

Application to determine if prior approval is required for a proposed:

Change of Use from Shops (Class A1), Financial and Professional Services (Class A2), Takeaways (Class A5), Betting Offices, Pay Day Loan Shops or Launderettes (Sui Generis Uses); or a Mixed Use combining use as a Dwellinghouse (Class C3) with a Shop (Class A1) or Financial and Professional Service (Class A2), Betting Office, Pay Day Loan Shop or Launderette (Sui Generis Uses); to Dwellinghouses (Class C3), and for building operations reasonably necessary for the conversion

Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 3, Class M

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Upon receipt of this form and any supporting information, it is the responsibility of the Local Planning Authority to inform you of its obligations in regards to the processing of your application. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

Local Planning Authority details:



Planning and Building Control Economic Regeneration - Place Directorate

Barnsley Metropolitan Borough Council, PO Box 634, Barnsley, S70 9GG

DevelopmentManagement@barnsley.gov.uk

www.barnsley.gov.uk/services/planning-and-buildings

Publication on Local Planning Authority websites

Information provided on this form and in supporting documents may be published on the authority's planning register and website. Please ensure that the information you submit is accurate and correct and does not include personal or sensitive information.

If you require any further clarification, please contact the Local Planning Authority directly.

1. Applicant Name and Address

Title:	MR	First name:	DUNCAN
Last name:	GRAY		
Company (optional):			
Unit:		Number:	
		Suffix:	
Building name:	THE COPPER KETTLE		
Address 1:	ILLTON HOUSE		
Address 2:	ROPER LANE		
Address 3:			
Town:	THURGOLAND		
County:	SOUTH YORKSHIRE		
Country:	UK		
Postcode:	S35 7AA		

2. Agent Name and Address

Title:		First name:	
Last name:			
Company (optional):			
Unit:		Number:	
		Suffix:	
Building name:			
Address 1:			
Address 2:			
Address 3:			
Town:			
County:			
Country:			
Postcode:			

3. Site Address Details

Please provide the full postal address of the application site.

Unit:		Number:		Suffix:	
Building name:	THE COPPER KETTLE				
Address 1:	ILLTON HOUSE				
Address 2:	ROPER LANE				
Address 3:	THURGO LAND				
Address 4:	SOUTH YORKSHIRE				
Postcode:	S35 7AA				

4. Eligibility

Was the use of the building on 20th March 2013 (or the last use before that date) one of the following:

- a use within Class A1 (Shops) or Class A2 (Financial and Professional services);
- a use as a betting office, pay day loan shop or launderette; or
- a mixed use combining use as a dwellinghouse with one of the above uses;
- a use within Class A5 (Hot Food Takeaways).

☒ Yes ☐ No

If you have answered no above, the proposal will exceed the limits set by legislation. In this circumstance, you should not continue with this application and seek advice from the Local Planning Authority on the best course of action.

Was the building's use within Class A1 (Shops) or Class A2 (Financial and Professional services) only granted by a change of use under permitted development rights?

☒ Yes ☒ No / Not Applicable

If you have answered yes above, the proposal will exceed the limits set by legislation. In this circumstance, you should not continue with this application and seek advice from the Local Planning Authority on the best course of action.

Will the total combined floor space in the building (previously and in this proposal) changed to Class C3 (Dwellinghouses) exceed 150 square metres?

☐ Yes ☒ No

If you have answered yes above, the proposal will exceed the limits set by legislation. In this circumstance, you should not continue with this application and seek advice from the Local Planning Authority on the best course of action.

Will the external dimensions of the resulting building extend beyond the existing building at any point?

☐ Yes ☒ No

If you have answered yes above, the proposal will exceed the limits set by legislation. In this circumstance, you should not continue with this application and seek advice from the Local Planning Authority on the best course of action.

Is the building:

- in a conservation area;
- in an area of outstanding natural beauty;
- in an area specified by the Secretary of State for the purposes of enhancement and protection of the natural beauty and amenity of the countryside;
- in the Broads;
- in a National Park;
- in a World Heritage Site;
- in a site of special scientific interest;
- in a safety hazard area;
- in a military explosives storage area;
- a listed building; or
- a scheduled monument.

☐ Yes ☒ No

If you have answered yes above, the proposal will exceed the limits set by legislation. In this circumstance, you should not continue with this application and seek advice from the Local Planning Authority on the best course of action.

5. Description of Proposed Works, Impacts and Risks

Please describe the proposed development, including (from 1 August 2020) details on the provision of adequate natural light in all habitable rooms of the dwellinghouses:

CLOSURE OF THE EXISTING BAROON AND CONVERSION TO A RESIDENTIAL LIVING SPACE - ALL INTERNAL WORKS / REDECORATION. THE BAROON SITS WITHIN AN EXTENSION OF A MUCH LARGER RESIDENTIAL PROPERTY.

Are any associated building works or other operations required to make this change?

Note that such works are restricted to those reasonably necessary to convert the building for use as a dwellinghouse (including partial demolition).

☐ Yes ☒ No

If yes, please provide details of the design and external appearance of the building in regard to these building works or other operations (including partial demolition):

5. Description of Proposed Works, Impacts and Risks (continued)

What will be the net increase in dwellinghouses:

Note that this figure should be the number of dwellinghouses proposed by the development that is additional to the number of dwellinghouses on the site immediately prior to the development.

Please provide details of any transport and highways impacts and how these will be mitigated:

N/A.

Please provide details of any contamination risks and how these will be mitigated:

N/A

Please provide details of any flooding risks and how these will be mitigated.

A flood risk assessment should accompany the application where the site:

- is in Flood Zones 2 or 3 (Check online: <https://flood-map-for-planning.service.gov.uk/>); or
- is in an area with critical drainage problems (Check with the Local Planning Authority, it will have been notified of such areas by the Environment Agency).

N/A.

5. Description of Proposed Works, Impacts and Risks (continued)

Please provide details of the impact on the adequate provision of services, based on the loss of the building's current use.

For example:

- Would there be a reasonable prospect of the building being used under its current use class going forward?
- Would a unique shop, service or food provision be lost from the area if the use is changed?

AS A RESULT OF 3 ATTEMPTED ROBBERIES BETWEEN MARCH 2018 AND NOVEMBER 2019, INCLUDING ONE ARMED ATTACK, A DECISION WAS MADE, IN AGREEMENT WITH POST OFFICE LTD, TO REMOVE THE POST OFFICE COUNTER IN NOVEMBER 2019. SINCE THAT TIME, THE TEAROOM HAS BEEN OPERATING AS A SOLE BUSINESS ON THE PREMISES. WE UNDERSTAND POST OFFICE LTD HAVE BEGUN DISCUSSIONS WITH ANOTHER BUSINESS IN THE VILLAGE (DELAYED DUE TO COVID LOCKDOWN) REGARDING A NEW SITE FOR THE POST OFFICE COUNTER. THE DECISION TO SELL THE PROPERTY WAS MADE FOLLOWING THE ARMED ROBBERY ATTEMPT AND A BUYER HAS RECENTLY BEEN FOUND WHO DOES NOT WANT TO CONTINUE ANY BUSINESS ACTIVITIES ON THE SITE.

THE CLOSURE OF THE TEAROOM WILL HAVE VERY LITTLE IMPACT ON THE VILLAGE COMMUNITY, AS THERE ARE 3 PUBS, 2 OF WHICH SERVE FOOD, AS WELL AS A VILLAGE STORE SELLING SWEET & SAVOURY ITEMS AND A SMALL COFFEE OUTLET ADJACENT TO AN ANTIQUES BARN, WHICH OPENS ON A WEEKEND

Where the building is located in a key shopping area, please provide details of any undesirable impact on the sustainability of that shopping area:

N/A

6. Checklist

Please read the following checklist to make sure you provide all the required information in support of your proposal. The information provided should include all the details necessary for the Local Planning Authority to determine if the proposal complies with permitted development legislation, and if its prior approval will be required. If sufficient information is not provided the Local Authority can either request it, or refuse the application.

All sections of this application completed in full, dated and signed.

The correct fee

A floor plan indicating the dimensions and proposed use of each room, the position and dimensions of windows, doors and walls, and the elevations of the dwellinghouses

☐

A plan indicating the site and showing the proposed development.

☒☐

A plan drawn to an identified scale will assist the authority in assessing your development proposal. Plans can be bought from one of the Planning Portal's accredited suppliers:
<https://www.planningportal.co.uk/buyaplanningmap>

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7. Declaration

I/we hereby apply for a determination as to whether prior approval will be required as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

(date cannot be pre-application)

05/09/2020

8. Applicant Contact Details

Telephone numbers

Country code:

National number:

Extension:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address:

9. Agent Contact Details

Telephone numbers

Country code:

National number:

Extension:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

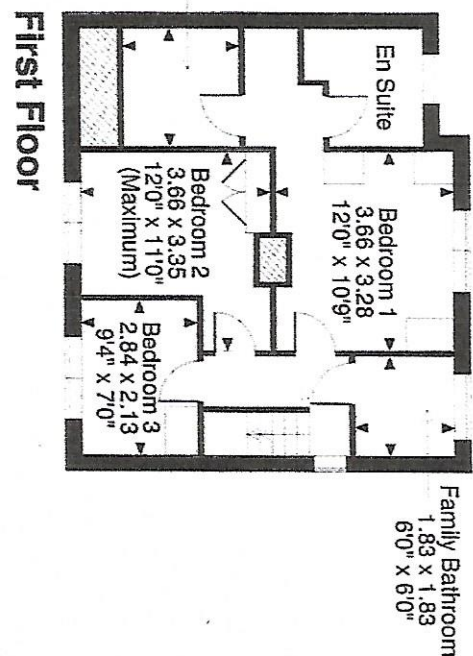
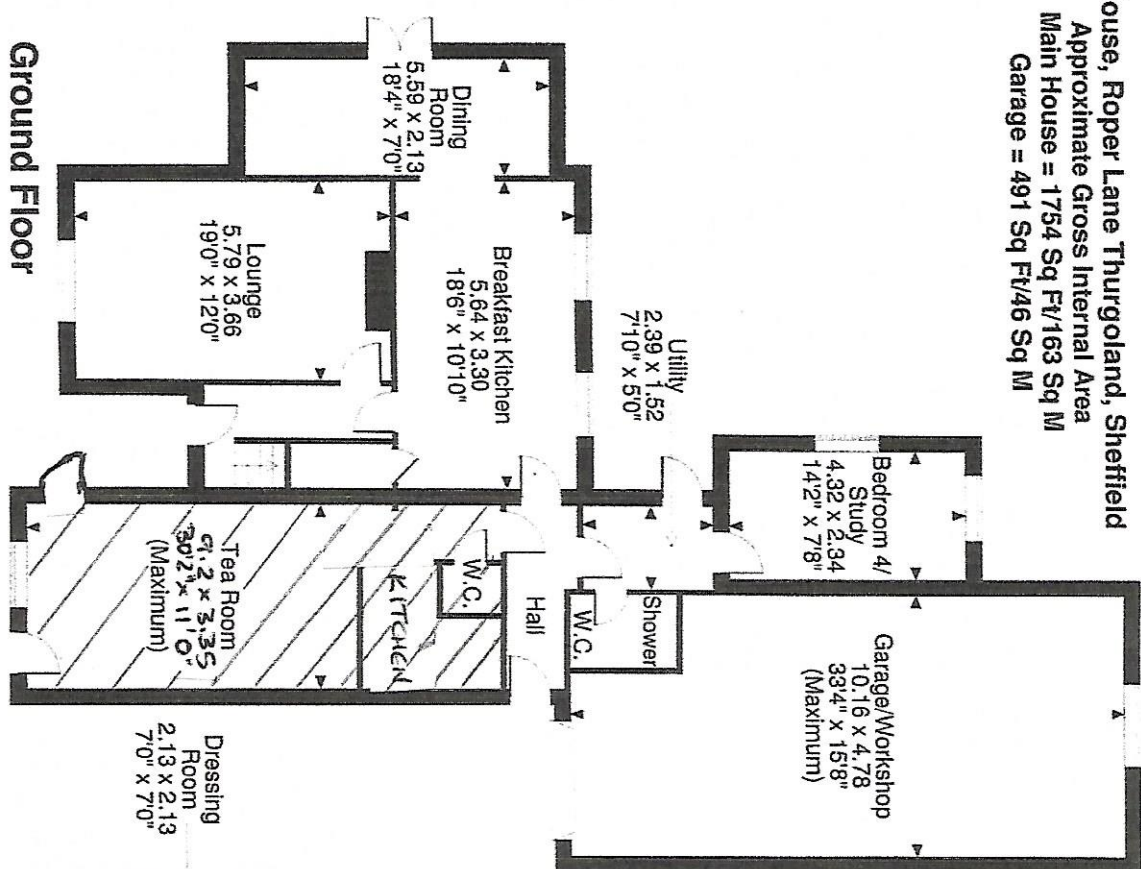
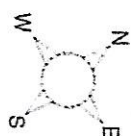
Email address:

Ilton House, Roper Lane Thurgoland, Sheffield

Approximate Gross Internal Area

Main House = 1754 Sq Ft/163 Sq M

Garage = 491 Sq Ft/46 Sq M



FOR ILLUSTRATIVE PURPOSES ONLY - NOT TO SCALE

The position & size of doors, windows, appliances and other features are approximate only.

H.M. LAND REGISTRY		TITLE NUMBER	
		SYK 191415/	
ORDNANCE SURVEY PLAN REFERENCE	SE2801	SECTION B	Scale 1/1250 Enlarged from 1/2500
COUNTY SOUTH YORKSHIRE	DISTRICT BARNSELEY	© Crown copyright 1974	
THURGOLAND PARISH			



The boundaries shown by dotted lines have been plotted from the plans on the deeds. The title plan may be updated from later survey information.

ILLTON HOUSE

