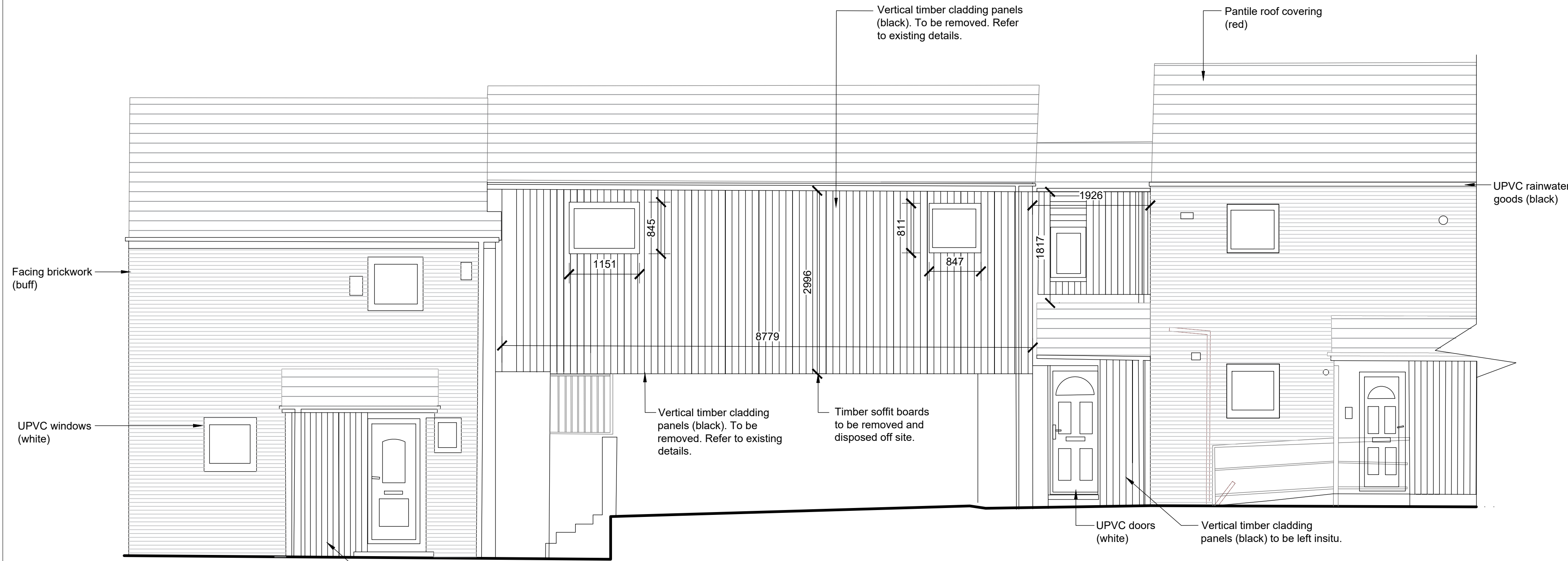
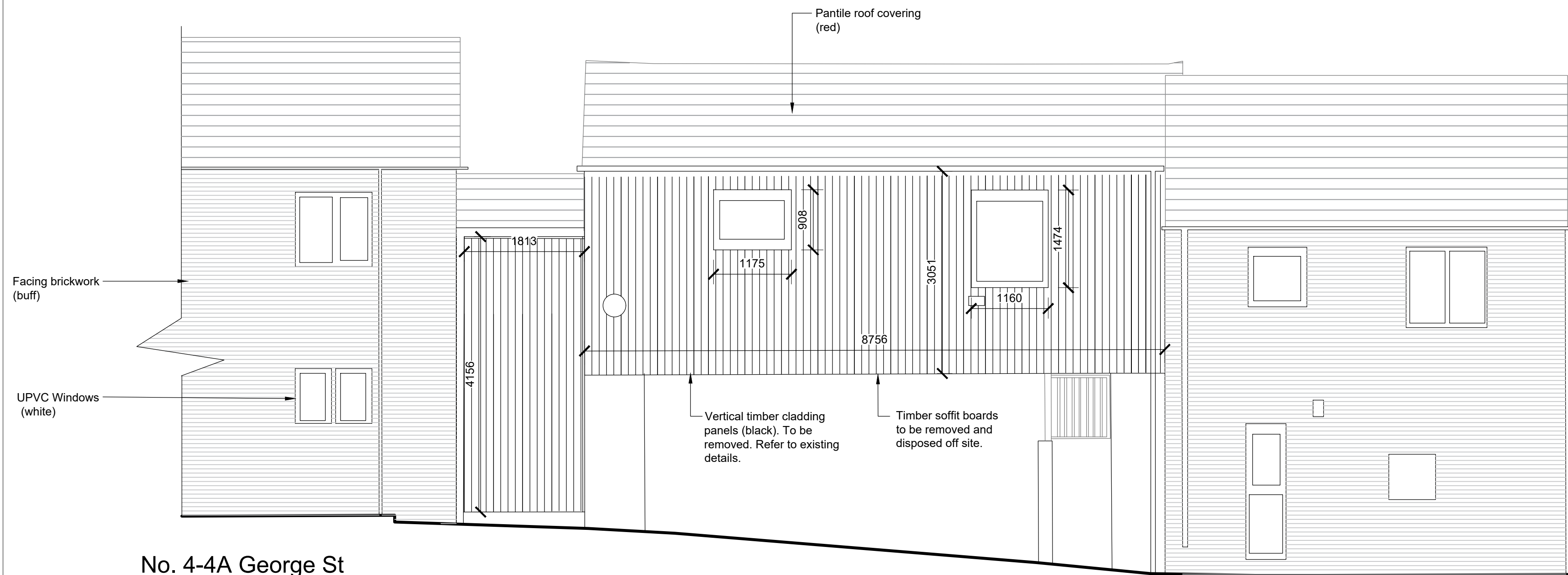




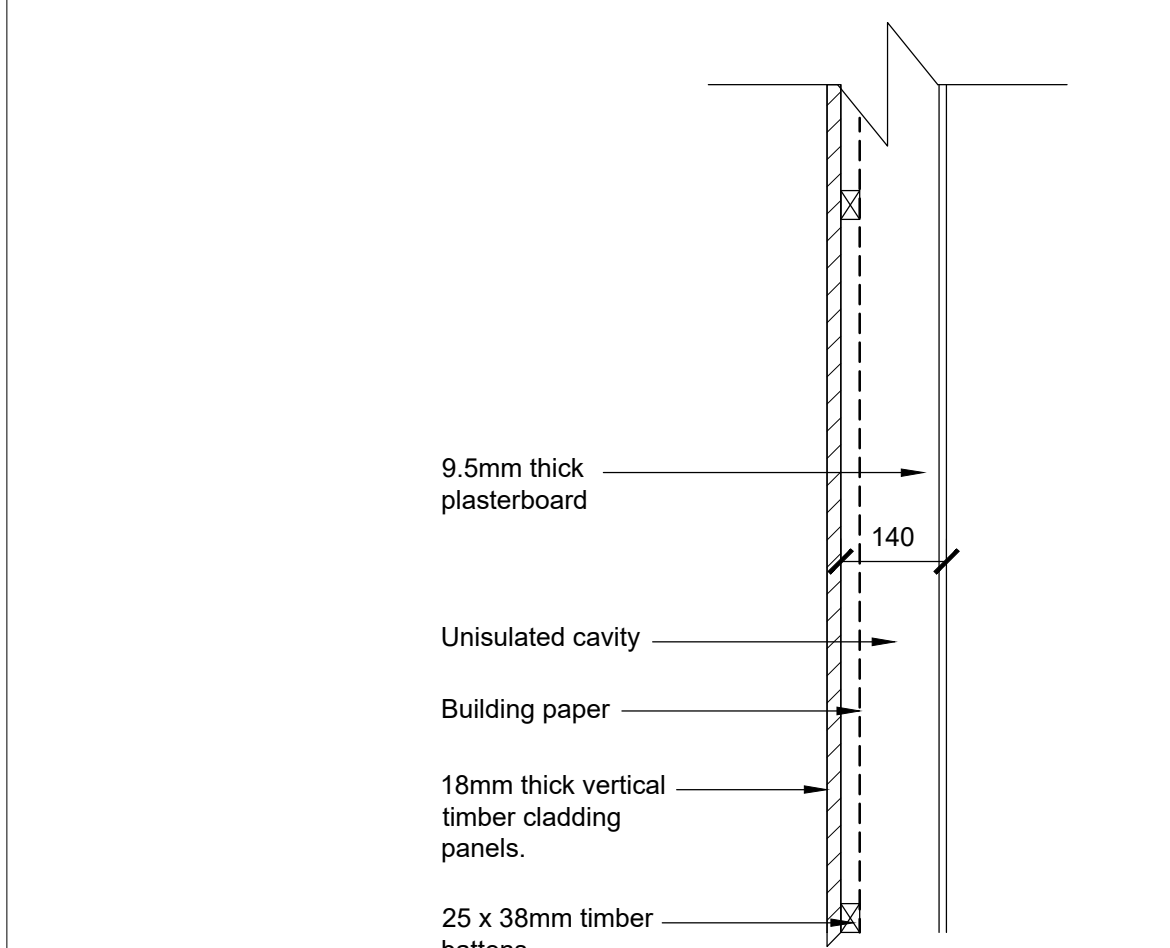
No. 4-4A George St
Existing Front Elevation (A)

Scale 1:50



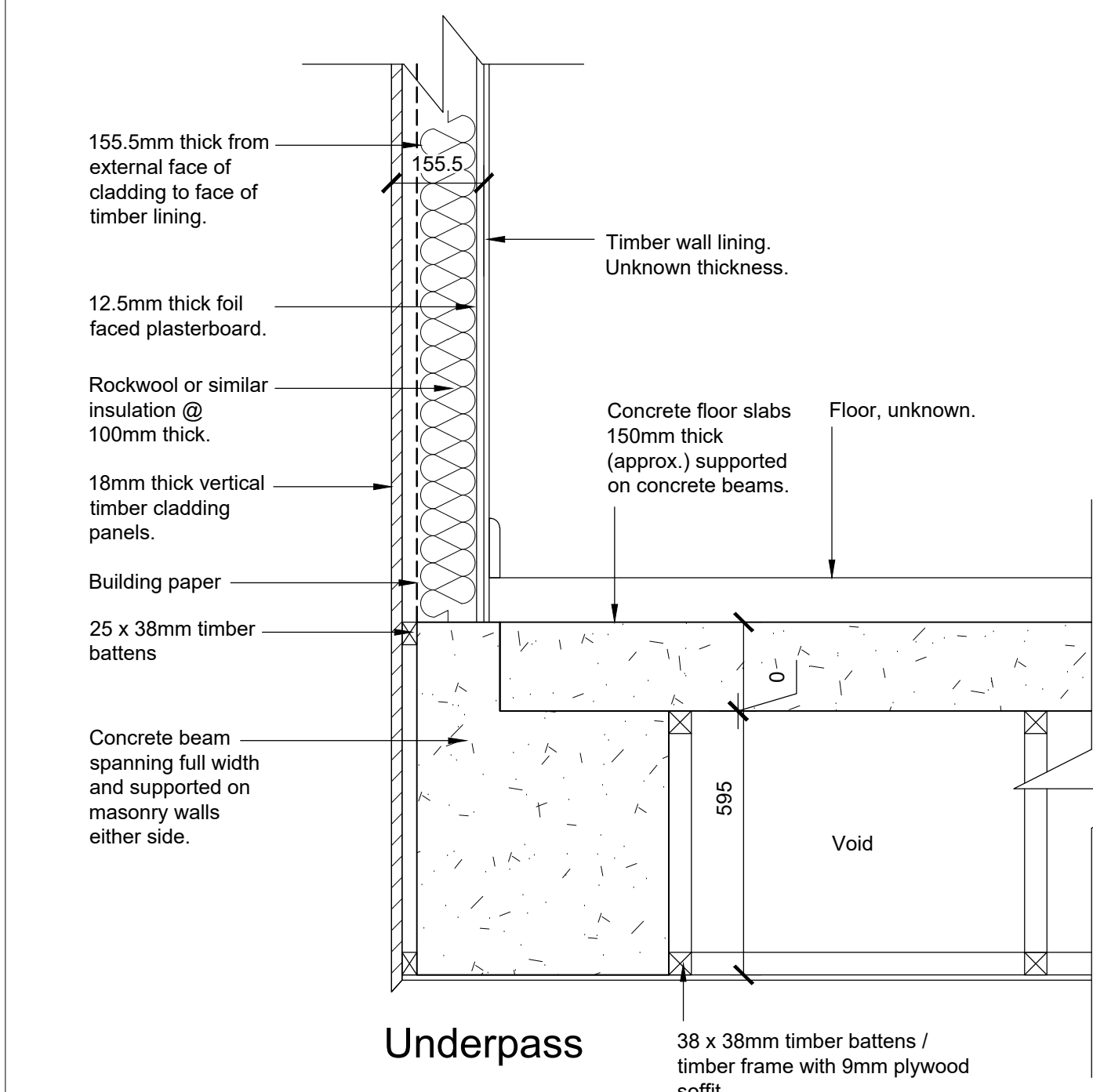
No. 4-4A George St
Existing Rear Elevation (B)

Scale 1:50



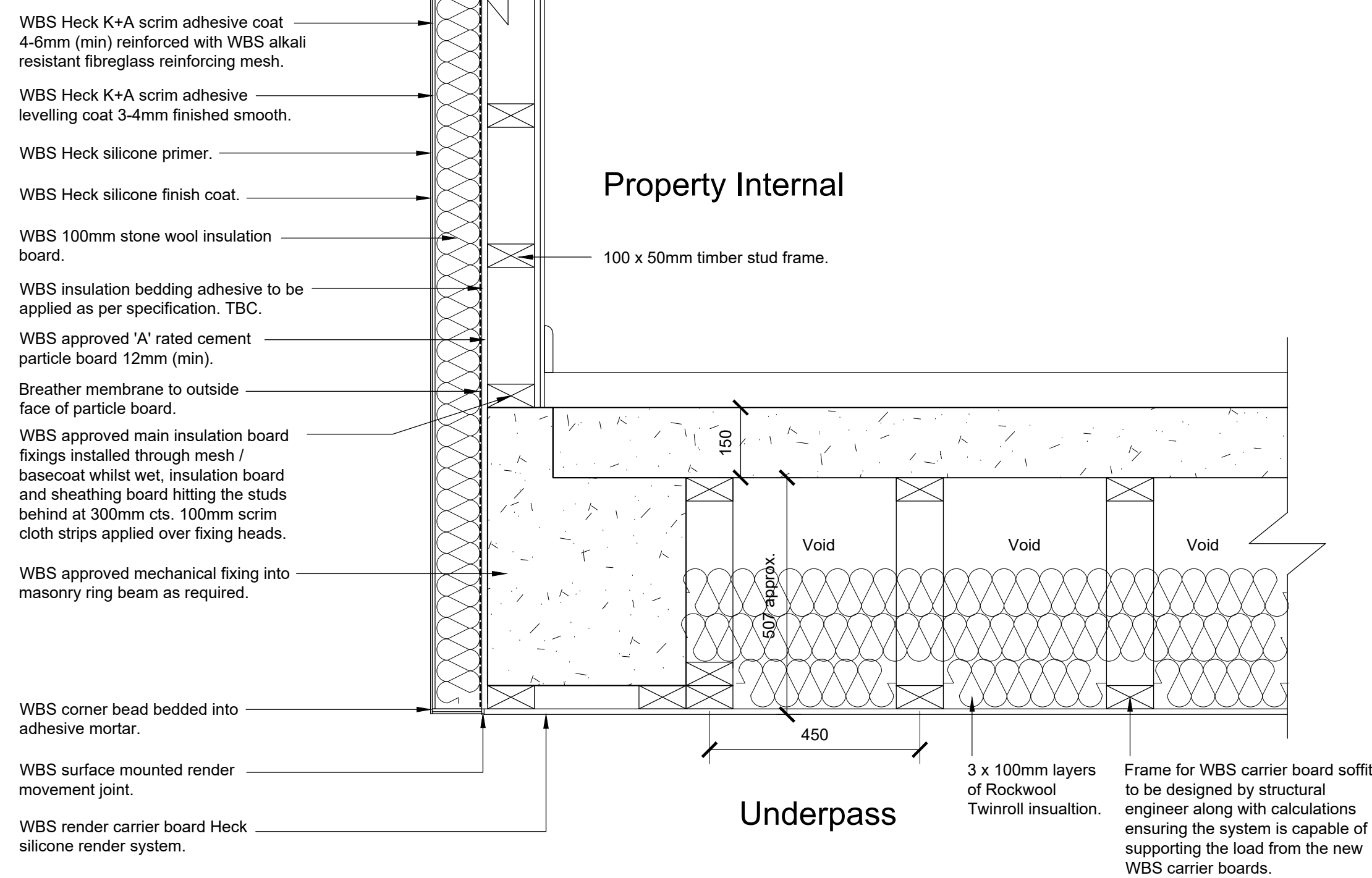
Typical Existing Section Through External Wall

Scale 1:10



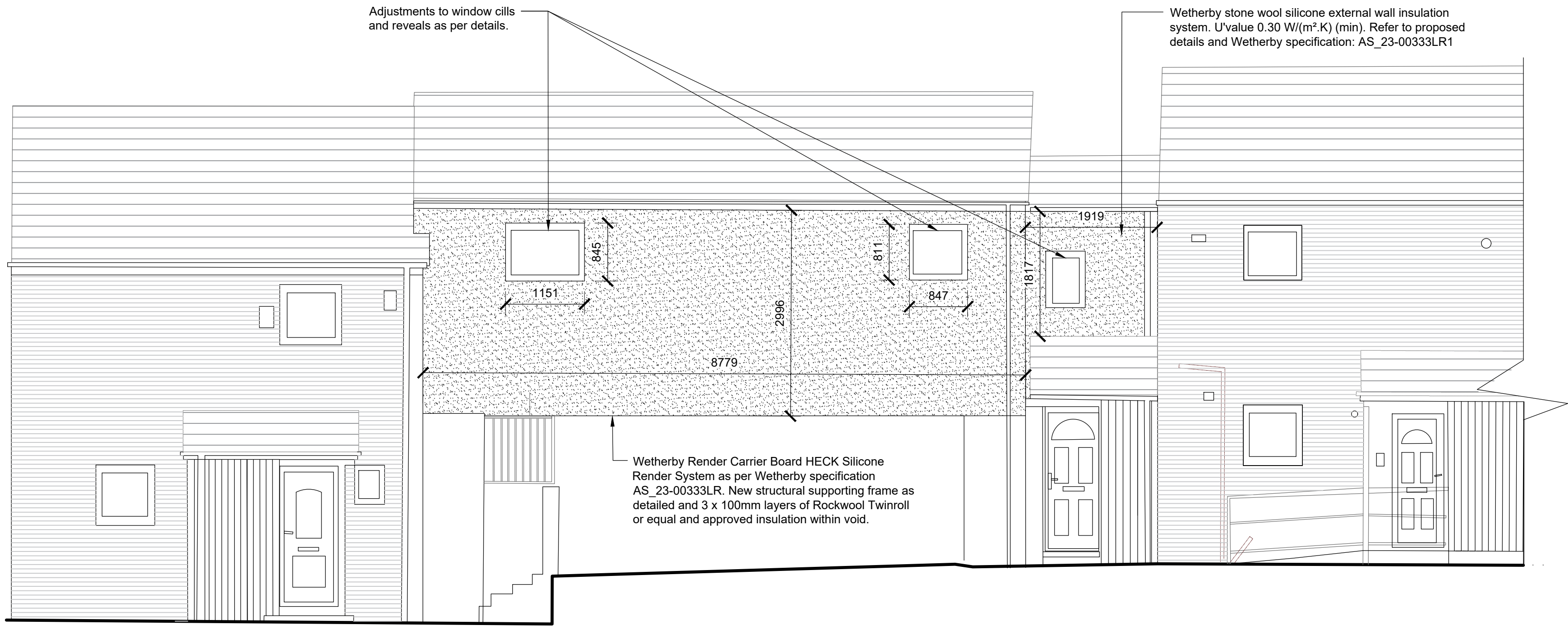
Typical Existing Section Through External Wall

Scale 1:10



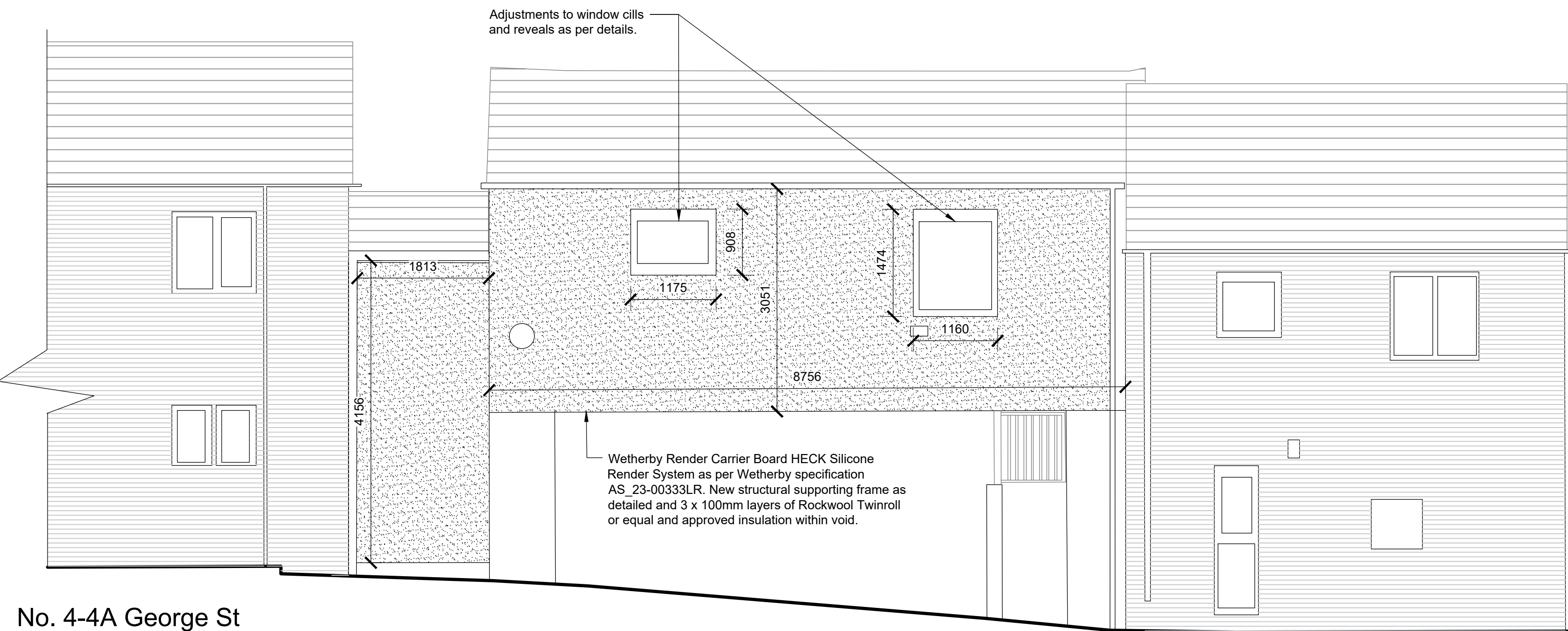
Typical Proposed Section Through External Wall

Scale 1:10



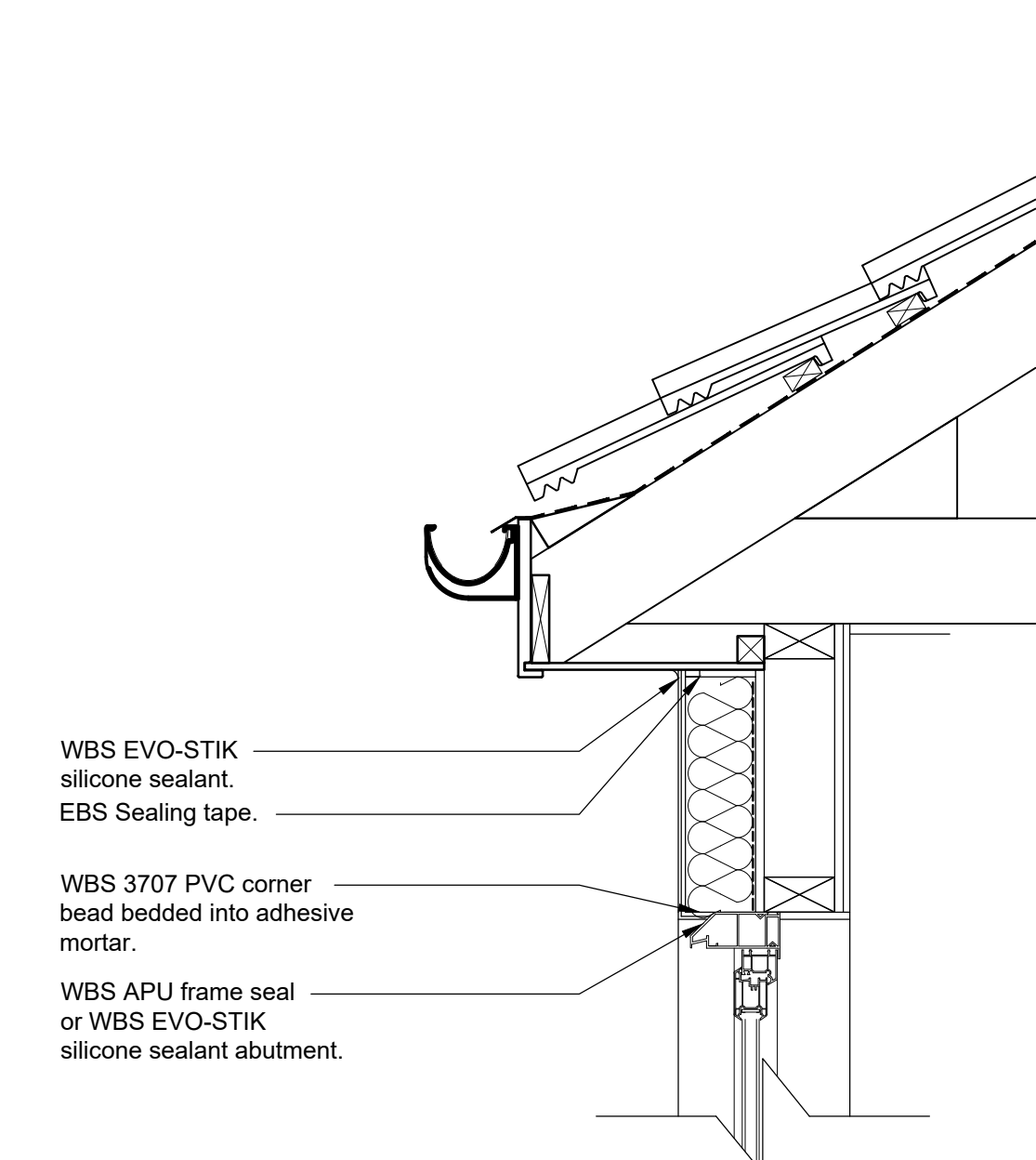
No. 4-4A George St
Proposed Front Elevation (A)

Scale 1:50



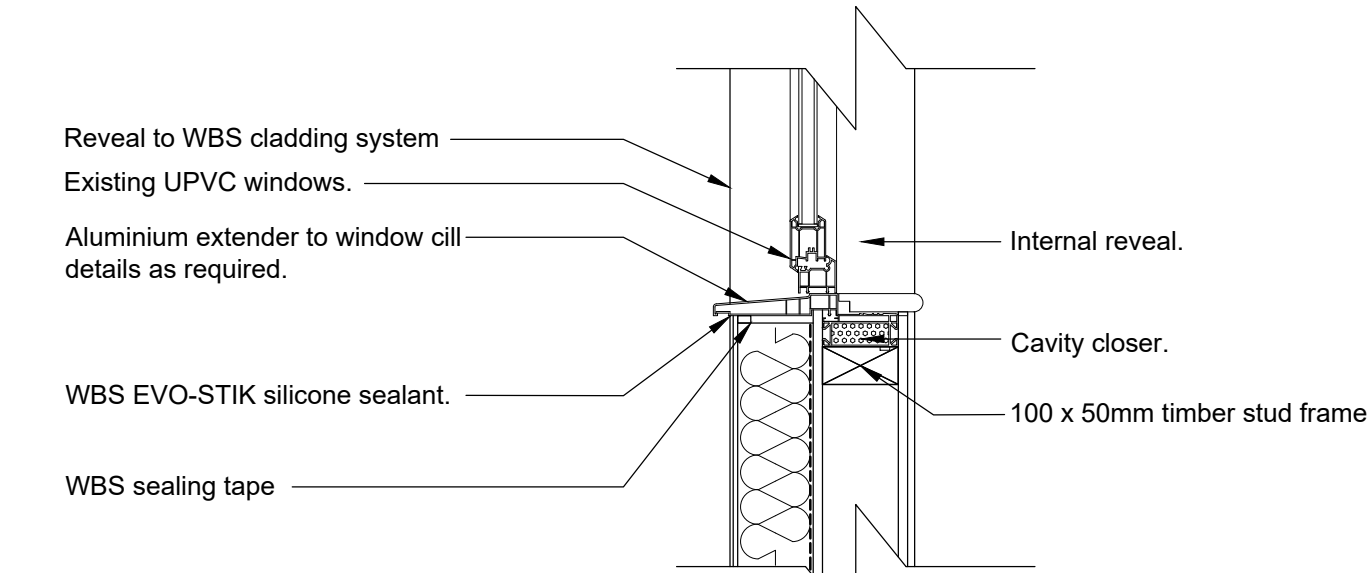
No. 4-4A George St
Proposed Rear Elevation (B)

Scale 1:50



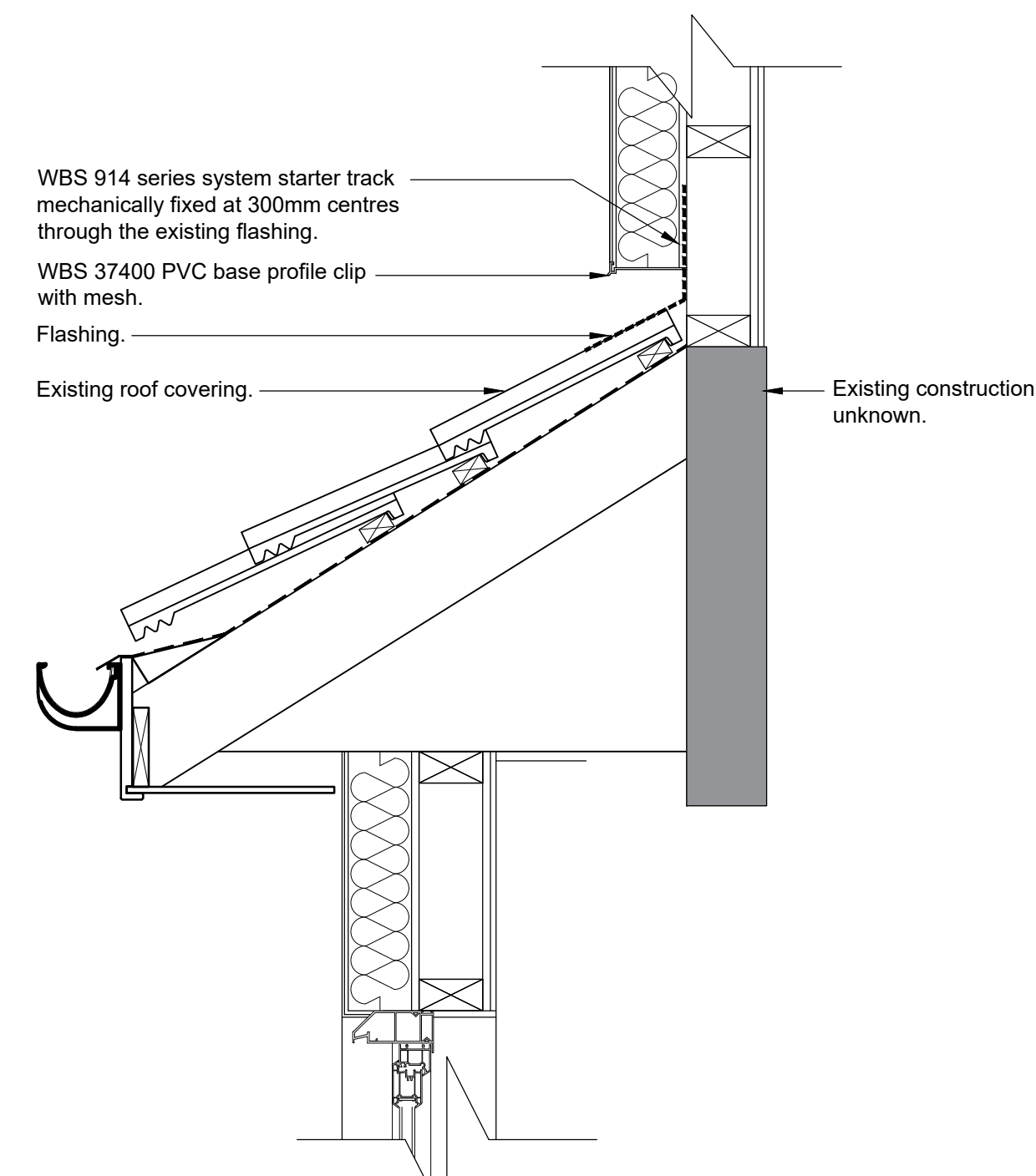
Typical Proposed Section Through Window Head / Soffit Detail

Scale 1:10



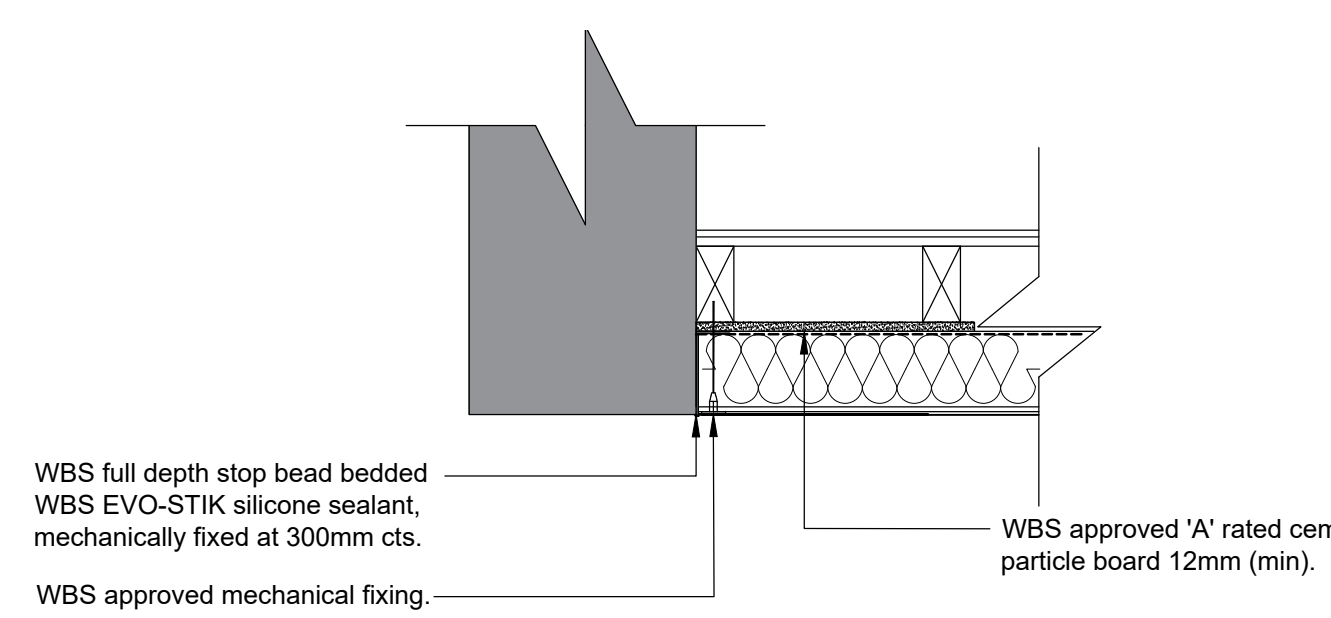
Typical Proposed Section Through Window Cill Detail

Scale 1:10



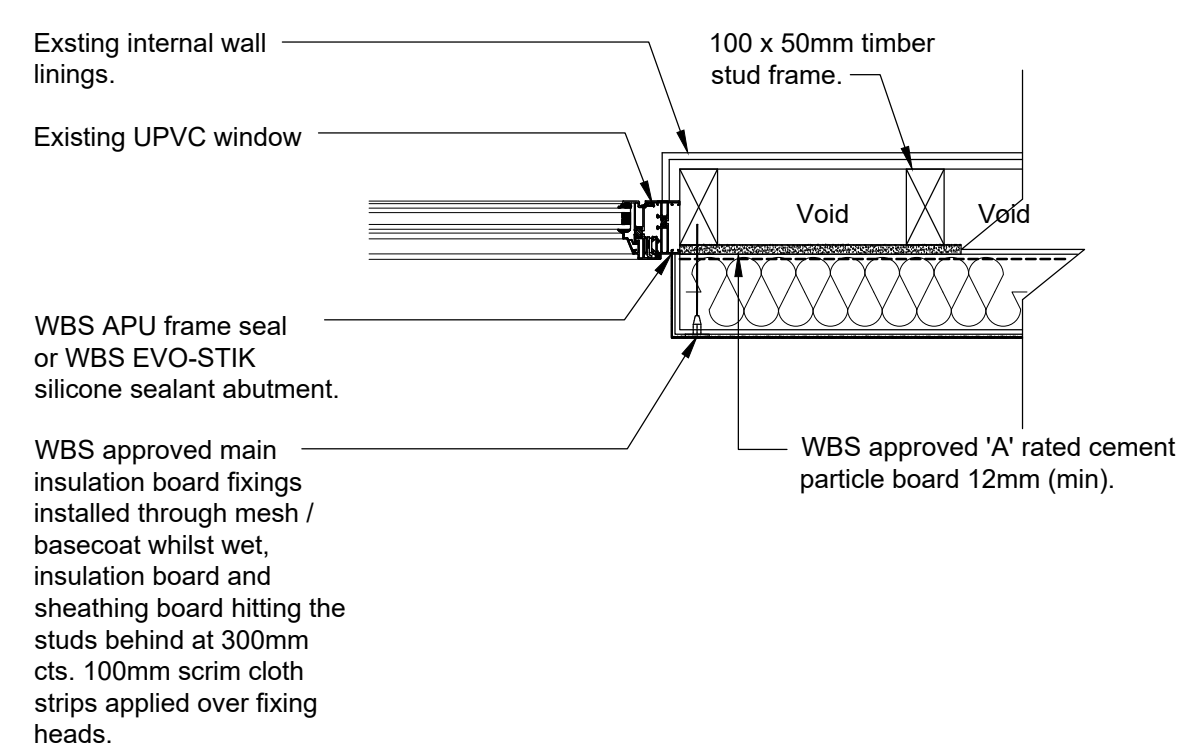
Typical Proposed Roof Junction Detail

Scale 1:10



Typical Proposed Party Wall Detail (Plan)

Scale 1:10



Typical Proposed Window Jamb Detail (Plan)

Scale 1:10



Elevation Reference Plan

Scale 1:100

Key:

- Property outline
- Circulation space and area of replacement cladding to front and rear elevations. Including new soffit details.

General Notes:

Drawings to be read in conjunction with the Wetherby Building Systems Ltd (WBS) project specification and detail drawings, Ref: AS_23-00333LR.

All fixings, joints / abutments and associated details to be as per WBS Specification and associated details. Proposed WBS Stone Wool Silicone External Wall Insulation System and Render Carrier Board HECK Silicone Render System (Soffits) to be installed by a WBS approved contractor.

Proposed cladding system to provide a minimum Fire Performance 'Class A1' (BS EN 13501-1:2002) non-combustible.

Proposed cladding system to provide a minimum U' value 0.30 W / (m².K) in accordance with Building Regulations Approved Document Part L. Refer to WBS U'Value calculation document.

Contractor Design Portion

Condition and the stability of the existing timber supporting frame to be checked by the contractor and their structural engineer. Contractor to arrange a pull out test as per the requirements of the Weatherby specification AS_23-00333LR. Contractor to include for the full replacement of the timber supporting frame including changes as required following the pull out test. Fixing types as per Weatherby specification; WHK 60mm screws - minimum 35 fixings per board subject to pull out test.

Contractor responsible for temporarily isolating and removing any fixture / fittings, services and lighting fixed to the cladding and reinstalling on completion.

Notes
This Drawing is an instrument of service and shall remain the property of Align Property Partners Ltd copyright ©. It may not be reproduced or copied in any form. It shall not be used for the construction, enlargement or alteration of a building or area other than the said project without the authorisation of the issuing office.
Contractors shall verify and be responsible for all dimensions and conditions and shall report any discrepancies to the issuing office before proceeding with any work. Drawings shall not be scaled.

P1	Planning	WBS	NRL	SAS
13.10.23	14.12.23	14.12.23	14.12.23	14.12.23
Ver	Details	Author	Checked	Approved
13.10.23	14.12.23	14.12.23	14.12.23	14.12.23
AD	13.10.23	14.12.23	14.12.23	14.12.23
BC2202 22-APP-XX-DR-B-000221	P1			

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