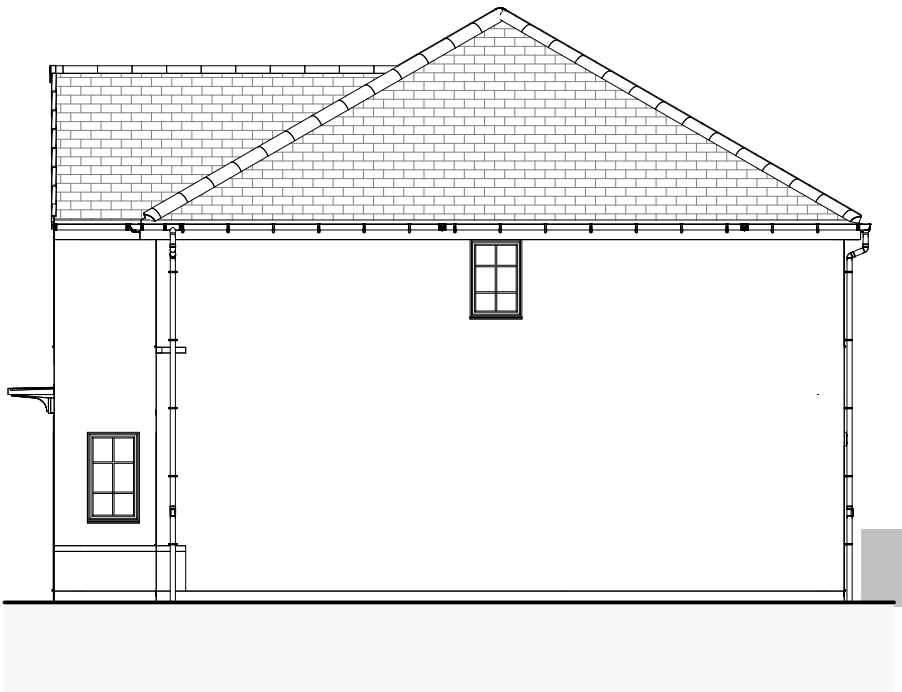
L.H. SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



R.H. SIDE ELEVATION

INTERNAL AREA SCHEDULE (TO INNER FACE OF STRUCTURE)		
FLOOR	METRIC AREA	IMPERIAL AREA
GROUND FLOOR	53.35 m ²	574.23 SF
FIRST FLOOR	53.50 m ²	575.83 SF
	106.84 m ²	1150.05 SF

INTERNAL AREA SCHEDULE (TO INNER FACE OF PLASTERBOARD)		
FLOOR	METRIC AREA	IMPERIAL AREA
GROUND FLOOR	52.88 m ²	569.17 SF
FIRST FLOOR	53.03 m ²	570.78 SF
	105.90 m ²	1139.95 SF

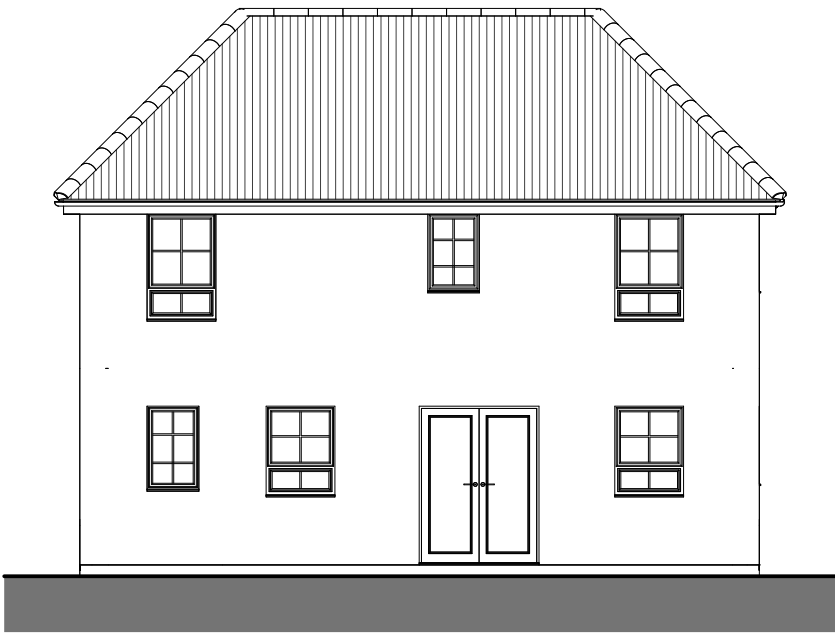
Revision History		
Revision	Date	Description
A	Sep 2025	Refer to data sheet for full list of revisoins
B	Mar 2026	Refer to data sheet for full list of revisoins

HT Code: CNJR_LTHD_DS02		Housetype Name: Nightjar	
Site: Group Standard		Plot numbers:	
Description: Planning Drawing		Scale at A3: 1 : 100	
Suitability: For Information		Revision: B	
project	originator	functional breakdown	spatial
GDT_X	- XXX	- XXXXXXXX	- XX
form	discipline	number	
DR	- AR	- 00801	





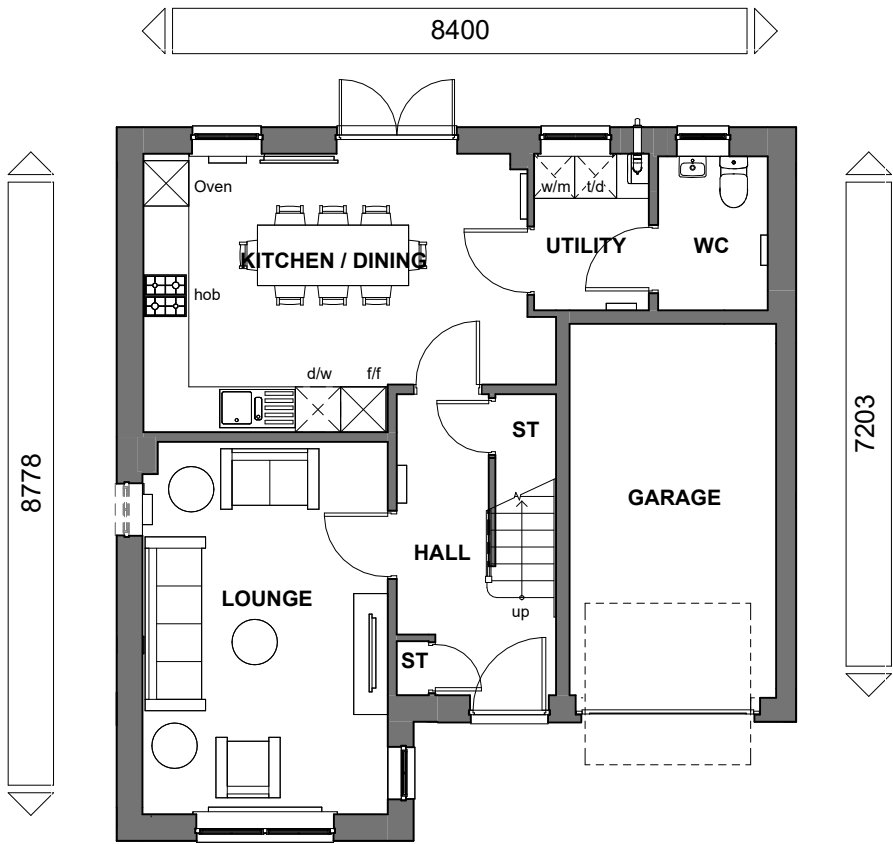
FRONT ELEVATION



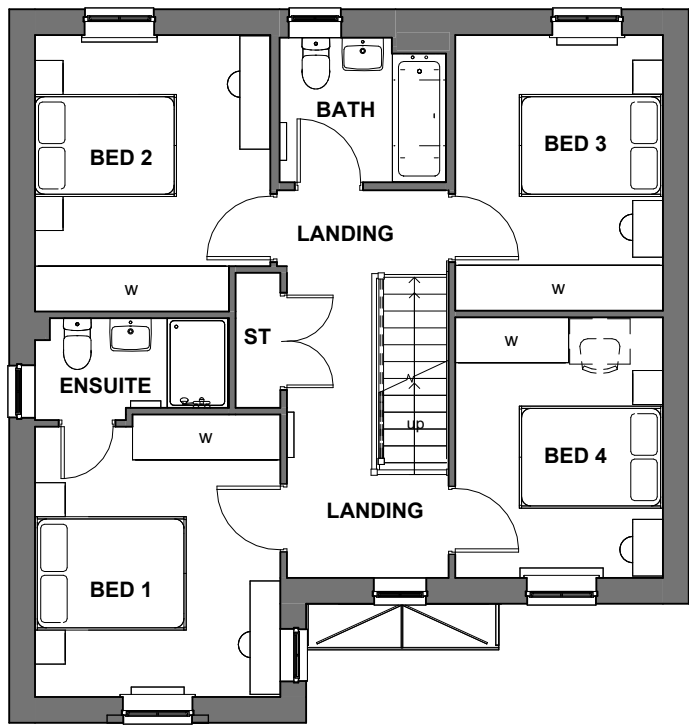
REAR ELEVATION



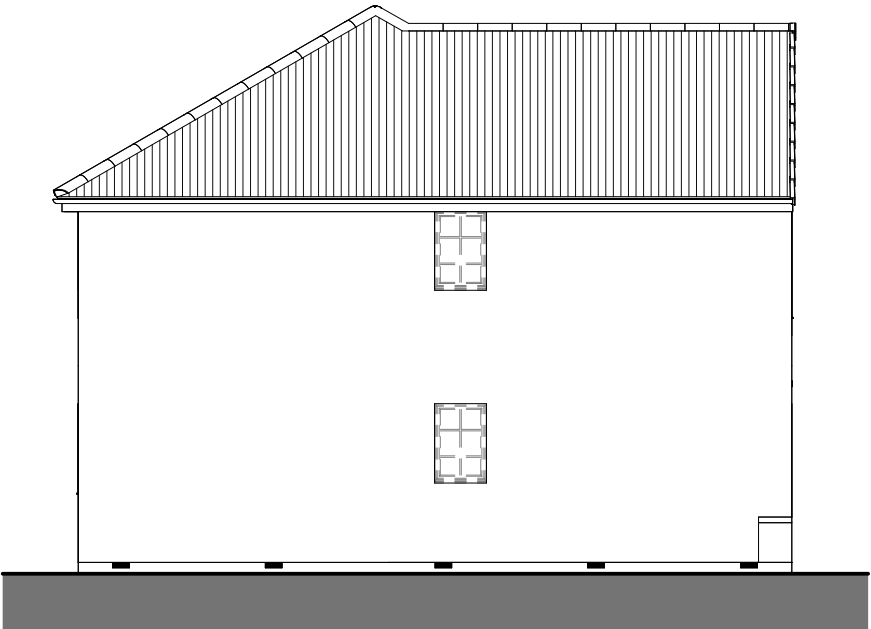
SIDE ELEVATION



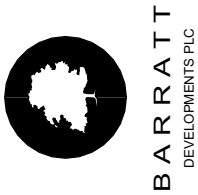
GROUND FLOOR



FIRST FLOOR



SIDE ELEVATION

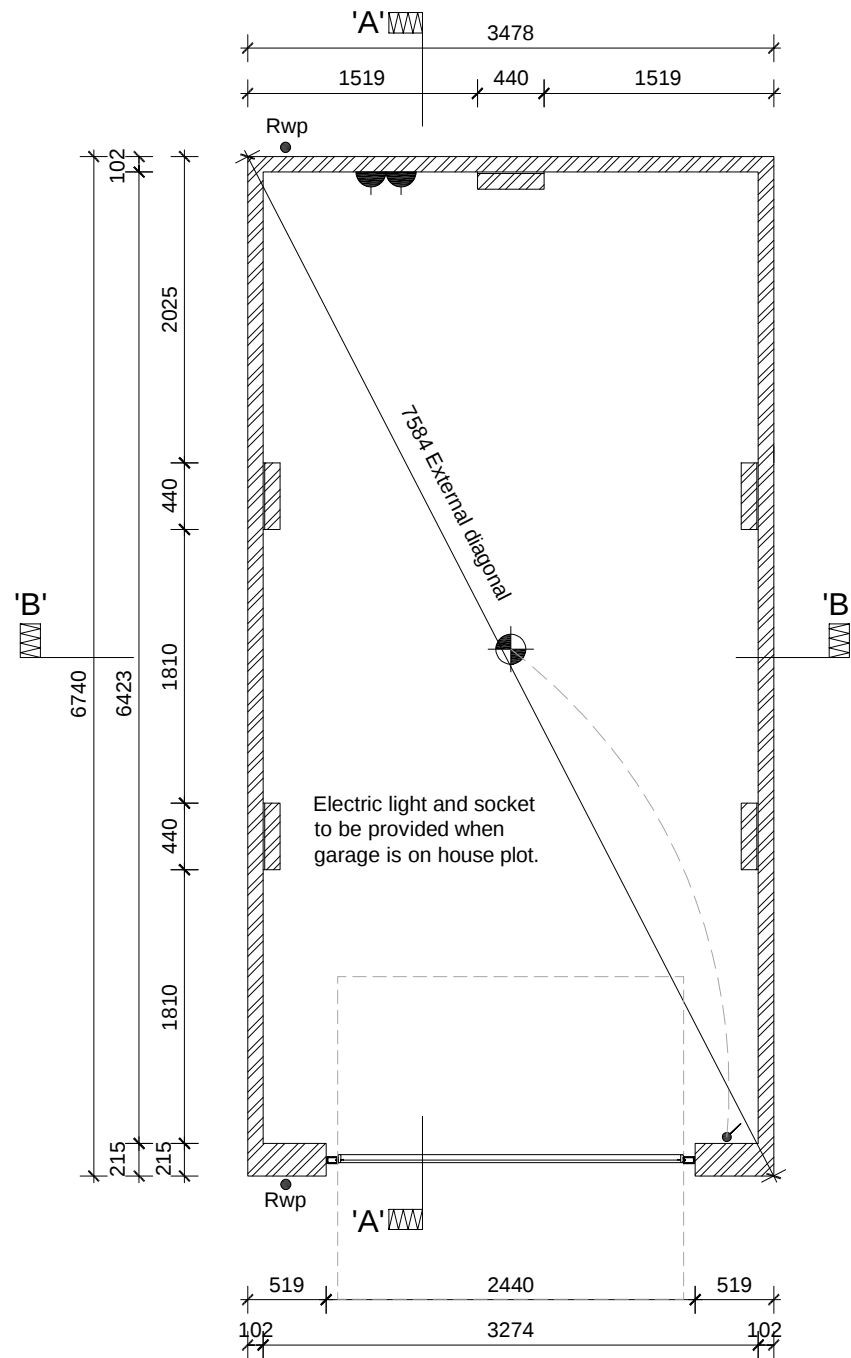


Planning	
Rev	Date

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Floor Area: 1247 ft² / 115.8 m²

Sales Name: Soay (Det) - TF
House Type Code: CSOY LTHD
Spec: EMBASSY Drawing No:01 Date: Jan 2025
Drawn: GDT Checked: GDT Scale: 1 : 100 @A3



FLOOR PLAN

Solid brick internal piers to continue up the full height of the wall from foundation level. Ancon SPS C3 wall ties (or similar approved) staggered @ 375mm c/s vertically to tie piers to external brickwork (Refer to Section A-A / B-B for setting out). Lateral restraint straps to be provided at ceiling level to tie in with the pier locations.

RWP positions may differ from shown. For actual locations, refer to site specific drainage layout.

GARAGE DOOR FRAME SIZE:

7'6" x 7'2" (2286x2200). Frame to be fitted behind piers.

O/A frame width = 2286 + 140 = 2426

O/A frame height = 2200+45 = 2245

KEY:

Facing Brickwork (Ext Walls - Ext Leaf).

Double sockets, pendant light and light switch only to be provided when garage is positioned on the same plot as accompanying house.

- Double Socket.
- Pendant Light.
- Light Switch.

LSG1G8 GTO CODE: GLD8 SDHR



DAVID
WILSON
HOMES



BARRATT
DEVELOPMENTS PLC

Brand: BARRATT / DAVID WILSON HOMES

Range: DUAL BRANDED GARAGES = 6x3

Title: SINGLE - FLOOR PLAN

Detail No: LSG1G8 - Gable Option

Drawn: GDT

Checked: GDT

Scale: 1:50

Date: June 24

Date: Feb 26

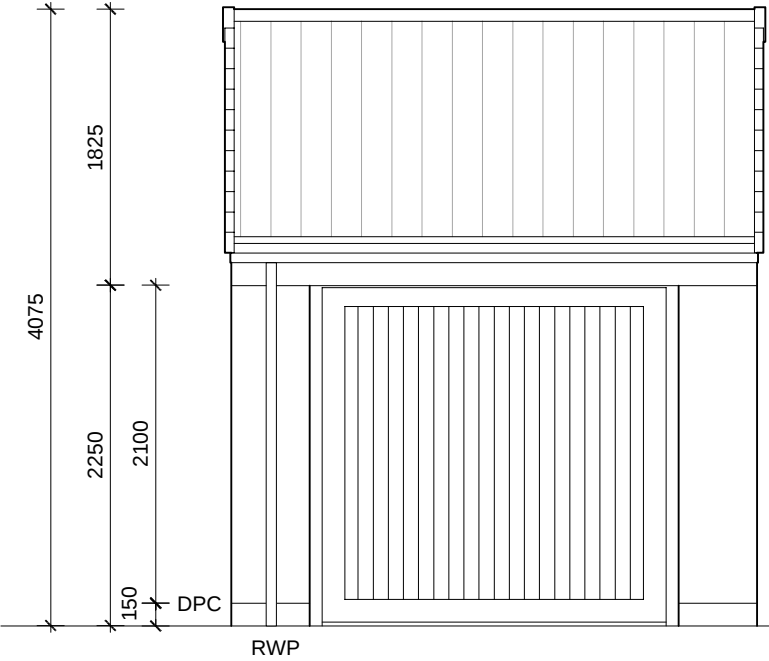
Description: Refer to data sheet for full details.

Rev: A

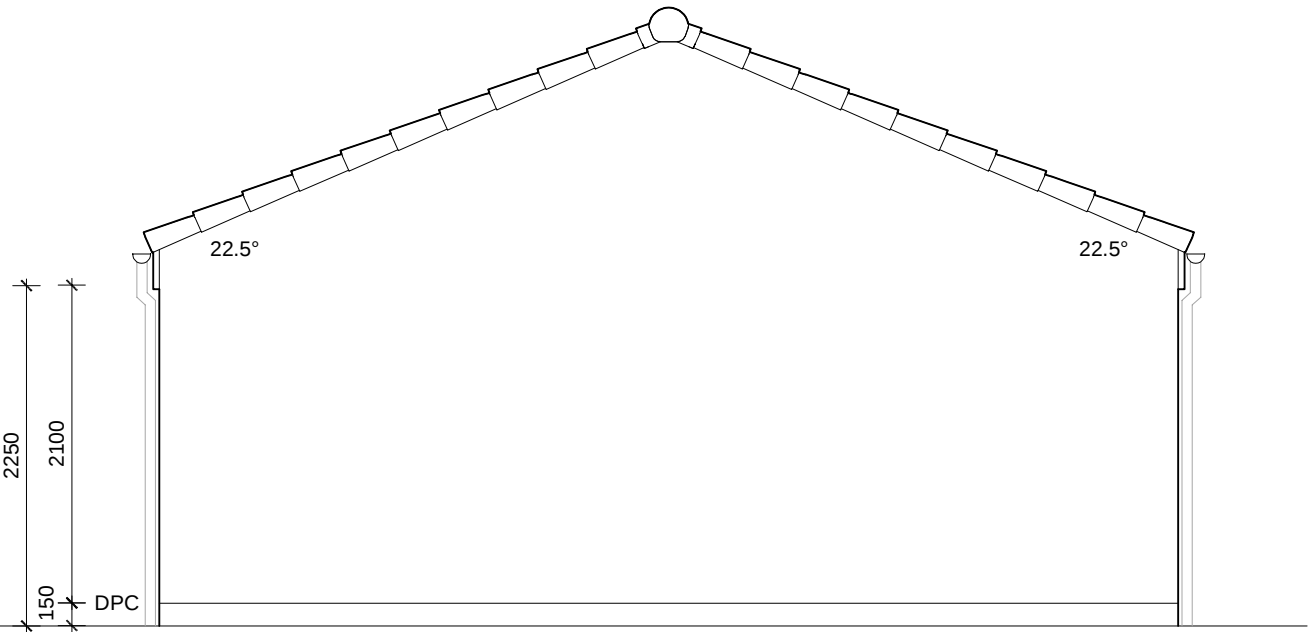
300mm PVC Fascia Board and
PVC Dry Verge to match.

PVC rainwater goods.

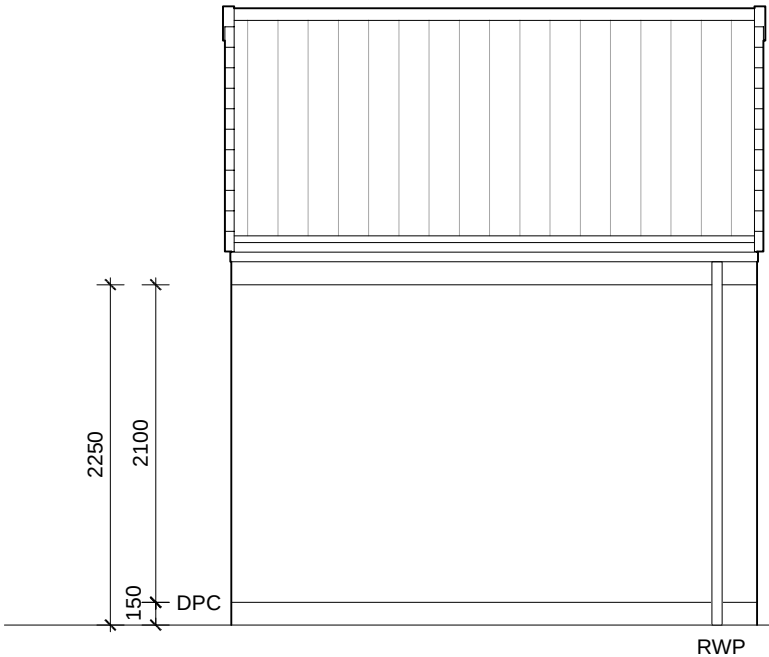
RWP positions may differ from
shown. For actual locations,
refer to site specific drainage
layout (Avoid RWP's positioned
to front elevation where
possible).



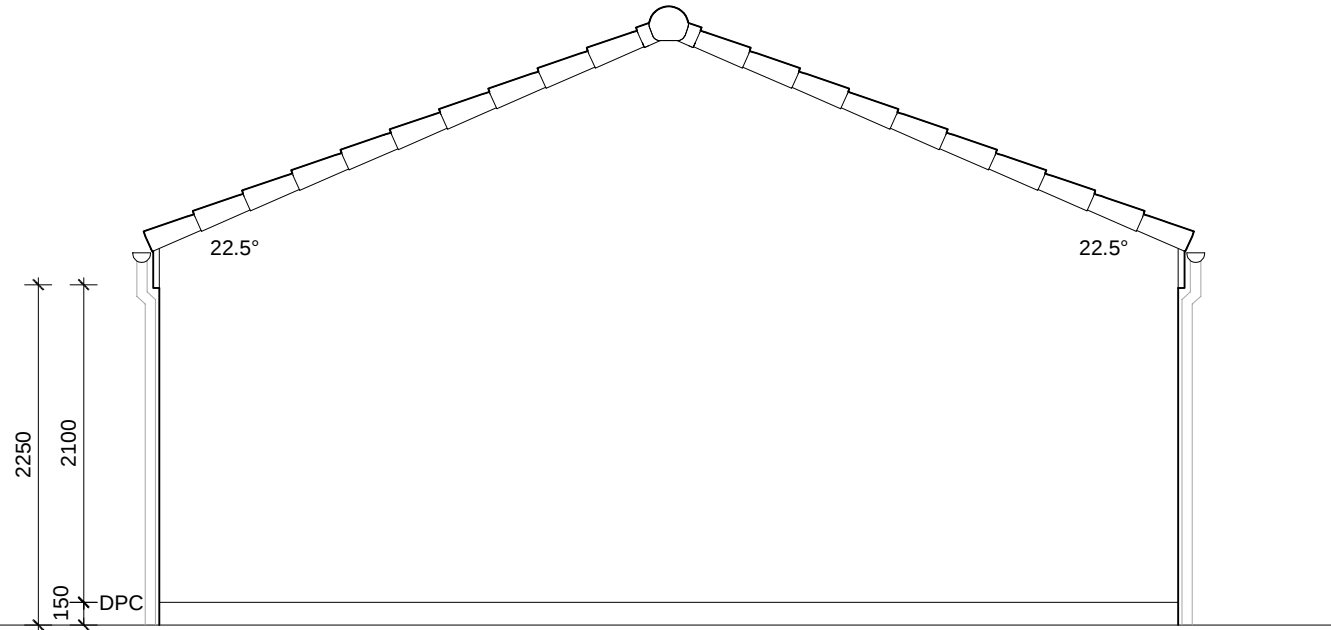
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

LSG1G8 GTO CODE: GLD8 SDHR

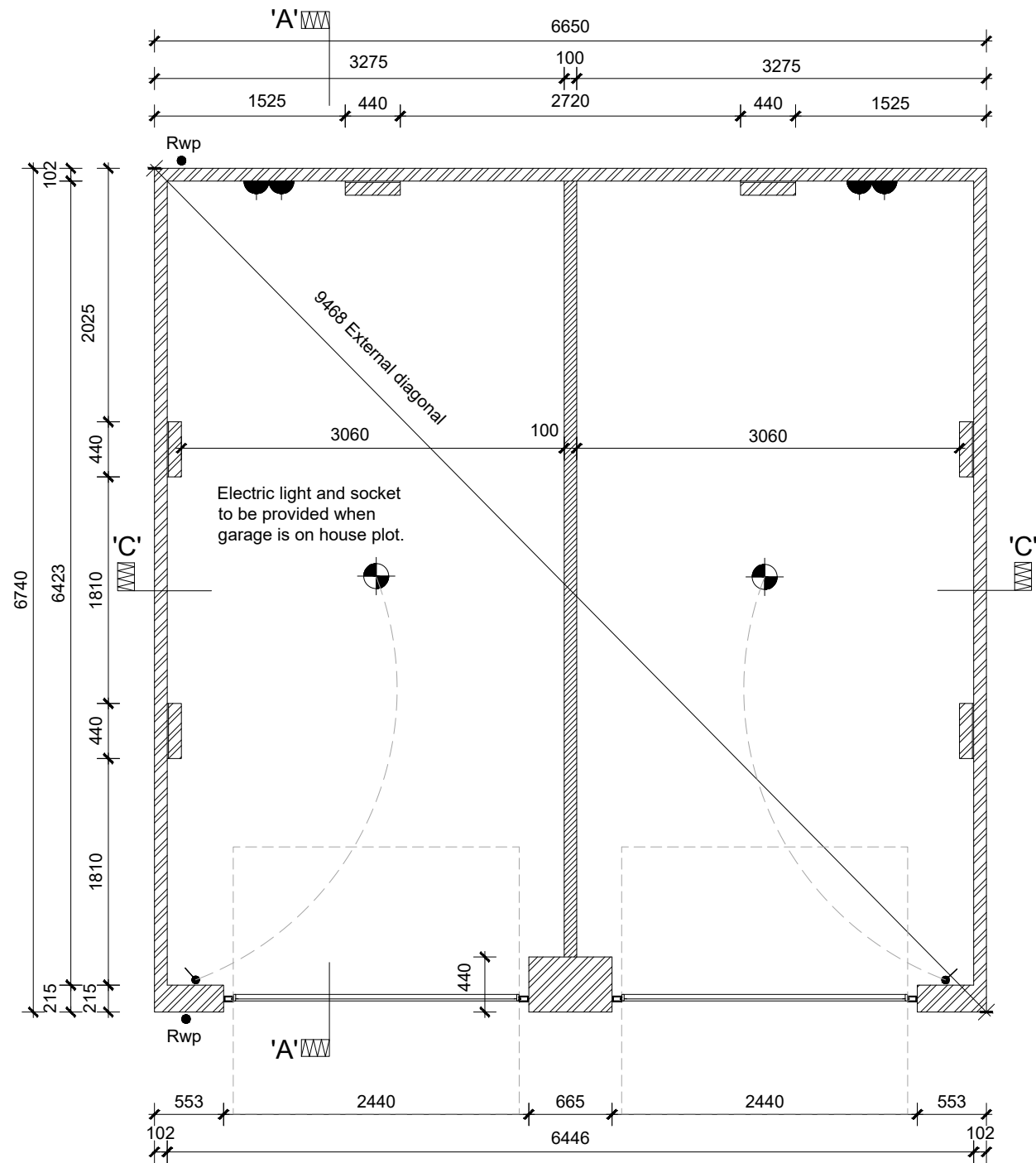


Date:

Description:
Refer to data sheet for full details.

Rev:

Brand: **BARRATT / DAVID WILSON HOMES**
Range: **DUAL BRANDED GARAGES - 6x3**
Title: **SINGLE - ELEVATIONS**
Detail No: **LSG1G8 - Gable Option**
Drawn: **GDT** Checked: **GDT** Scale: **1:50** Date: **June 24**



FLOOR PLAN

Solid brick internal piers to continue up the full height of the wall from foundation level. Ancon SPS CJ wall ties (or similar approved) staggered @ 375mm c/s vertically to tie piers to external brickwork (Refer to Section A-A / B-B for setting out). Lateral restraint straps to be provided at ceiling level to tie in with these pier locations.

RWP positions may differ from shown. For actual locations, refer to site specific drainage layout.

GARAGE DOOR FRAME SIZE:

7'6" x 7'2" (2286x2200). Frame to be fitted behind piers.

O/A frame width = 2286 + 140 = 2426

O/A frame height = 2200+45 = 2245

KEY:

-  Facing Brickwork (Ext Walls - Ext Leaf).
-  Lightweight Aggregate Blockwork (3.6N/mm2) to medium density 1350 kg/m3 - 1600 kg/m3.

Double sockets, pendant light and light switch only to be provided when garage is positioned on the same plot as accompanying house.

-  Double Socket.
-  Pendant Light.
-  Light Switch.

LDG2G8 GTO CODE: GLD8 SSHR

Date:
Feb 26

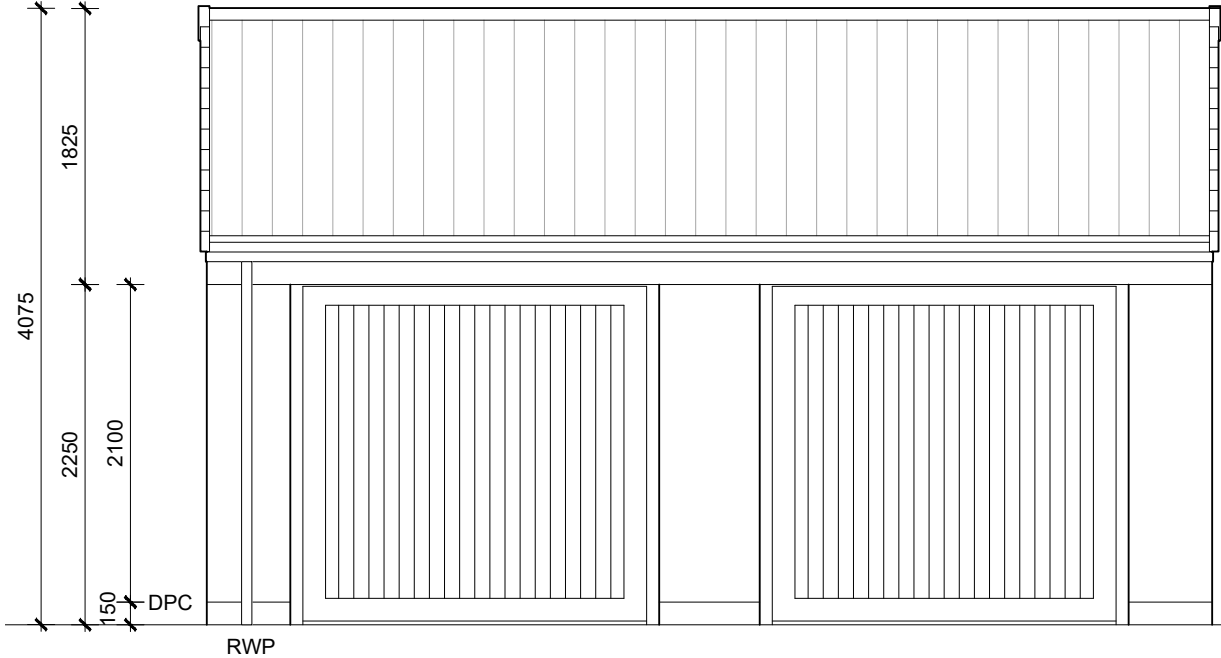
Description:
Refer to data sheet for full details.

Rev:
A

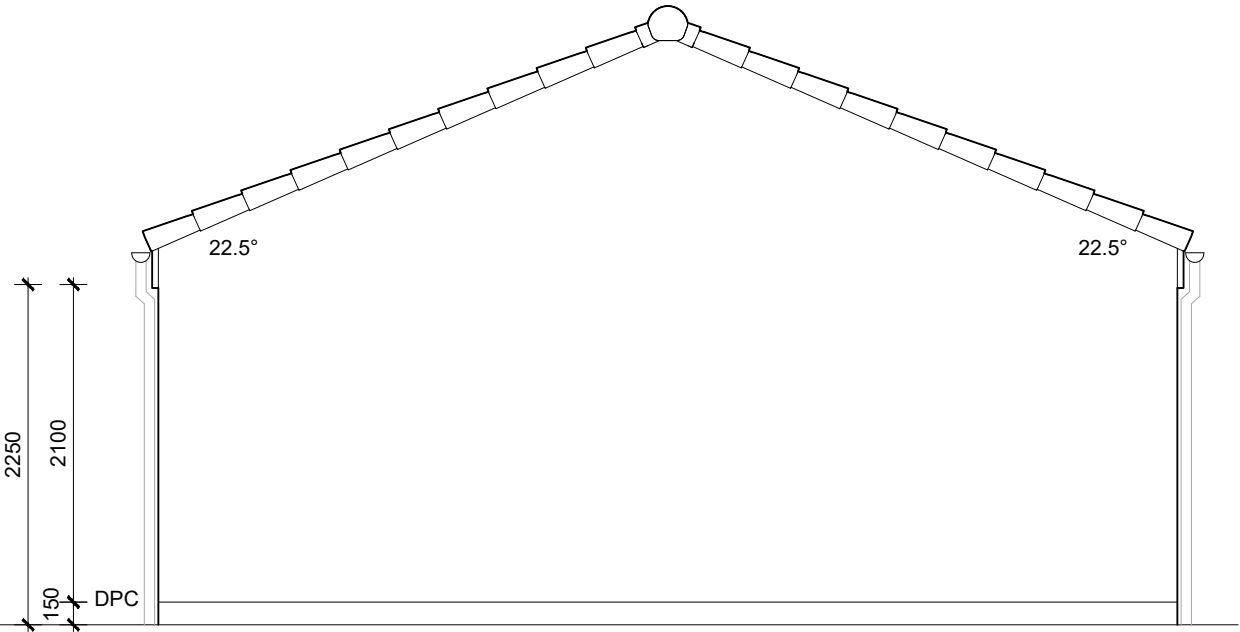
300mm PVC Fascia Board and
PVC Dry Verge to match.

PVC rainwater goods.

RWP positions may differ from
shown. For actual locations,
refer to site specific drainage
layout (Avoid RWP's positioned
to front elevation where
possible).



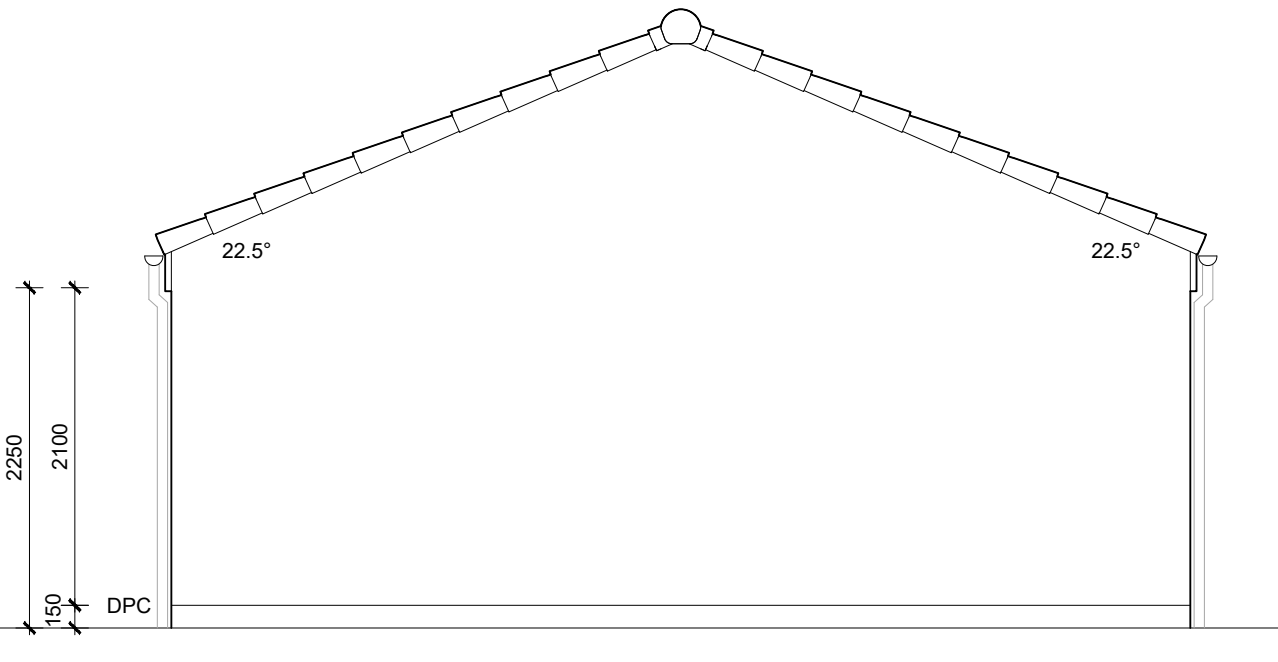
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

LDG2G8 GTO CODE: GLD8 SSHR



DAVID
WILSON
HOMES



BARRATT
DEVELOPMENTS PLC

Date:

Description:
Refer to data sheet for full details.

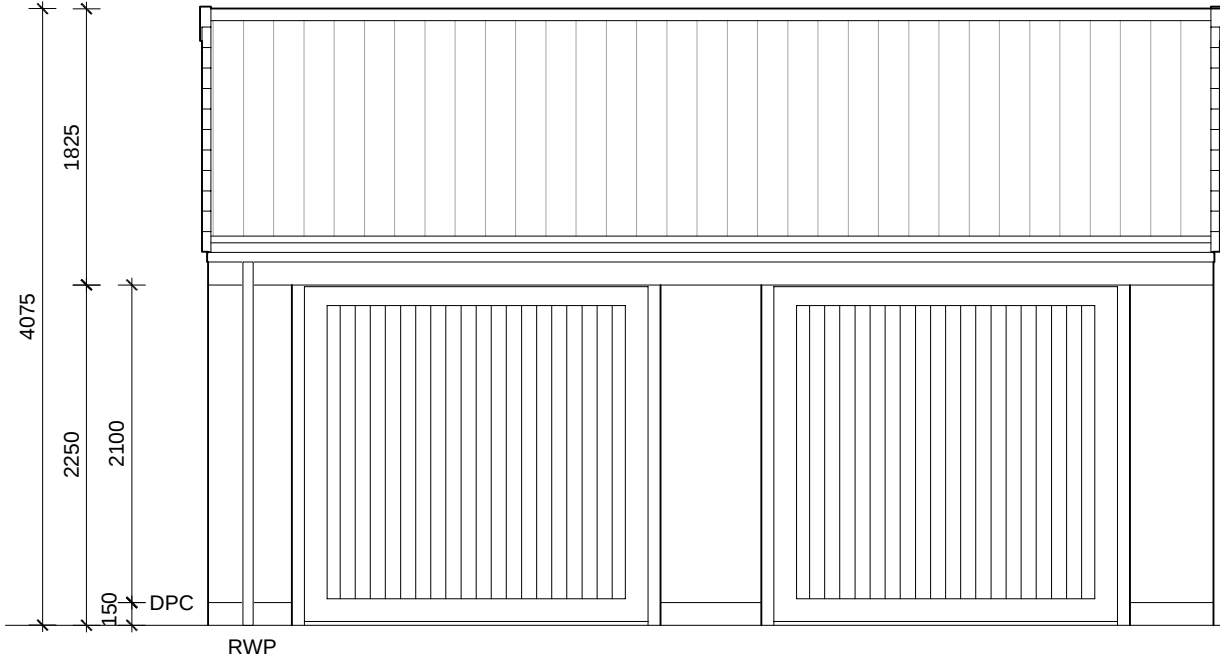
Rev:

Brand: **BARRATT / DAVID WILSON HOMES**
Range: **DUAL BRANDED GARAGES - 6x3**
Title: **2 X SINGLE - ELEVATIONS**
Detail No: **LDG2G8 - Gable Option**
Drawn: **GDT** Checked: **GDT** Scale: **1:50** Date: **June 24**

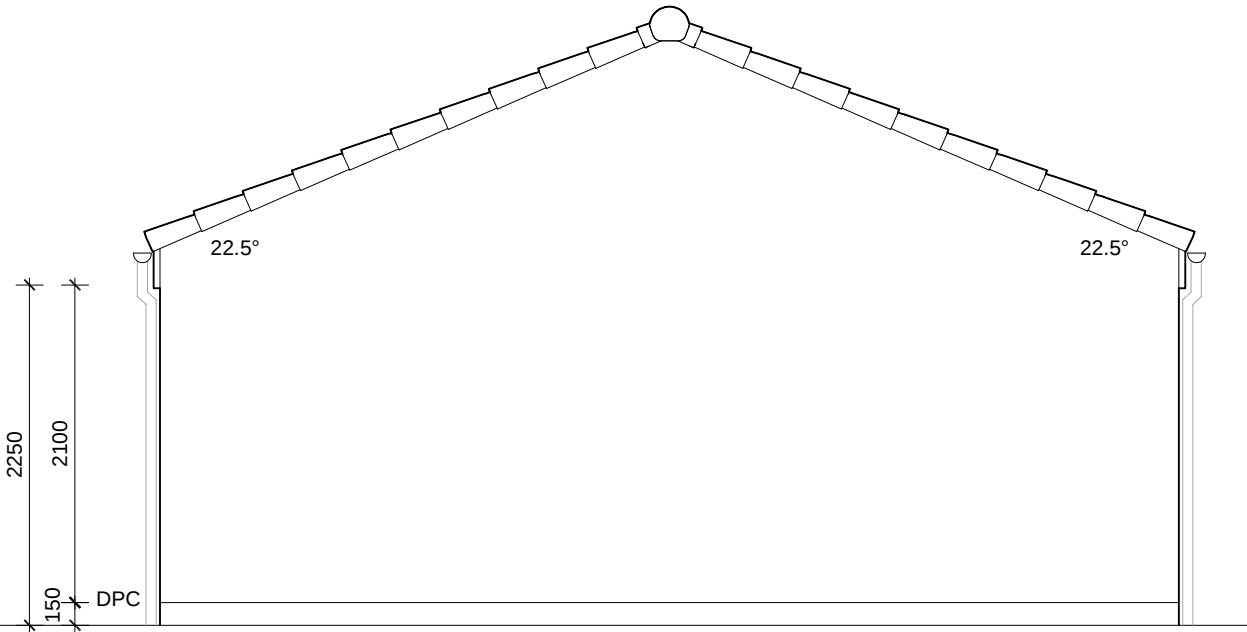
300mm PVC Fascia Board and
PVC Dry Verge to match.

PVC rainwater goods.

RWP positions may differ from
shown. For actual locations,
refer to site specific drainage
layout (Avoid RWP's positioned
to front elevation where
possible).



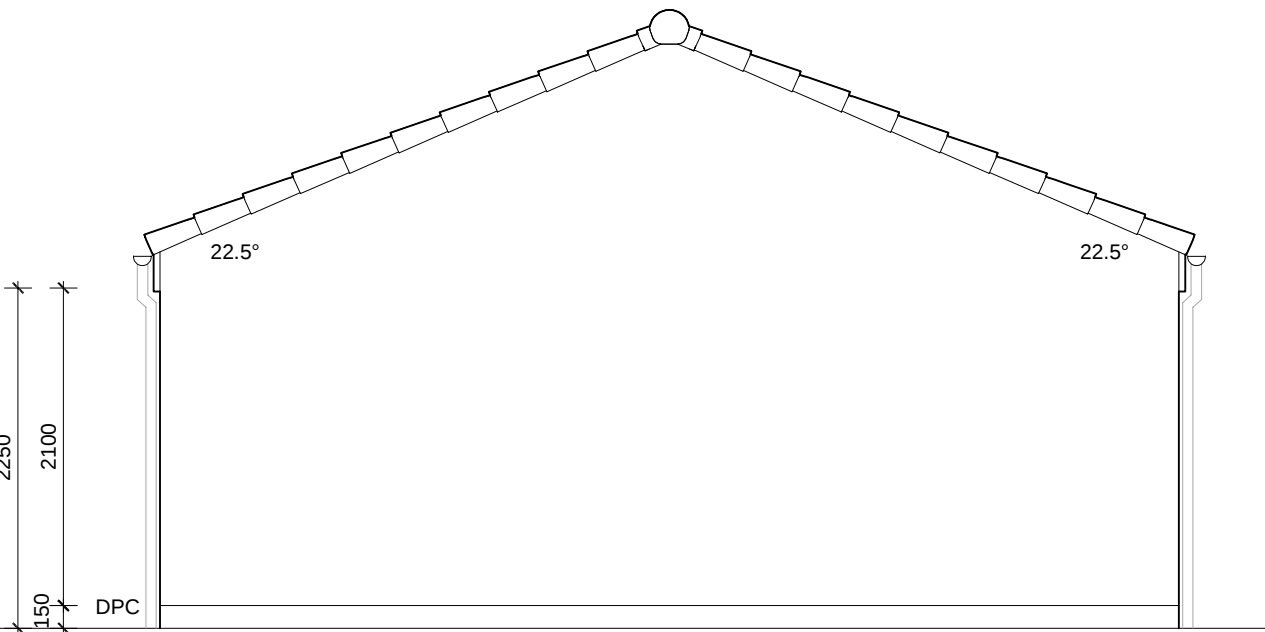
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

LDG1G8 GTO CODE: GLD8 DDHR



DAVID
WILSON
HOMES



BARRATT
DEVELOPMENTS PLC

Date:

Description:
Refer to data sheet for full details.

Rev:

Brand: **BARRATT / DAVID WILSON HOMES**

Range: **DUAL BRANDED GARAGES - 6x3**

Title: **DOUBLE - ELEVATIONS**

Detail No: **LDG1G8 - Gable Option**

Drawn: **GDT** Checked: **GDT** Scale: **1:50** Date: **June 24**

